

RESIDENTIAL REMODELING

496 6TH ST., MONTARA, CA 94037



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Print Record

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ABBREVIATIONS

AB	ANCHOR BOLT	MATL	MATERIAL
AC	ASPHALTIC CONCRETE	MAX	MAXIMUM
A/C	AIR CONDITIONING	MB	MACHINE BOLT
ACOUS	ACOUSTICAL	MECH	MECHANICAL
ACT	ACOUSTICAL TILE	MIN	MINIMUM
ADJ	ADJUSTABLE/ADJACENT	MTL	METAL
AFF	ABOVE FINISH FLOOR	(N)	NEW
AL	ALUMINUM	NIC	NOT IN CONTRACT
ANOD	ANODIZED	NTS	NOT TO SCALE
BD	BOARD	OFF	OVER
BLDG	BUILDING	OC	ON CENTER
BLK	BLOCK	OD	OUTSIDE DIAMETER
BM	BEAM	OPD	OVERFLOW ROOF DRAIN
BO	BOTTOM OF	OPF	OFFICE
CAB	CABINET	OPNG	OPENING
CB	CATCH BASIN	OPP	OPPOSITE
CEM	CEMENT	PL	PLATE
CER	CERAMIC	PLAM	PLASTIC LAMINATE
CI	CAST IRON	PLAS	PLASTER
CJ	CONSTRUCTION JOINT	PLYWD	PLYWOOD
CL	CENTERLINE	R	RISER
CLG	CEILING	(R)	RELOCATE(D)
CLR	CLEAR	RCP	REINFORCED CONCRETE PIPE
COL	COLUMN	RD	ROOF DRAIN
COMP	COMPOSITION	RDWD	REDWOOD
CONC	CONCRETE	REC	RECESSED
CONN	CONNECTION	REINF	REINFORCED
CONT	CONTINUOUS	RHMS	ROUND HEAD MACHINE SCREW
CPT	CARPET	RM	ROOM
CT	CERAMIC TILE	RO	ROUGH OPENING
DF	DOUGLAS FIR / DRINKING FOUNTAIN	RWL	RAINWATER LEADER
DIA	DIAMETER	SC	SOLID CORE
DIM	DIMENSION	SD	STORM DRAIN
DR	DOOR	SECT	SECTION
DS	DOWNSPOUT	SIM	SIMILAR
DWG	DRAWING	SND	SANITARY NAPKIN DISPENSER
(E)	EXISTING	SPEC	SPECIFICATION
EA	EACH	SQ	SQUARE
ELECT.	ELECTRICAL	SS	SANITARY SEWER
ELEV	ELEVATOR	SST	STAINLESS STEEL
EQ	EQUAL	STD	STANDARD
FAU	FORCED AIR UNIT	STL	STEEL
FD	FLOOR DRAIN	STOR	STORAGE
FE	FIRE EXTINGUISHER	STRUCT	STRUCTURAL
FF	FINISH FLOOR	SUDP	SUSPENDED
FTG	FOOTING	TC	TOP OF CURB/CONCRETE
GA	GAUGE	TEL	TELEPHONE
GALV	GALVANIZE (D)	T & G	TONGUE AND GROOVE
GC	GENERAL CONTRACTOR	THK	THICKNESS
GFI	GROUND FAULT INTERRUPTER	TO	TOP OF
GFR	GLASS FIBER REINFORCED CONCRETE	UON	UNLESS OTHERWISE NOTED
GI	GALVANIZED IRON	VA	VAN ACCESSIBLE
GTV	GATE VALVE	VCP	VITREOUS CLAY PIPE
GYP	GYPNUM	VCT	VINYL COMPOSITION TILE
HB	HOSE BIBB	VERT	VERTICAL
HDR	HEADER	VIF	VERIFY IN FIELD
HDWR	HARDWARE	WI	WITH
HDWR	HARDWARE	WC	WATER CLOSET
HM	HOLLOW METAL	WD	WOOD
HORIZ	HORIZONTAL	WH	WATER HEATER
HT	HEIGHT	WS	WEATHERSTRIPPING
HW	HOT WATER	WWF	WELODED WIRE FABRIC
HVAC	HEATING VENTILATING		
INSUL	INSULATION		
JAN	JANITOR		
JB	JUNCTION BOX		
LAV	LAVATORY		

SHEET INDEX

A001	TITLE SHEET
A002	EXISTING SITE PHOTO
A100	SITE PLAN
A200	EXISTING FLOOR PLAN
A201	PROPOSED FLOOR PLAN
A300	EXISTING EXTERIOR ELEVATION
A301	PROPOSED EXTERIOR ELEVATION

PROJECT DATA

JURISDICTION
COUNTY OF SAN MATEO

CODE
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA GREEN BUILDING CODE 2019 CALIFORNIA ENERGY CODE ALL
RELATED COUNTY OF SAN MATEO LOCAL ORDINANCE

JURISDICTION
COUNTY OF SAN MATEO

CODE
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA FIRE CODE
2019 CALIFORNIA GREEN BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA ENERGY CODE

APN: 036091250
ZONING: R-10006

OCCUPANCY: R-3/ U (1-HR FIRE RATED OCCUPANCY - NO CHANGE)
CONSTRUCTION TYPE: V-B

GENERAL NOTES (APPLY TO ALL SHEETS)

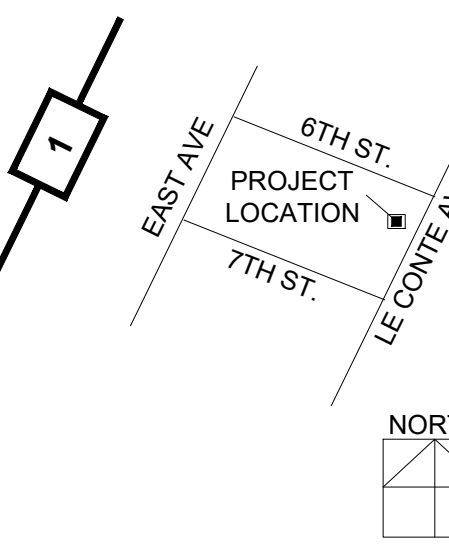
- GENERAL CONDITIONS FOR THE PERFORMANCE OF THE CONTRACT IS HEREBY INCORPORATED INTO THE DRAWINGS AND SHALL BE CONSIDERED AS PART OF THE REQUIREMENTS FOR THE COMPLETION OF THE PROJECT.
- CONTRACTOR SHALL THOROUGHLY REVIEW CONTRACT DOCUMENTS AND NOTIFY ARCHITECT OF ANY CONDITIONS NOT COVERED.
- CONTRACTOR SHALL VERIFY SITE DIMENSIONS AND CONDITIONS PRIOR TO BIDDING. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK. NOTES AND DIMENSIONS TAKE PRECEDENCE OVER SCALE OF THE DRAWINGS.
- DURING CONSTRUCTION, CONTRACTOR SHALL NOTIFY THE ARCHITECT AND SEEK CLARIFICATION IF ANY DISCREPANCIES ARE FOUND. CONTRACTORS SHALL BE RESPONSIBLE FOR REMEDIAL WORK IF RELATED WORK IS CONTINUED AFTER A DISCREPANCY IS IDENTIFIED.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS STEMMING FROM THEIR WORK ON A DAILY BASIS. PROJECT SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT MATERIALS, LABOR, INSTALLATION, ETC., CONFORMS TO ALL APPLICABLE CODES AND REQUIREMENTS OF LOCAL GOVERNING AGENCIES.
- CONTRACTOR WILL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS ON THE JOB SITE, INCLUDING HEALTH AND SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. CONTRACTOR TO LIMIT TRAFFIC AND ACCESS TO WORK AREAS.
- CLEAN UP AND REPAIRS: AT THE COMPLETION OF CONSTRUCTION, REMOVE ALL EXCESS MATERIALS AND RESIDUES FROM SITE. LEAVE ALL SURFACES WITHIN CONSTRUCTION SITE FREE FROM DUST, DIRT AND STAINS.
- PATCHING: PROPERLY PREPARE SURFACES FOR RECEIVING THE SPECIFIED FINISHES INCLUDING PATCHING SURFACES ALTERED BY CONSTRUCTION. ON PATCHED AREAS OR AREAS WHERE A FINISH IS NOT SPECIFIED, THE FINISH SHALL MATCH ADJACENT MATERIAL IN CONSTRUCTION, COLOR AND TEXTURE.
- ALL WORK NOTED "N.I.C." OR NOT IN CONTRACT IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE PART OF THE WORK.
- INSTALLATION: ALL ITEMS SPECIFIED SHALL BE INSTALLED AS PER MANUFACTURERS' RECOMMENDATION. ALL OPERATING MANUALS AND WARRANTIES SHALL BE GIVEN TO OWNER BY PROJECT COMPLETION.
- NO WORK SHALL COMMENCE WITH UNAPPROVED MATERIALS. ANY WORK DONE WITH UNAPPROVED MATERIALS AND EQUIPMENT IS AT THE CONTRACTORS RISK. SUBSTITUTIONS OR CHANGES MUST BE APPROVED BY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- NEW/EXISTING FINISHES AND CONSTRUCTION SHALL BE PROTECTED BY THE CONTRACTOR FROM POTENTIAL DAMAGE CAUSED BY CONSTRUCTION ACTIVITY. DAMAGE TO FINISHES OR CONSTRUCTION CAUSED IN THIS MANNER SHALL BE REPAIRED OR REPLACED (OWNER'S DECISION) BY THE CONTRACTOR WITH IDENTICAL MATERIAL AND/OR FINISHES.
- GUARANTEES: THE CONTRACTOR SHALL GUARANTEE THAT THE PROJECT WILL BE FREE OF DEFECTS OF WORKMANSHIP AND MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE BY THE OWNER. NO WORK DEFECTIVE IN CONSTRUCTION OR QUALITY OR DEFICIENT IN ANY REQUIREMENT OF THE DRAWINGS OR NOTES WILL BE ACCEPTABLE IN CONSEQUENCE OF THE OWNER'S OR ARCHITECT'S FAILURE TO POINT OUT DEFECTS OR DEFICIENCIES DURING CONSTRUCTION. DEFECTS OR WORKMANSHIP OR MATERIALS REVEALED WITHIN A PERIOD OF ONE YEAR FROM THE ACCEPTANCE OF DEFECTIVE WORK OR IMPROPER MATERIALS.
- ALL DEMOLITION INDICATED ON PLANS SHALL BE CAREFULLY CUT AND REMOVED TO MINIMIZE DISRUPTION AND DAMAGE OF EXISTING SPACE.
- CONSTRUCTION MATERIALS STORED ON SITE SHALL BE PROPERLY STACKED AND PROTECTED SO AS TO PREVENT DAMAGE OR DETERIORATION UNTIL USED. FAILURE IN THIS REGARD MAY BE CAUSE FOR REJECTION OF MATERIAL AND/OR WORK.
- ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE. THE DETAILS REFLECT THE DESIGN INTENT FOR TYPICAL CONDITIONS. CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND SHALL INCLUDE IN THIS SCOPE THE COST FOR COMPLETE FINISHED INSTALLATIONS, INCLUDING ANOMALIES, OF ALL TRADES.
- NEW WEATHER HEADS/OVERHEAD RACEWAYS SHALL BE A MINIMUM OF 1-1/4" GALVANIZED STEEL CONDUIT, OR 2" RIGID ALUMINUM CONDUIT. THERE SHALL BE A SYSTEM DISCONNECT LOCATED ON THE EXTERIOR OF THE STRUCTURE - OR PROVIDE A SHUNT-TRIP. THIS WOULD INCLUDE ANY SHUTDOWN DEVICE FOR ALTERNATE SOURCES OF POWER SUCH AS SOLAR, BATTERY, GENERATORS, ETC

NUMBER OF EXISTING STORY: 2 STORY		NUMBER OF PROPOSED STORY: 2 STORY	
LOT AREA: 40075.2 SF			
EXISTING BUILDING AREA: 5,708 SF	PROPOSED BUILDING AREA: 5,708 SF		
EXISTING GARAGE: 480 SF			
LIVING AREA:			
EXISTING 1ST FLOOR: 4,781 SF	PROPOSED 1ST FLOOR: 4,781 SF	+0	SF
EXISTING 2ND FLOOR: 4,982 SF	PROPOSED 2ND FLOOR: 4,982 SF	+0	SF
TOTAL: 9,763 SF	TOTAL: 9,763 SF	+0	SF
EXISTING WOODEN DECK AT SECOND FLOOR: 394 SF			
PROPOSED WOODEN DECK AT SECOND FLOOR: 1,465 SF		+1,071	SF
FLOOR AREA RATIO (FAR) CALCULATION			
TOTAL FLOOR AREA / LOT SIZE = 9,764SF / 40075.2 SF = 24% < 40% COMPLIES			
LOT COVERAGE CALCULATION			
TOTAL FLOOR AREA / LOT SIZE = 11,228 SF / 40075.2 SF = 28% < 40% COMPLIES			

SCOPE OF WORK:

- RESIDENTIAL REMODEL
- NEW WOODEN DECK AT REAR

VICINITY MAP



Date: 2021.11.29
Project No.: 2021.117
Sheet Title:

TITLE SHEET

Sheet No.:
A001
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A



B



C



D

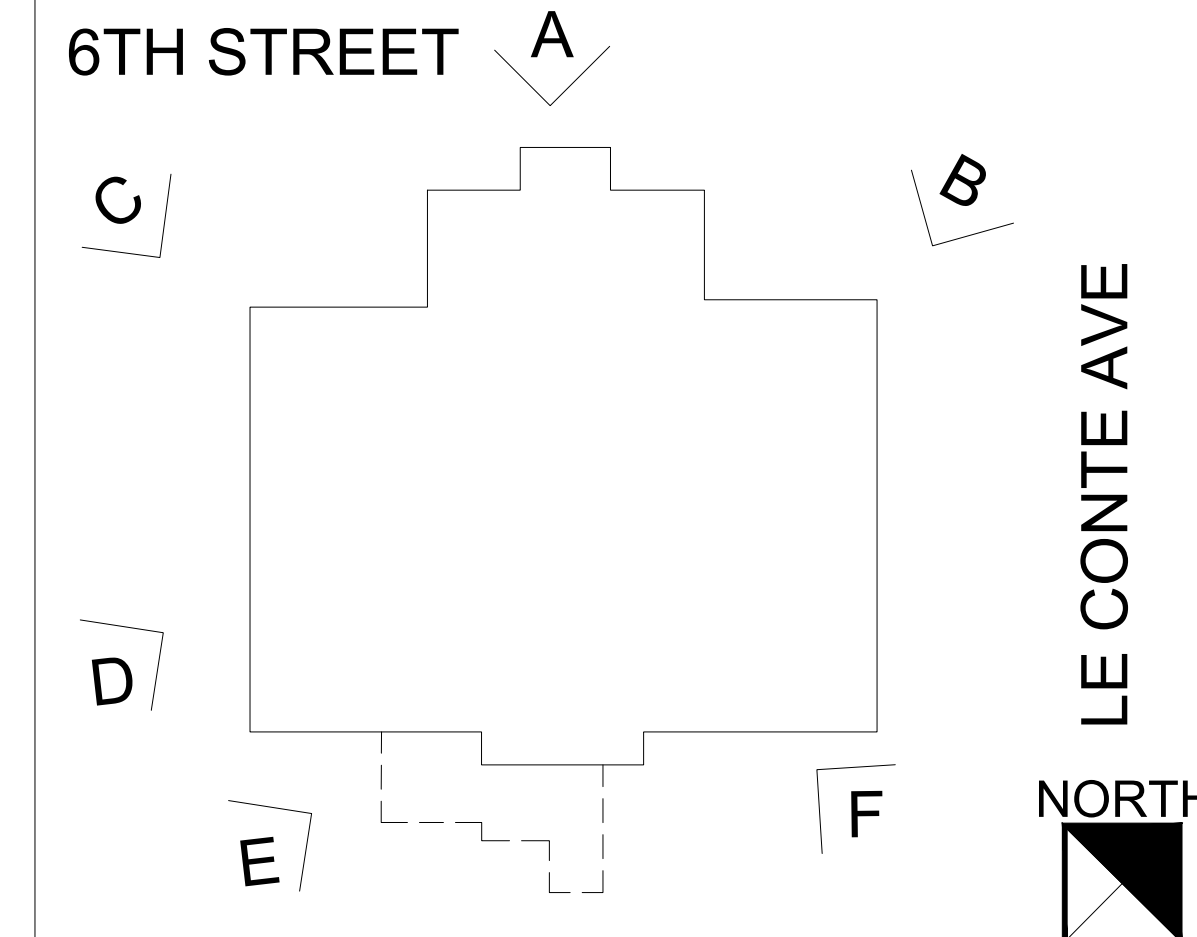


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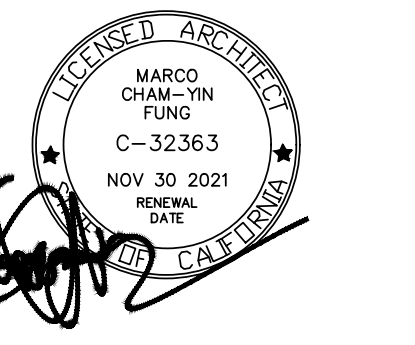


F

KEY PLAN



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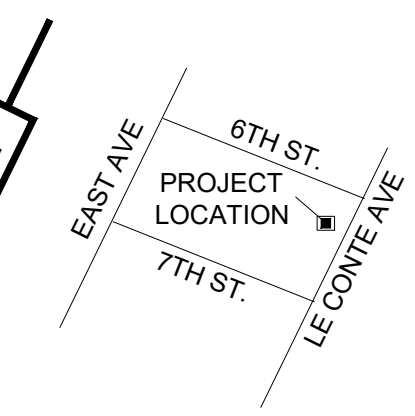
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VICINITY MAP

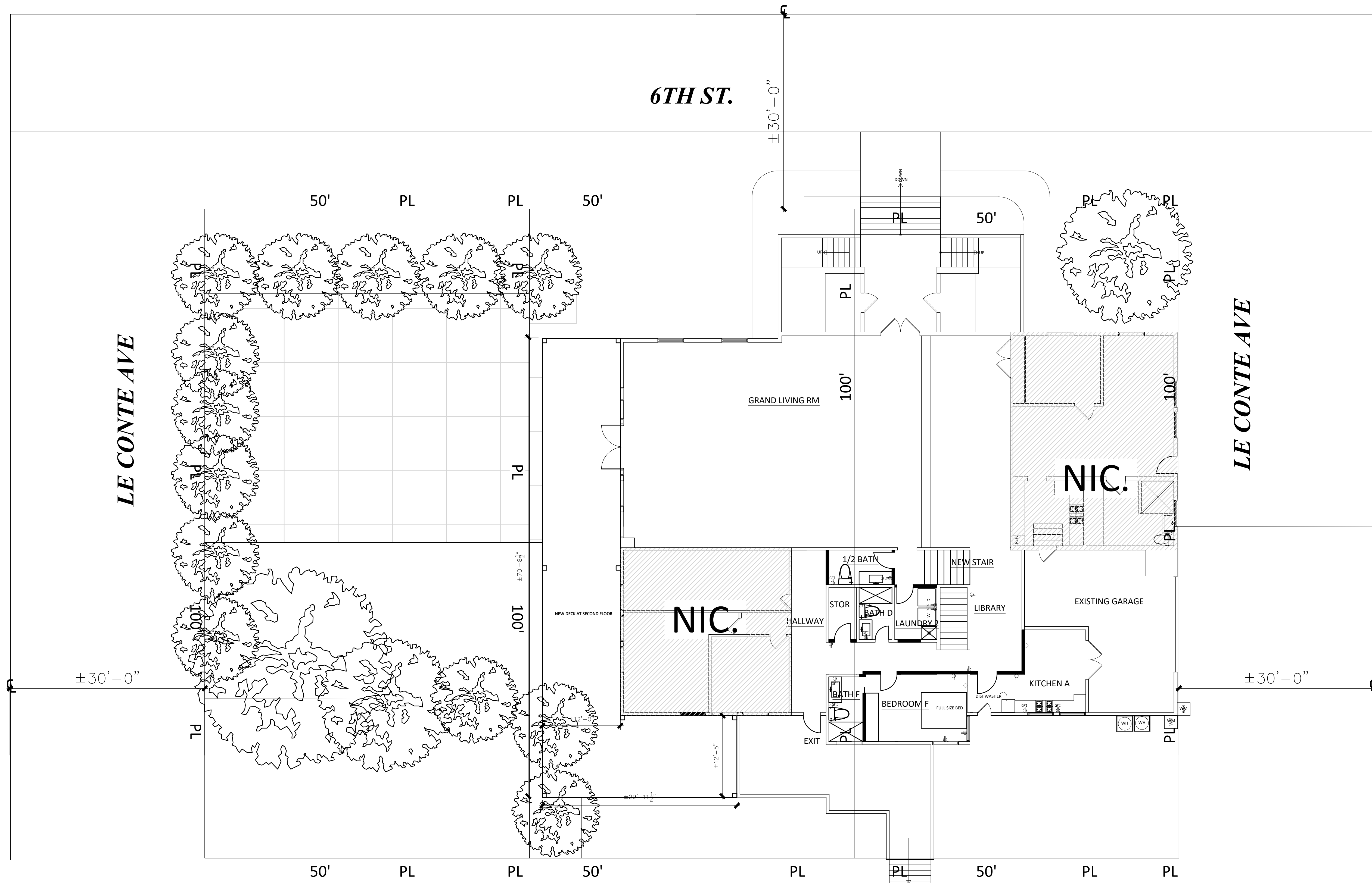


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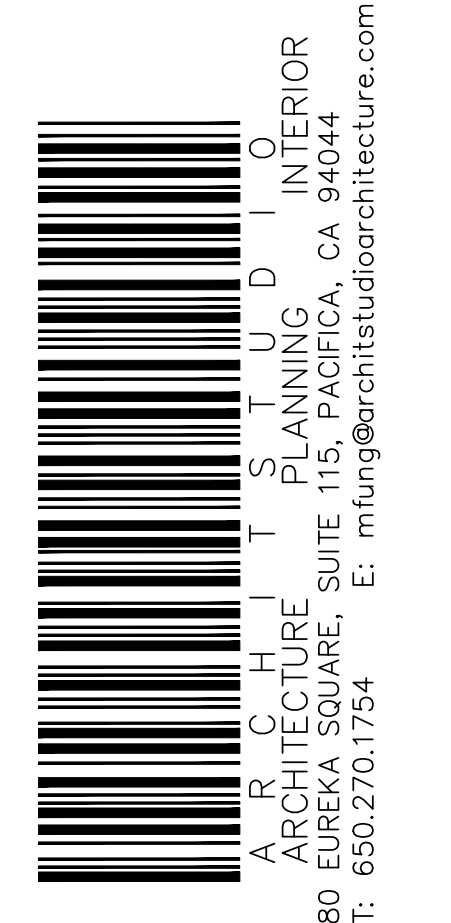
EXISTING PHOTO

Sheet No. A002

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1 SITE PLAN
 SCALE: 1/8" = 1'-0"
 0' 4' 8' 16'



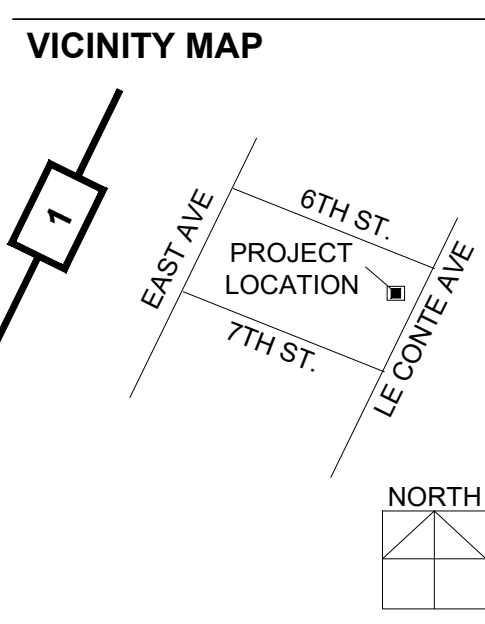
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Date: 2021.11.29 Project No.: 2021.117
 Sheet Title: **SITE PLAN**

Sheet No.: **A100**

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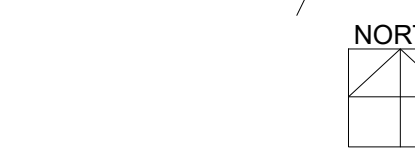
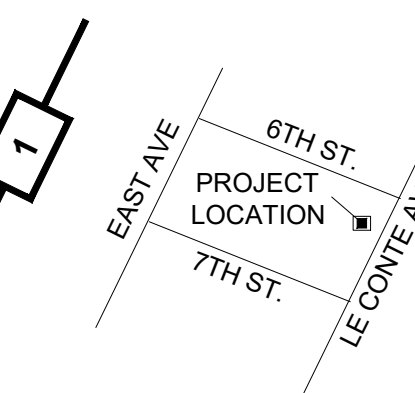
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VICINITY MAP

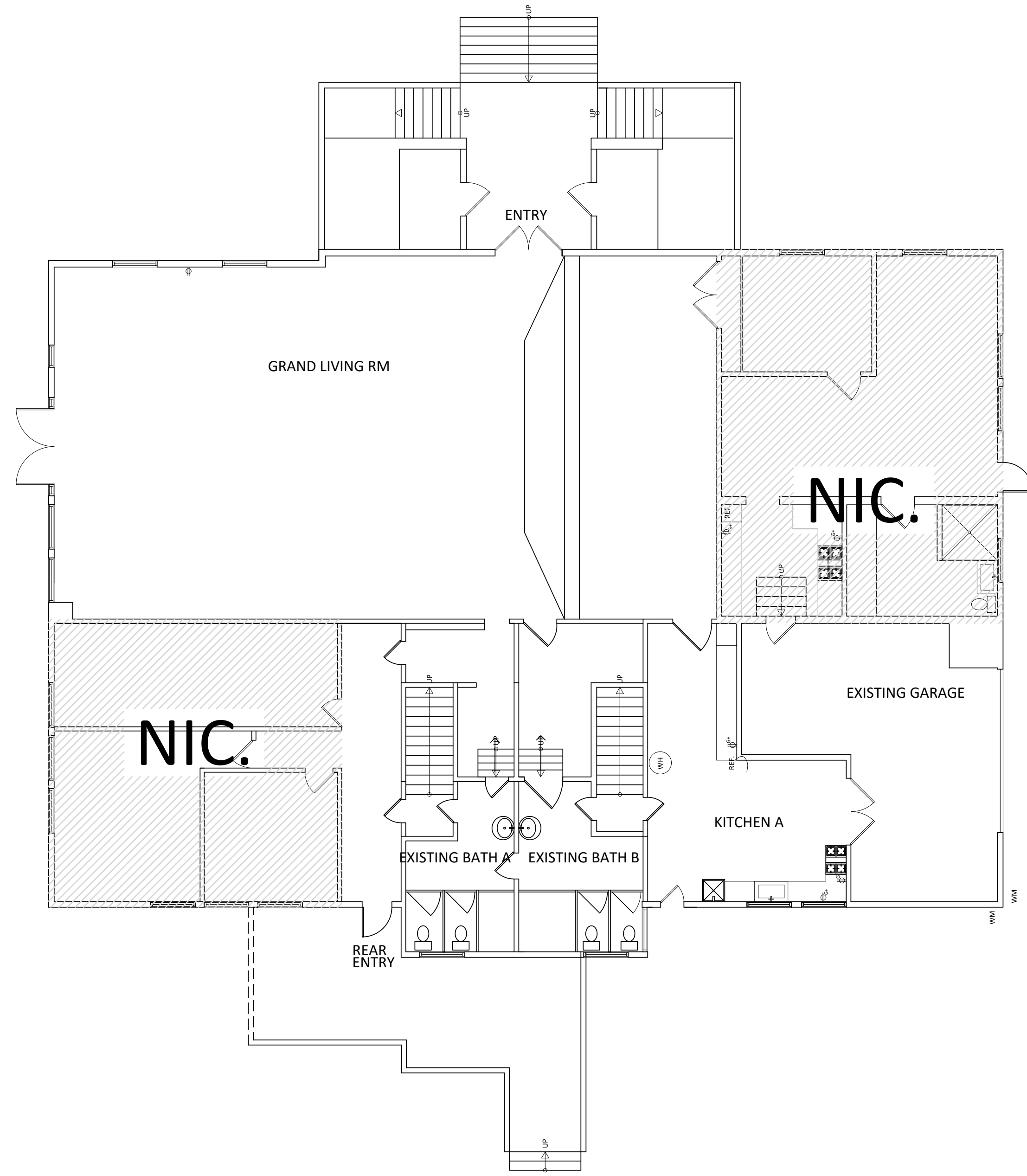


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**EXISTING FLOOR
 PLAN**

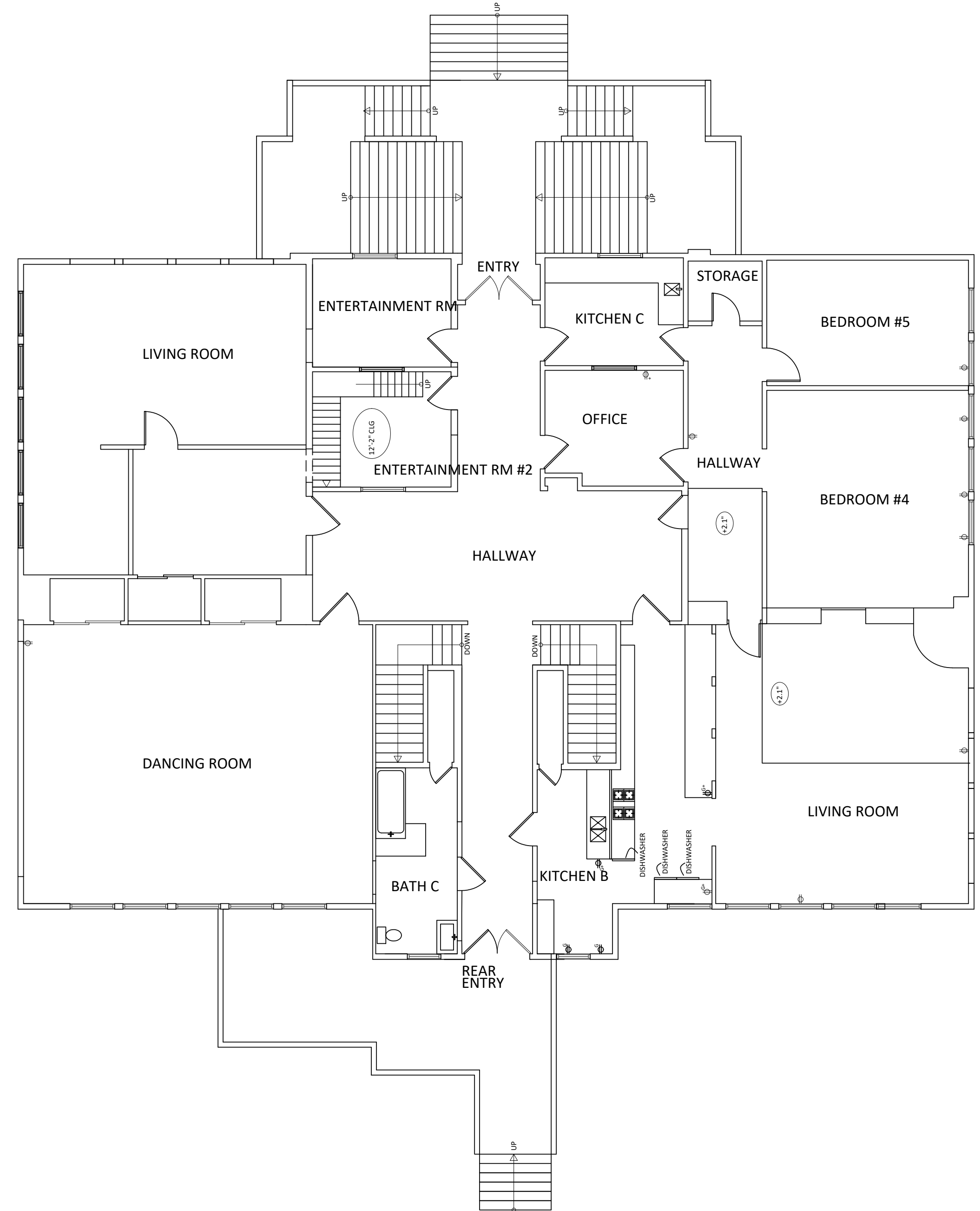
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1 EXISTING FIRST FLOOR PLAN NORTH

SCALE: 1/8" = 1'-0"
 0' 4' 8' 16'
 (NO CHANGE OF BUILDING FOOTPRINT)

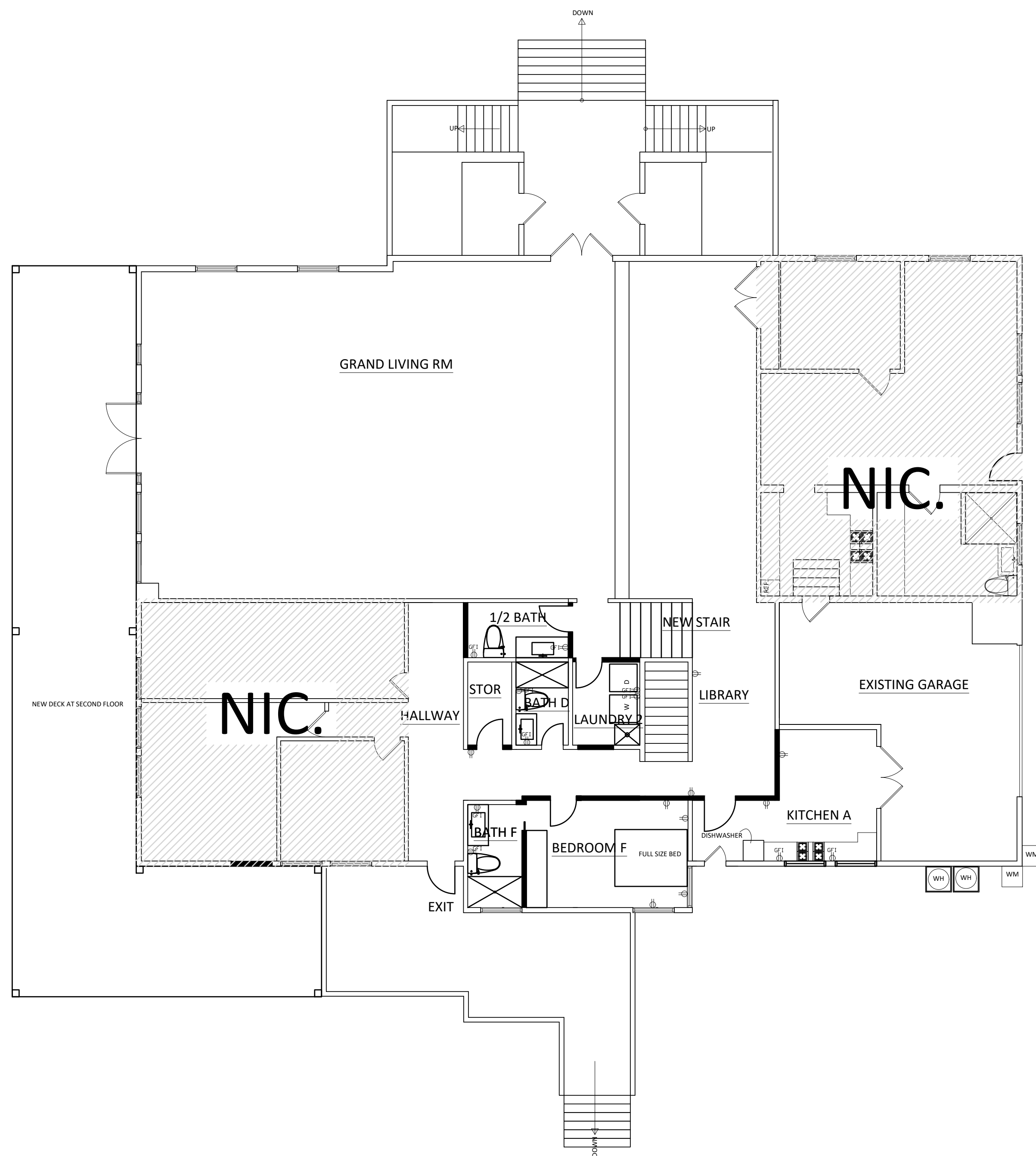


2 EXISTING SECOND FLOOR PLAN NORTH

SCALE: 1/8" = 1'-0"
 0' 4' 8' 16'
 (NO CHANGE OF BUILDING FOOTPRINT)

LEGEND

- EXISTING WALL TO REMAIN
- EXISTING TO BE REMOVED
- HOT WATER HEATER
- EXISTING DOOR TO REMAIN
- EXISTING DOOR TO BE REMOVED



1 PROPOSED FIRST FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 0' 4' 8' 16'
 (NO CHANGE OF BUILDING FOOTPRINT)



2 PROPOSED SECOND FLOOR PLAN
 SCALE: 1/8" = 1'-0"
 0' 4' 8' 16'
 (NO CHANGE OF BUILDING FOOTPRINT)

LEGEND	
	NEW EXTRIOR - 1 HR FIRE RATED
	NEW WALL -RATE @ EXTERIOR
	EXISTING WALL TO REMAIN
	EXISTING TO BE REMOVED
	HOT WATER HEATER
	DOOR
	NEW DS
	AFCI PROTECTED DUPLEX RECEPTACLE +15" TO < (U.O.N.)
	DUPLEX RECEPTACLE WITH GROUND FAULT CIRCUIT INTERRUPTER
	WATER METER
NEW 4X4 DOWNSPOUT SHALL BE CONNECTED WITH NEW 4" DIA UNDERGROUND RAINWATER LEADER AND DAYLIGHT TO EXISTING SIDEWALK PER CTY REQUIREMENT	

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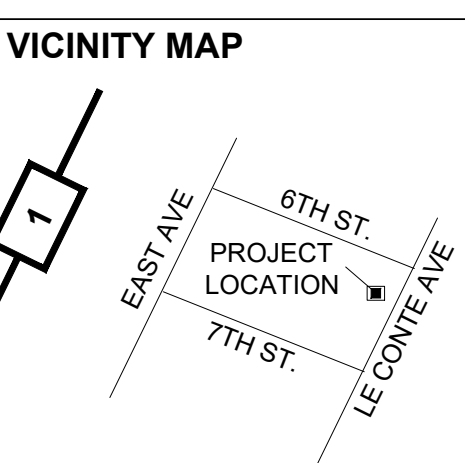
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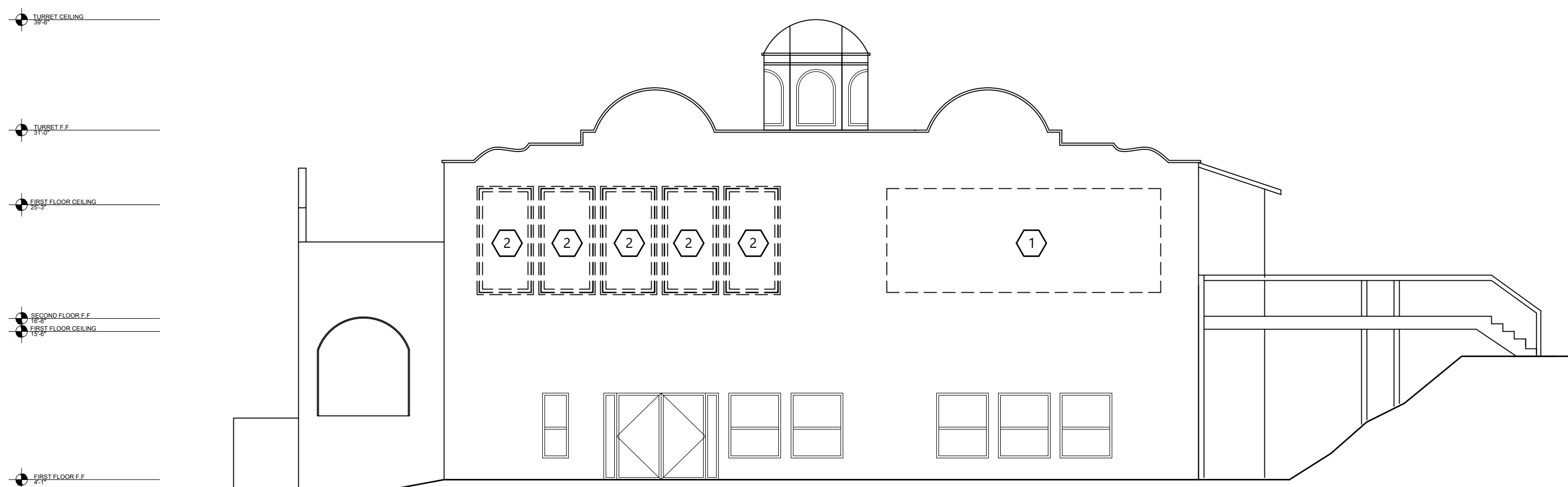
Date: 2021.11.29
 Project No.: 2021.117
 Sheet Title: PROPOSED FLOOR PLAN

Sheet No. A201

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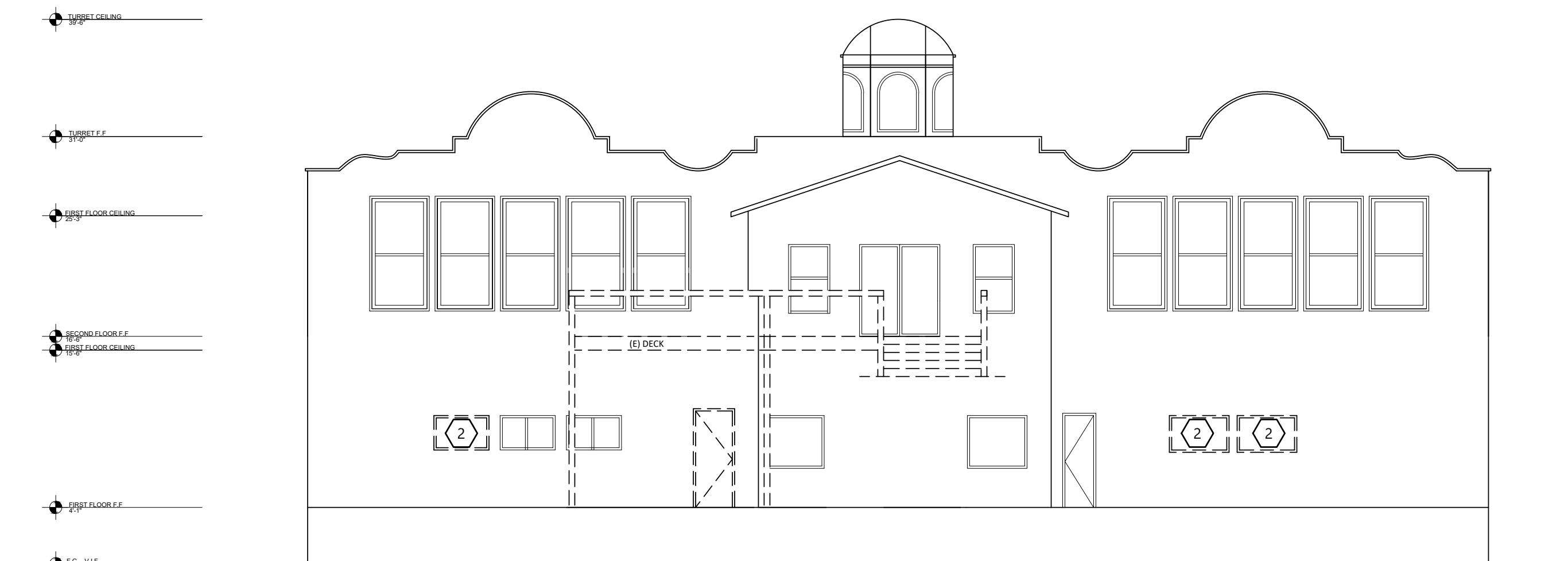
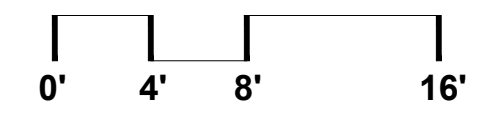
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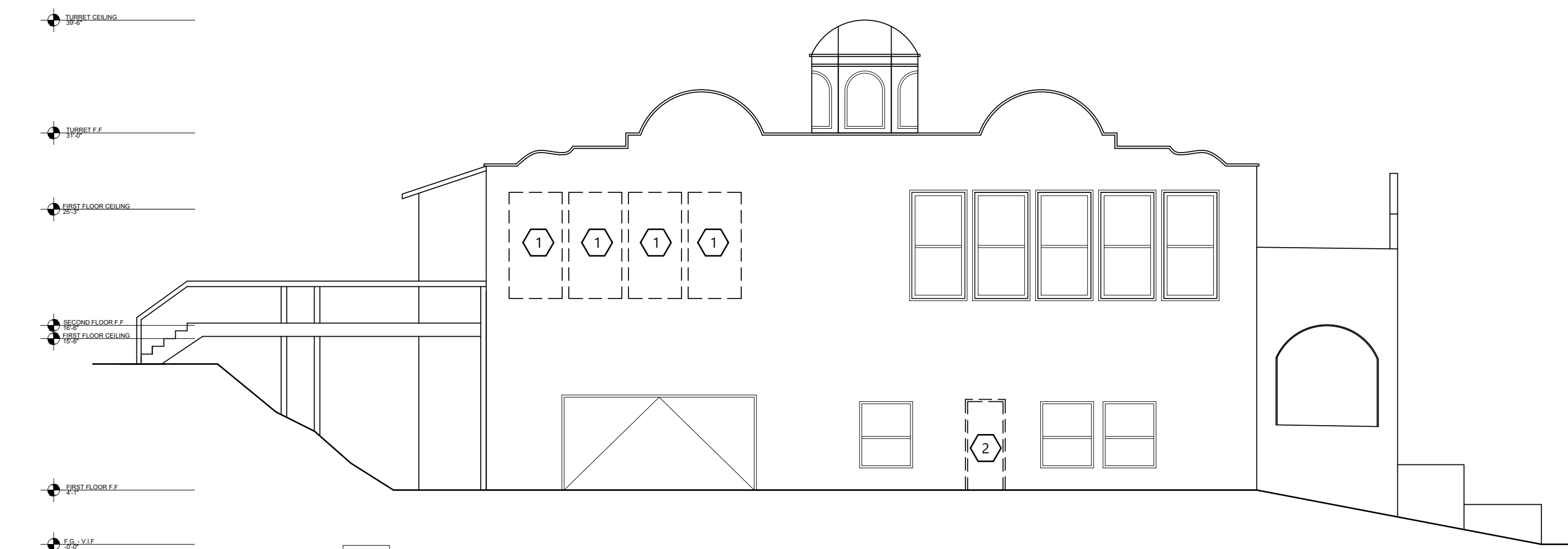
C

1 EXISTING EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"



B

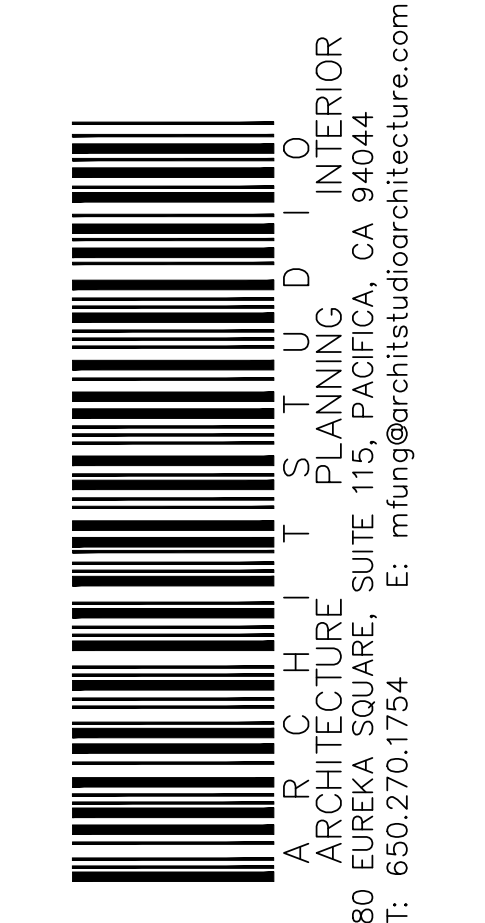
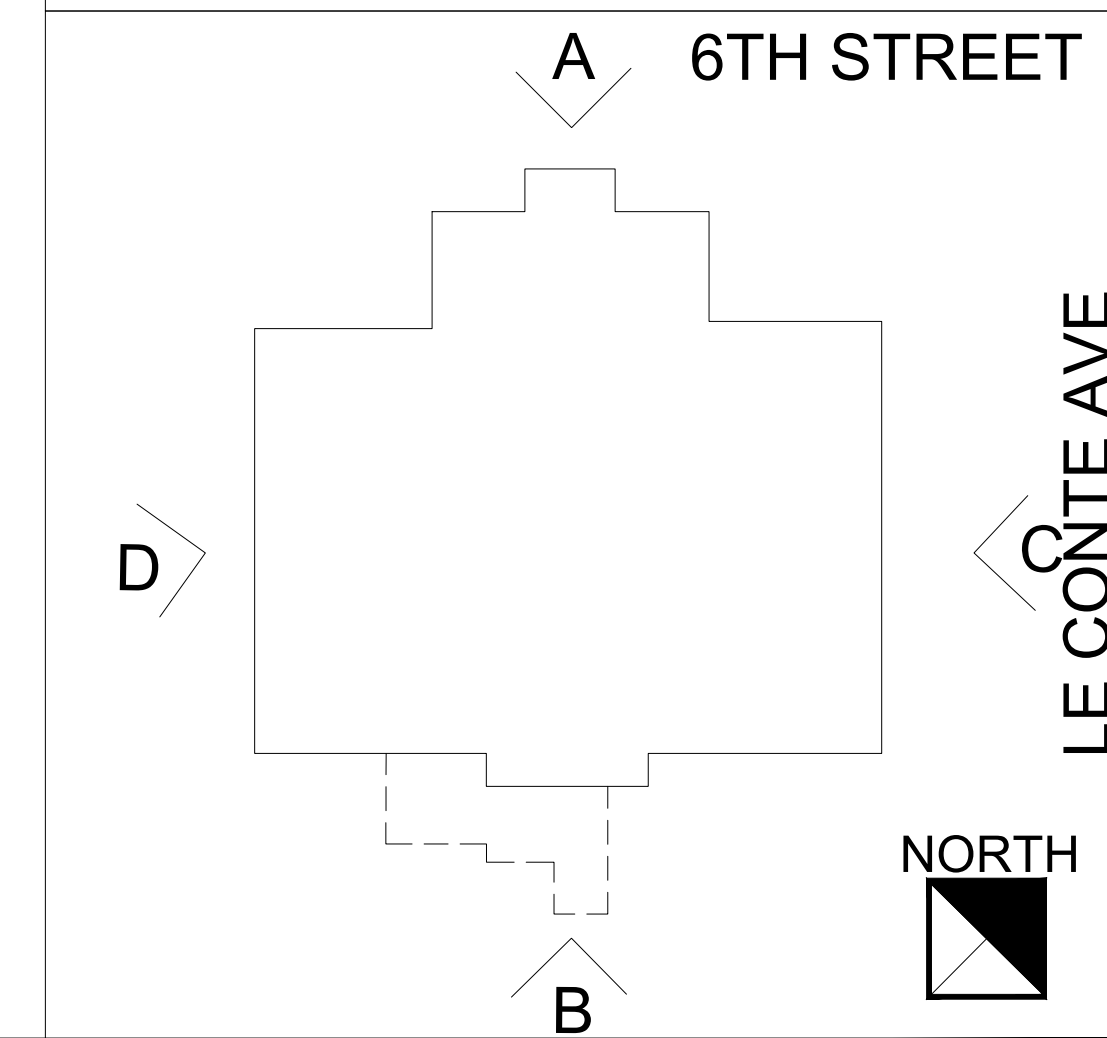


D

KEY NOTES: DEMOLITION PLAN

- 1 NEW OPENING FOR NEW WINDOW
- 2 EXISTING WINDOW AND DOOR TO BE REMOVED AND REPLACED WITH NEW

KEYPLAN



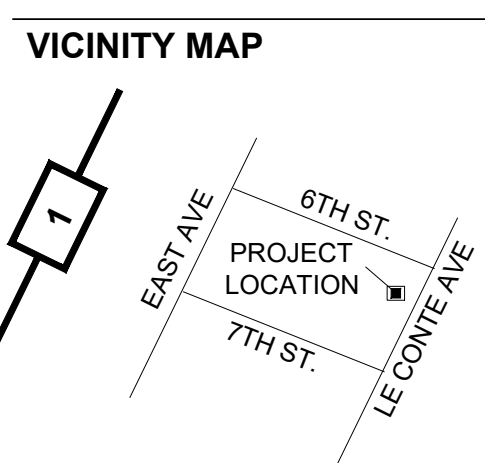
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EXISTING EXTERIOR ELEVATION

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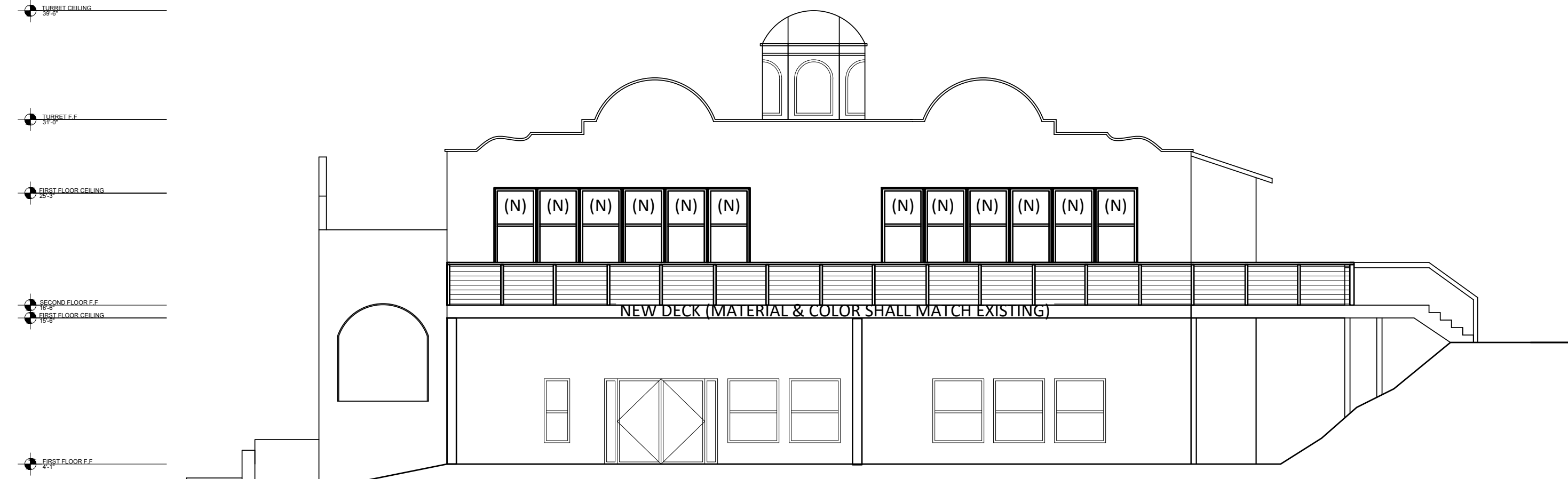
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A



B



C



D

1 PROPOSED EXTERIOR ELEVATION

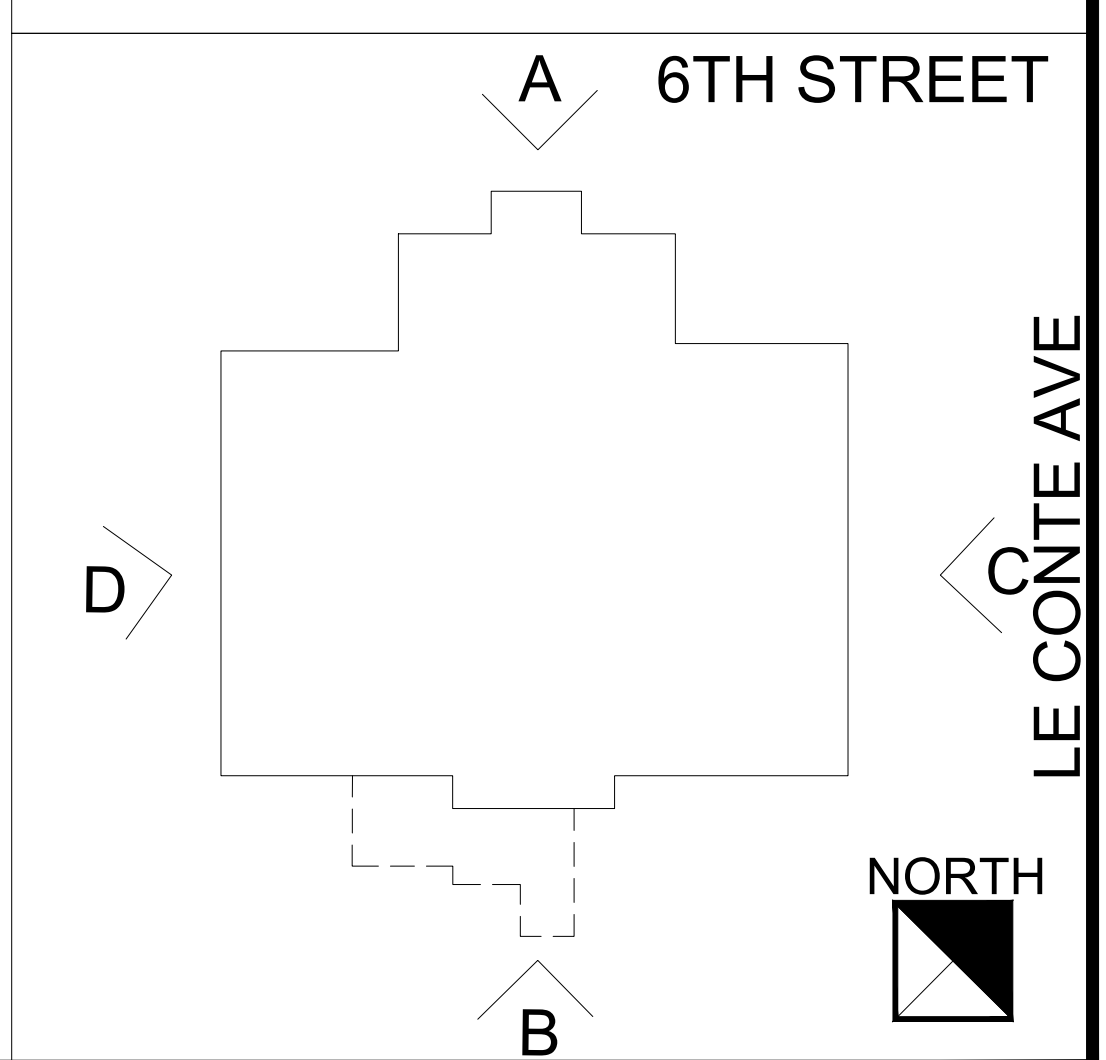
SCALE: 1/8" = 1'-0"
 0' 4' 8' 16'

WINDOW SPECIFICATION

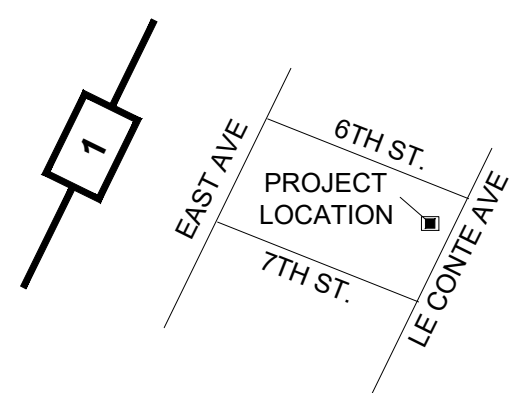
TYPE OF EXISTING WINDOW
 WINDOW FRAME COLOR: WHITE
 WINDOW FRAME MATERIAL: WOOD
 GLAZING: CLEAR

TYPE OF NEW WINDOW & NANA WINDOWS (SLIDING DOOR)
 WINDOW FRAME COLOR: WHITE (MATCH EXISTING)
 WINDOW FRAME MATERIAL: VINYL
 WINDOW FRAME THICKNESS SHALL MATCH EXISTING WINDOW
 GLAZING: DUAL PANES 3/8" TINTED TEMPERED WITH ARGON FILLING
 U VALUE: LESS THAN 0.3
 SHGC VALUE: LESS THAN 0.3

KEYPLAN



VICINITY MAP



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