

August 11 2022

Owner / Applicant: Paul McGregor

FileNo: PLN 2021-00101

Location: Alto Avenue, Miramar

No.: 048-065-060

At the regular meeting of the CDRC, the project identified as PLN2021-00101, a proposed 2 story single family residence with an attached 395 sq. ft. garage on a legal 4,800sq. ft. undeveloped parcel was reviewed.

The applicant chose to continue their project and return at a future date to be determined.

REVIEW:

Support from 2 neighbors for the work of Paul McGregor and this project.

CDRC REVIEW

- Include small, med and large plants in landscape design
- The project does not comply with the section on roof massing. There is one unbroken roof. It should be developed with primary and secondary roof forms, at minimum the single gable should be broken with dormers, rotated gables, or secondary forms
- Wall articulation- review section 1e, which applies to projects complying under 1d daylight plane or facade articulation options. The fireplace projection is not in it self sufficient. Use architectural projections to provide wall articulation.
- Consider pushing the lower floor forward to resolve the cantilever. The current cantilever doesn't comply for both the cantilever and the tall posts.
- Reduce setbacks(there is already a Use permit for this project, so the reduced setback would be part of the Use Permit) to allow for more articulation.
- Incorporate an ADU into the design to allow for reduced setbacks.

See Standards:

Section 6565.20(D) Elements of Design

1. Building mass , shape and scale

a. Relationship to existing Topography

Standards: To the extent feasible structure shall:

(3)Minimize Building extensions out over a slope supported on high stilts.

c. Second Stories

(e) Avoid designs where large areas of upper-story walls overhang or cantilever out over lower story walls

1. e. Wall Articulation arrangement /placement/massing of major building forms

Standards

These standards apply in addition to either the Daylight Plane or Façade Articulation Options in the preceding section:

- (1) Require at least one step or off-set extending to grade on the long dimension of the house.
- (2) Projecting or recessing architectural details (decks, bays, windows, balconies) and changes in building materials or colors are also encouraged to visually break up building walls.

3. Roof design

a. Massing and design of roof forms

Section6565.20(F) Landscaping ,paved ares, fences, lighting

1. Landscaping

- b Finished landscape plan compatible with & enhance the design of the home
- f. landscaping ,drought tolerant & native or non invasive plant species

GENERAL EROSION AND SEDIMENT CONTROL NOTES

FIBER ROLL
INSTALL AT LOCATIONS SHOWN.
AFIX AS SHOWN IN DETAIL SE-5

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.

EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

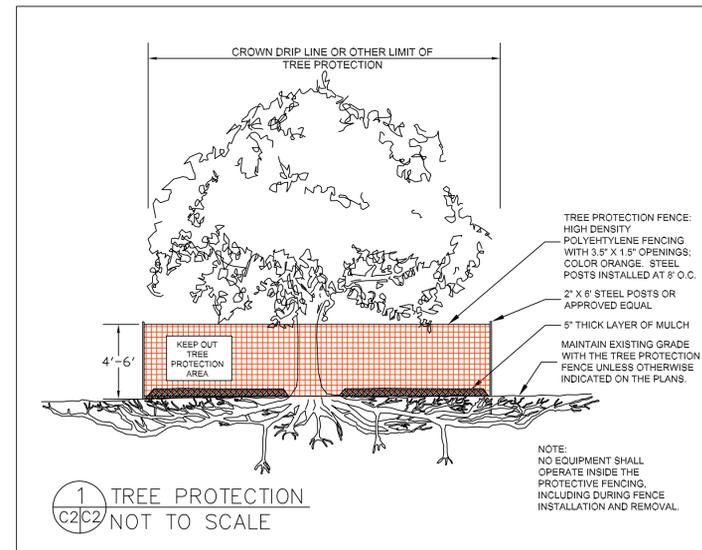
NAME: PAUL MCGREGOR
TITLE/QUALIFICATION: OWNER
PHONE: 650-703-8993
PHONE:
E-MAIL: MACKY8@DLSEXTREME.COM



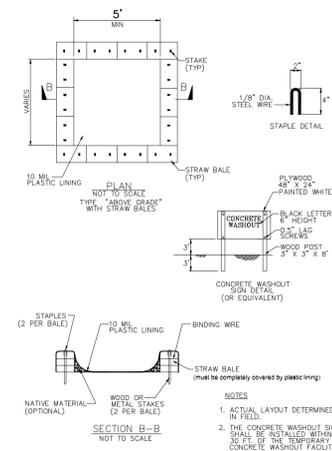
Sigma Prime Geosciences, Inc.
SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
HALF MOON BAY, CA 94019
(650) 728-3590
FAX 728-3593

TREE PROTECTION NOTES

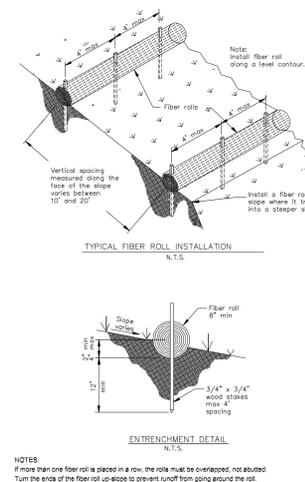
1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



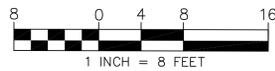
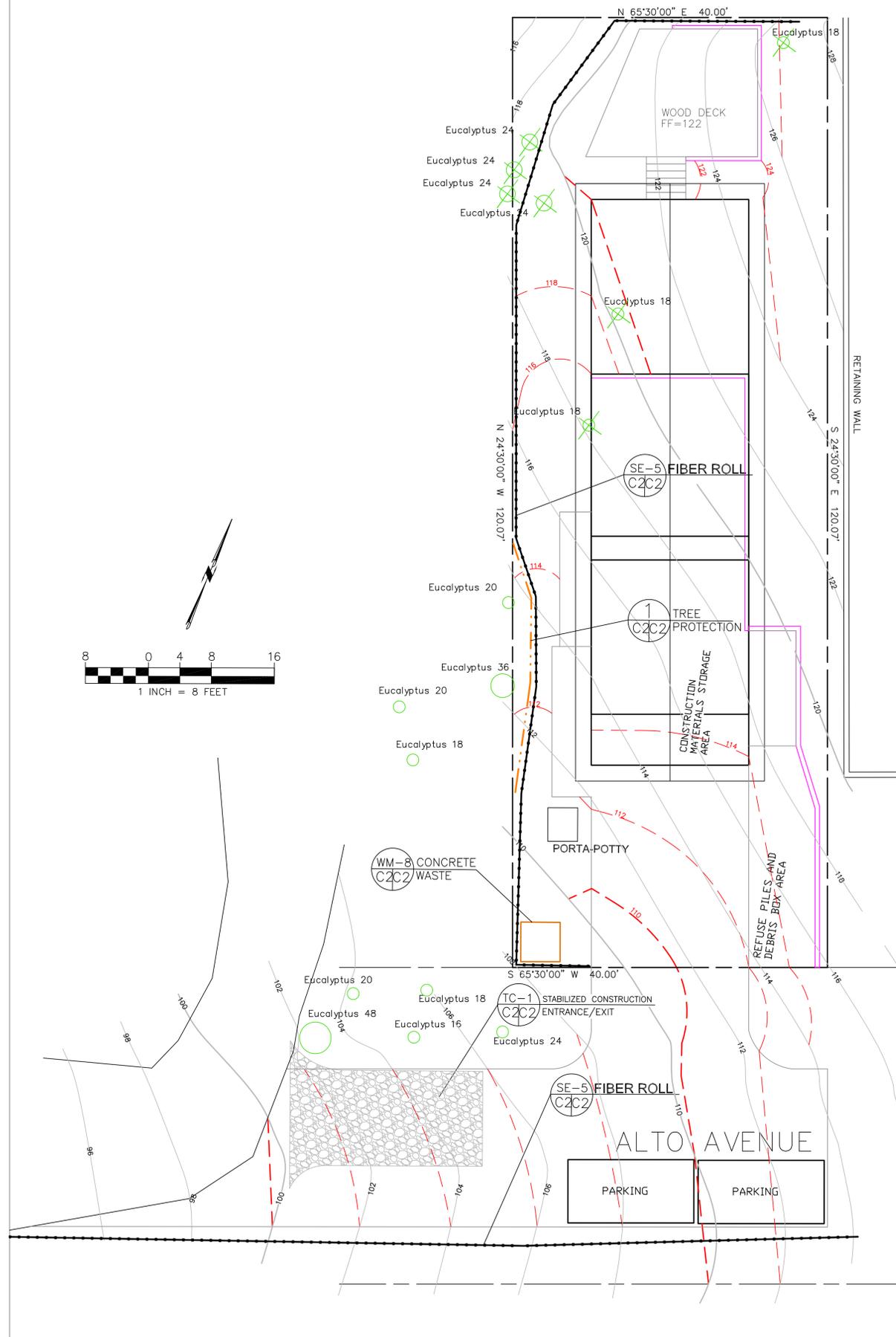
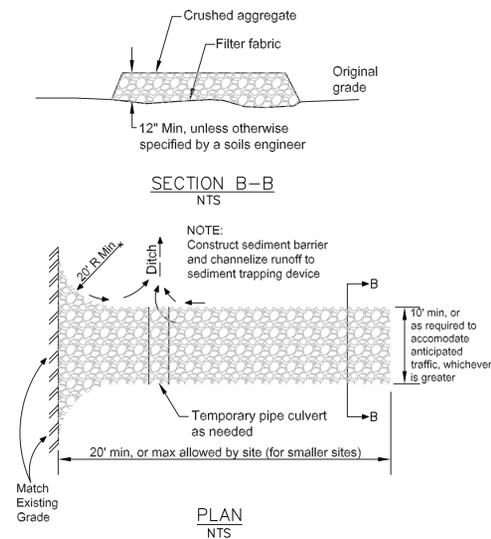
CONCRETE WASTE MANAGEMENT WM-8



FIBER ROLLS SE-5



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



DATE: 4-13-20
DRAWN BY: CMK
CHECKED BY: AZG
REV. DATE:
REV. DATE:
REV. DATE:

EROSION AND SEDIMENT CONTROL PLAN
MCGREGOR PROPERTY
ALTO AVENUE
MIRAMAR
APN 048-065-060

SHEET
C-2

SITE PLAN KEYNOTES

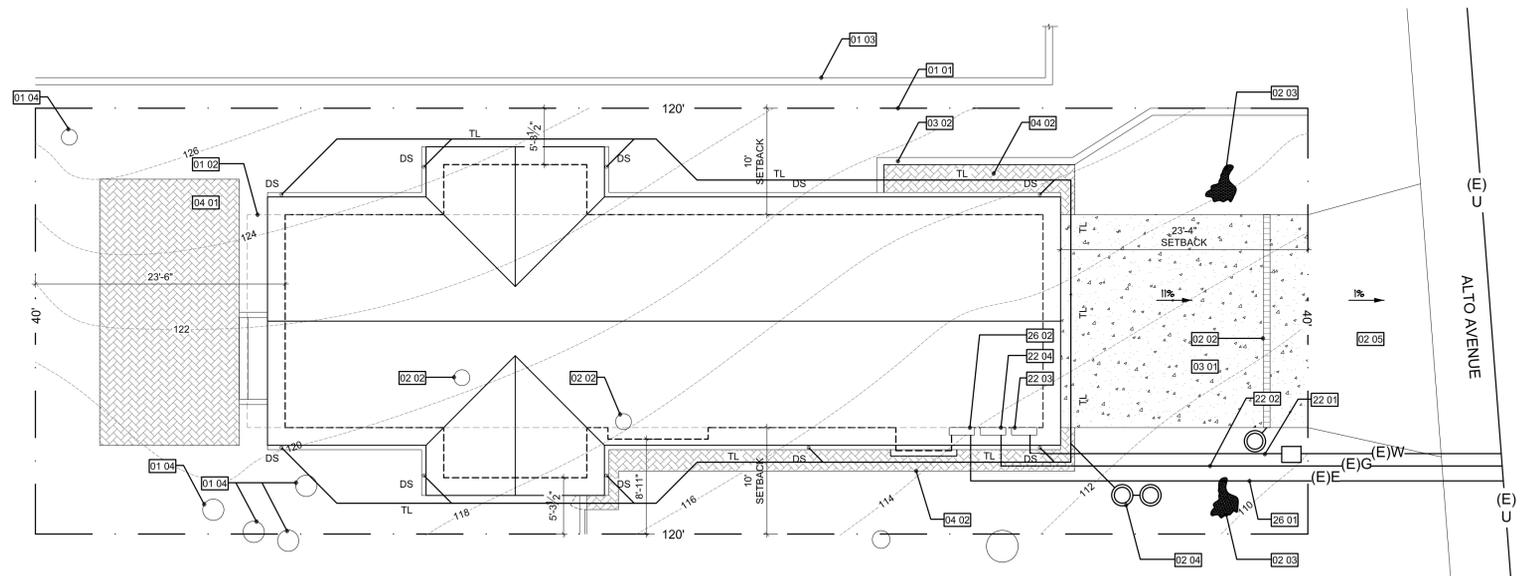
SYMBOL	DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
01 00	GENERAL
01 01	PROPERTY LINE
01 02	SETBACKS
01 03	EXISTING RETAINING WALL
01 04	EXISTING TREE TO REMOVE
02 00	SITE CONSTRUCTION
02 01	SWALES
02 02	6" TRENCH DRAIN
02 03	3' x 10' DEEP ENERGY DISSIPATER
02 04	(2) 2' x 9' DEEP DRY WELLS FOR ROOF RUNOFF
02 05	NEW ASPHALT APRON
03 00	CONCRETE
03 01	PROPOSED CONCRETE DRIVEWAY
03 02	CONCRETE RETAINING WALL
04 00	MASONRY
04 01	PROPOSED PAVERS SET IN SAND
04 02	PROPOSED PAVERS WALKWAY
22 00	PLUMBING
22 01	22.1 SEE MEP PLANS FOR REQUIREMENTS AND NOTES WATER ENTRY POINT W/ PRIVATE METERS, (1.5 WATER SERVICE& BBOS VALVE) CONTRACTOR TO VERIFY
22 02	GAS LINE
22 03	WATER METER
22 04	GAS METER
26 00	ELECTRICAL
26 01	26.1 SEE MEP PLANS FOR REQUIREMENTS AND NOTES MAIN ELECTRICAL SERVICE
26 02	ELECTRICAL METER

GENERAL SITE NOTES

- DIMENSIONS TAKE PRECEDENCE OVER SCALE. IF DIMENSIONAL ERRORS OCCUR, CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO COMMENCING THAT PORTION OF THE WORK.
- DURING GRADING IF THE PROPERTY CORNERS ARE DISTURBED, ALTERED, OR TAMPERED WITH THE GRADING CONTRACTOR SHALL HAVE THE PROPERTY CORNERS RESET BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR AT COMPLETION OF GRADING. ALL COST SHALL BE BORNE BY THE GRADING CONTRACTOR.
- THE CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING BUILDING CORNERS, PERFORMING ALL LAYOUT WORK, SETTING ALL LINES, GRADES, RADIO, ETC. OR ANY OTHER POINTS NECESSARY FOR HIS WORK.
- LOCATION OF UTILITIES BASED ON BEST INFORMATION AVAILABLE. AND MAY NOT BE COMPLETE OR ACCURATE. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES.
- ALL DIMENSIONS, SETBACKS, AND PROPERTY BOUNDARIES SHOWN HERE MAY ONLY BE CONSIDERED TO BE APPROXIMATE. CONTRACTOR BEARS FULL RESPONSIBILITY FOR VERIFICATION OF ALL SETBACKS OR EASEMENTS BEFORE BEGINNING CONSTRUCTION.
- ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THE SITE PLAN.
- SOILS PREPARATION AND SITE GRADING SHALL BE INSPECTED BY THE SOILS ENGINEER OR ENGINEERING GEOLOGIST OF RECORD DURING THE GRADING OPERATIONS. THE ENGINEER SHALL CERTIFY THE WORK AS BEING DONE IN ACCORDANCE WITH THE APPROVED RECOMMENDATIONS IF NEEDED, PRIOR TO PLACEMENT OF BUILDING FOUNDATIONS.
- ALL SITE WORK, DRAINAGE SYSTEMS AND FOUNDATIONS AND OTHER SOIL CONSIDERATIONS SHALL CONFORM TO THE RECOMMENDATIONS OF THE REPORT AND ANY SUBSEQUENT RECOMMENDATIONS MADE BY THE SOIL ENGINEER OF RECORD. FOUNDATION EXCAVATIONS SHALL BE REVIEWED AND APPROVED BY SOIL ENGINEER OF RECORD PRIOR TO PLACEMENT OF FORMS AND REINFORCEMENT.
- OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.

LINE LEGEND

—(E) E—	EXISTING ELECTRICAL SUPPLY
—(E) P—	EXISTING WATER SUPPLY
—(E) G—	EXISTING GAS SUPPLY
—(E) S—	EXISTING BUILDINGS SEWER
—(N) E—	NEW ELECTRICAL SUPPLY
—(N) P—	NEW WATER SUPPLY
—(N) G—	NEW GAS SUPPLY
—(N) S—	NEW BUILDINGS SEWER
— U —	UTILITY LINES



PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



Architect
Wilkins Studio Architects
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Morro Bay, CA 93442
(415) 273-9054

Owner:
-

Alto Residence
Alto Avenue, Half Moon Bay, CA 94019
APN: 048-065-060

No.	Description	Date
	Submittal	11/17/2022

Proposed Site Plan
A0-2
Scale: As Noted
Sheet size: Arch D

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GENERAL NOTES

- NO CONSTRUCTION SHALL BE STARTED WITHOUT PLANS APPROVED BY THE COUNTY BUILDING DEPARTMENT. THE BUILDING DEPARTMENT SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO STARTING OF CONSTRUCTION AND OF THE TIME LOCATION OF THE PRECONSTRUCTION CONFERENCE. ANY CONSTRUCTION PERFORMED WITHOUT APPROVED PLANS OR PRIOR NOTIFICATION TO THE BUILDING DEPARTMENT WILL BE REJECTED AND WILL BE AT THE CONTRACTOR'S AND/OR OWNER'S RISK.
- FOR ANY CONSTRUCTION PERFORMED THAT IS NOT IN COMPLIANCE WITH PLANS OR PERMITS APPROVED FOR THE PROJECT THE BUILDING DEPARTMENT MAY REVOKE ALL ACTIVE PERMITS AND RECOMMEND THAT COUNTY CODE ENFORCEMENT PROVIDE A WRITTEN NOTICE OR STOP WORK ORDER IN ACCORDANCE WITH SECTION 22.52.140 [23.10] OF THE LAND USE ORDINANCE.
- ALL CONSTRUCTION WORK AND INSTALLATIONS SHALL CONFORM TO THE MOST CURRENT JURISDICTION PUBLIC IMPROVEMENT STANDARDS AND ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE BUILDING DEPARTMENT.
- THE PROJECT OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND/OR MAINTAINING ALL WEATHER ACCESS AT ALL TIMES TO EXISTING PROPERTIES LOCATED IN THE VICINITY OF WORK. ADDITIONALLY, THEY SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING SERVICES, INCLUDING UTILITY, GARBAGE COLLECTION, MAIL DISTRIBUTION, ETC., TO ALL EXISTING PROPERTIES LOCATED IN THE VICINITY OF WORK.
- ON-SITE HAZARDS TO PUBLIC SAFETY SHALL BE SHIELDED BY CONSTRUCTION FENCING. FENCING SHALL BE MAINTAINED BY THE PROJECT OWNER AND CONTRACTOR UNTIL SUCH TIME THAT THE PROJECT IS COMPLETED AND OCCUPIED. POTENTIAL HAZARDS HAVE BEEN MITIGATED, OR ALTERNATIVE PROTECTIVE MEASURES HAVE BEEN INSTALLED.
- SOILS TESTS SHALL BE DONE IN ACCORDANCE WITH THE COUNTY PUBLIC IMPROVEMENT STANDARDS, SECTION 3.2.3. ALL TESTS MUST BE MADE WITHIN 15 DAYS PRIOR TO THE PLACING MATERIAL. THE TEST RESULTS SHALL CLEARLY INDICATE THE LOCATION AND SOURCE OF THE MATERIAL.
- ROADWAY COMPACTION TESTS SHALL BE MADE ON SUBGRADE MATERIAL, AGGREGATE BASE MATERIAL, AND MATERIAL AS SPECIFIED BY THE SOILS ENGINEER. SAID TESTS SHALL BE MADE PRIOR TO THE PLACEMENT OF THE NEXT MATERIAL LIFT.
- SUBGRADE MATERIAL SHALL BE COMPACTED TO A RELATIVE COMPACTION OF 95% IN THE ZONE BETWEEN FINISHED SUBGRADE ELEVATION AND A MINIMUM OF 1-FOOT BELOW. ALL MATERIAL IN FILL SECTIONS BELOW THE ZONE MENTIONED ABOVE SHALL BE COMPACTED TO 90% RELATIVE COMPACTION.
- CONTRACTOR SHALL CERTIFY THAT THE IMPROVEMENTS WHEN COMPLETED ARE IN ACCORDANCE WITH THE PLANS PRIOR TO THE REQUEST FOR A FINAL INSPECTION. RECORD DRAWINGS SHALL BE PREPARED AFTER CONSTRUCTION IS COMPLETED. THE CONTRACTOR CERTIFYING THE IMPROVEMENTS AND PREPARING AS-BUILT PLANS MAY BE PRESENT WHEN THE FINAL INSPECTION IS MADE BY THE COUNTY.
- ALL UTILITY COMPANIES SHALL BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION.
- A JURISDICTION ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK DONE WITHIN THE COUNTY RIGHT-OF-WAY. THE ENCROACHMENT PERMIT MAY ESTABLISH ADDITIONAL CONSTRUCTION, UTILITY AND TRAFFIC CONTROL REQUIREMENTS.
- THE JURISDICTION INSPECTOR ACTING ON BEHALF OF THE JURISDICTION BUILDING DEPARTMENT MAY REQUIRE REVISIONS IN THE PLANS TO SOLVE UNFORESEEN PROBLEMS THAT MAY ARISE IN THE FIELD. ALL REVISIONS SHALL BE SUBJECT TO THE APPROVAL OF THE DEVELOPER'S ENGINEER OF WORK.
- THE STRUCTURAL SECTION SHALL BE BASED ON SOILS TESTS TAKEN AT THE TIME OF CONSTRUCTION AND USING A TRAFFIC INDEX OF FOR (ROAD NAME). THE STRUCTURAL SECTION SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO ROAD CONSTRUCTION. 14. HYDRO-SEEDING OR OTHER PERMANENT EROSION CONTROL SHALL BE PLACED AND ESTABLISHED WITH 90% COVERAGE ON ALL DISTURBED SURFACES (OTHER THAN PAVED OR GRAVEL SURFACES) PRIOR TO THE FINAL INSPECTION. 15. FOR ANY PUBLIC IMPROVEMENTS TO BE MAINTAINED BY THE JURISDICTION, IF ENVIRONMENTAL PERMITS FROM THE U.S. ARMY CORPS OF ENGINEERS, THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD/STATE WATER RESOURCES CONTROL BOARD, OR THE CALIFORNIA DEPARTMENT OF FISH & GAME ARE REQUIRED, THE DEVELOPER SHALL: A. SUBMIT A COPY OF ALL SUCH COMPLETED PERMITS TO THE COUNTY BUILDING DEPARTMENT OR, B. DOCUMENT THAT THE REGULATORY 16, WHEN THE PROJECT SITE EARTHWORK IS NOT INTENDED TO BALANCE THEN A SEPARATE GRADING PERMIT FOR THE SENDING OR RECEIVING PROPERTY MAY BE REQUIRED. A COPY OF THE PERMITS OR EVIDENCE THAT NO PERMITS ARE REQUIRED SHALL BE SUBMITTED TO THE DEPARTMENT PRIOR TO COMMENCING PROJECT EARTHWORK.

GRADING NOTES

- ALL DISTURBED AREAS SHALL BE HYDRO SEEDED OR PLANTED WITH APPROVED EROSION CONTROL VEGETATION AS SOON AS PRACTICAL AFTER CONSTRUCTION IS COMPLETE. 12. MINIMUM SETBACK TO CREEKS AND BLUFFS SHALL BE MAINTAINED. MINIMUM SETBACK OF TWO FEET FROM ALL PROPERTY LINES WILL BE MAINTAINED FOR ALL GRADING. 13. MINIMUM SLOPE AWAY FROM BUILDINGS SHALL BE 5% FOR THE FIRST TEN FEET AROUND PERIMETER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKERS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- ALL CONTRACTORS AND SUBCONTRACTORS WORKING WITHIN THE RIGHT OF WAY SHALL HAVE AN APPROPRIATE CONTRACTOR'S LICENSE, A LOCAL BUSINESS LICENSE, AND shall obtain an encroachment permit. 16. ENGINEERING REPORTS FOR CUT OR FILL SLOPE STEEPER THAN 2:1 SHALL BE SUBMITTED TO THE FIELD INSPECTOR.
- ALL GRADING CONSTRUCTION SHALL CONFORM TO THE APPLICABLE CODES AS NOTED UNDER "APPLICABLE CODES" HEADING.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE COUNTY AND OTHER AFFECTED AGENCIES. THE CONTRACTOR SHALL NOTIFY THE COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS PRIOR TO ANY WORK BEING PERFORMED, AND ARRANGE FOR INSPECTION.
- GRADING SHALL COMPLY WITH THE RECOMMENDATIONS OF THE PRELIMINARY SOILS REPORT.
- ESTIMATED EARTH QUANTITIES: FRONT YARD RETAINING WALL 48 CU. YARDS DRIVEWAY 56 CU. YARDS NOTE: EXACT SHRINKAGE, CONSOLIDATION, AND SUBSIDENCE FACTORS AND LOSSES DUE TO CLEARING OPERATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES ARE BASED UPON THE DIFFERENCE BETWEEN EXISTING GROUND SURFACE AND PROPOSED FINISH GRADES, OR SUB GRADES AS SHOWN ON THE PLAN, AND SHOULD VARY ACCORDING TO THESE FACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE INSPECTION AND QUANTITY TAKE OFF, AND SHALL BID ACCORDINGLY.
- SOILS ENGINEER TO DETERMINE THE SOIL IS SUITABLE TO SUPPORT THE INTENDED STRUCTURE. SUCH REPORT INCLUDING PROGRESS AND/OR COMPACTION REPORTS SHALL BE SUBMITTED TO THE FIELD INSPECTOR PRIOR TO FINAL INSPECTION WHEN A SOILS REPORT IS OBTAINED. THE COUNTY POLICY REGARDING PAD CERTIFICATION SHALL BE FOLLOWED. WHEN APPLICABLE THE ENGINEER SHALL OBSERVE THE GRADING OPERATION(S) AND PROVIDE THE FIELD INSPECTOR WITH REQUIRED COMPACTION REPORTS AND A REPORT STATING THAT THE GRADING PERFORMED HAS BEEN OBSERVED AND IS IN CONFORMANCE WITH THE UBC AND JURISDICTION ORDINANCES.
- NO CUT OR FILL SLOPES WILL BE CONSTRUCTED STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
- DUST CONTROL IS TO BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- AREAS OF FILL SHALL BE SCARIFIED, BENCHED AND RECOMPACTED PRIOR TO REPLACING FILL.
- FILL MATERIAL WILL BE RECOMPACTED TO 90% OF MAXIMUM DENSITY. 10. REMOVE ANY DELETERIOUS MATERIAL ENCOUNTERED BEFORE PLACING FILL.

UNDERGROUND UTILITY NOTES

- AN EFFORT HAS BEEN MADE TO DEFINE THE LOCATION OF UNDERGROUND FACILITIES WITHIN THE JOB SITE. HOWEVER, ALL EXISTING UTILITY AND OTHER UNDERGROUND STRUCTURES MAY NOT BE SHOWN ON THIS PLAN AND THEIR LOCATION WHERE SHOWN IS APPROXIMATE. THE CONSTRUCTION CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR LOCATING OR HAVING LOCATED ALL UNDERGROUND UTILITIES AND OTHER FACILITIES AND FOR PROTECTING THEM DURING CONSTRUCTION.
- ALL UTILITY COMPANIES MUST BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION. THE CONSTRUCTION CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT 811 TWO TO TEN DAYS PRIOR TO THE START OF EXCAVATION AND SHALL VERIFY THE LOCATION OF ANY KNOWN UTILITIES AND WHETHER OR NOT A REPRESENTATIVE OF EACH COMPANY WILL BE PRESENT DURING EXCAVATION.

APPLICABLE CODES

- 2019 BUILDING STANDARDS CODES
- CALIFORNIA BUILDING CODE, VOLS 1 & 2 (2019 IBC)
 - CALIFORNIA RESIDENTIAL CODE (NEW) (2019 IRC)
 - CALIFORNIA PLUMBING CODE (2019 UPC)
 - CALIFORNIA MECHANICAL CODE (2019 UMC)
 - CALIFORNIA ELECTRICAL CODE (2019 NEC)
 - CALIFORNIA ENERGY CODE (V.2008 UNTIL 7/1/2019)
 - CALIFORNIA GREEN BUILDING CODE
 - California Fire Code (2019 IFC)
 - CALIFORNIA REFERENCE STANDARDS CODE
 - COUNTY BUILDING AND CONSTRUCTION ORDINANCE - TITLE 16
 - COUNTY COASTAL ZONE LAND USE ORDINANCE - TITLE 23
 - COUNTY FIRE CODE ORDINANCE - TITLE 16
 - COUNTY LAND USE ORDINANCE - TITLE 22

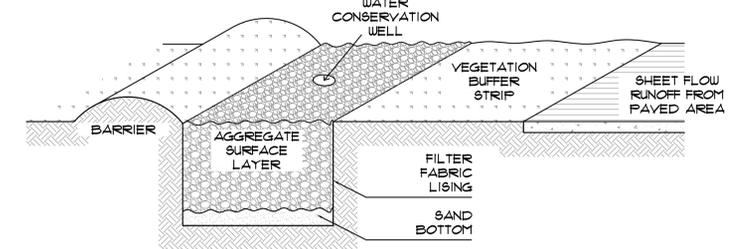
LEGEND

---	PROPERTY LINE
---	SETBACK
---	EXISTING GROUND CONTOUR
---	FINISH GRADE CONTOUR
---	CONCRETE
---	EDGE OF PAVEMENT
W	WATER LINE
WV	WATER VALVE
FD	FIRE HYDRANT
S	SANITARY SEWER MAIN
E	ELECTRICAL LINE
U	UTILITY POLE
E	ELEC. VAULT / PEDESTAL / PULL BOX
T	TELEPHONE LINE
T	TELE. VAULT / PEDESTAL / PULL BOX
X	FENCE
G	GAS MAIN
→	SWALE
2%	PROPOSED GRADE & DIRECTION
100.0	SPOT ELEVATION
DS	DOWN SPOUT

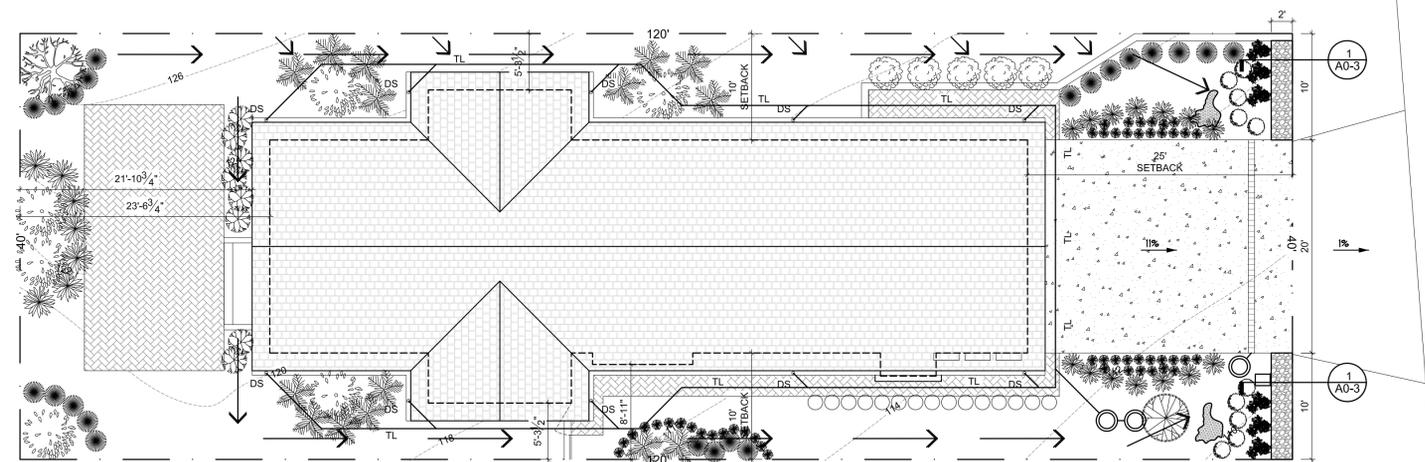
IMPERVIOUS AREAS

NAME	AREAS SQ FT	%
PROPERTY	4,802.80	100
BUILDINGS FOOT PRINTS	1,567.37	32.63
DRIVEWAY AND SIDEWALKS	603.75	12.57
LANDSCAPING	2,631.68	54.80

2,171.12 SQ. FT. + 4,802.80 SQ. FT. X 7.600 CU. FT. =
VOLUME OF DETENTION REQUIRED 16,812.19 (CU. FT.)



1 RETENTION TRENCH
SCALE: NTS



N DRAINAGE SITE PLAN
SCALE: 1/8" = 1'-0"



Wilkins Studio

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Owner:

Alto Residence
Alto Avenue, Half Moon Bay, CA 94019
APN: 048-065-060

No.	Description	Date
	Submittal	11/17/2022

Drainage Site Plan

A0-3
Scale: As Noted
Sheet size: Arch D

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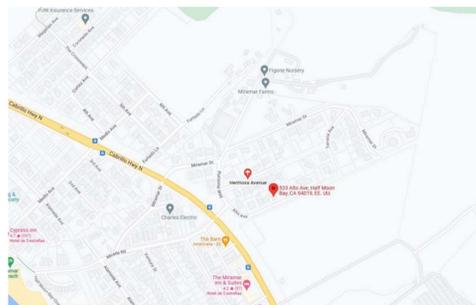
FIRE SAFELY NOTES

- SEE SITE PLAN FOR FUEL MODIFICATION ZONE. MAINTAIN A VEGETATION CLEARANCE OF 30' AROUND ALL BUILDINGS AND STRUCTURES. REMOVE LIMBS LOCATED WITHIN 10' OF CHIMNEY & TRIM DEAD/DYING LIMBS THAT OVERHANG THE ROOF. LEAVES, NEEDLES, OR DEAD GROWTH SHALL BE REMOVED FROM THE ROOF. [NOTE: NO TREES OCCUR ON SITE.]
- SMOKE & CARBON MONOXIDE DETECTOR SMOKE DETECTORS ARE REQUIRED IN ALL SLEEPING AREAS AND IN HALLWAYS LEADING TO SLEEPING AREAS.
- ANY PORTION OF A FENCE OR OTHER STRUCTURE WITHIN FIVE FEET OF THE BUILDING SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL OR APPROVED EXTERIOR FIRE-RETARDANT WOOD OR MATERIAL THAT MEETS THE SAME FIRE-RESISTIVE STANDARDS AS THE EXTERIOR WALLS OF THE BUILDING.
- IF FIRE CONNECTION HAS LESS THAN 20 PSI, THE WORD "DRAFT" WILL BE CLEARLY AND PERMANENTLY MARKED ON THE FIRE CONNECTION. A BLUE DOT REFLECTOR TO BE LOCATED NEAR THE FIRE CONNECTION.
- TEN FEET OF FUEL MODIFICATION TO BE ON BOTH SIDES OF THE ACCESS ROAD AND DRIVEWAY. ROAD TO BE CAPABLE OF SUPPORTING 20 TONS WITH 13'-6" OF UNOBSTRUCTED VERTICAL CLEARANCE.
- PERMANENT ADDRESS NUMBERS TO BE PLACED AT THE DRIVEWAY ENTRANCE AND ON THE RESIDENCE WITH MIN 6" AND 1/2" STROKE.
- DEFERRED SUBMITTAL FOR FIRE SPRINKLER IS REQUIRED AND SUBMIT TO BUILDING AND SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- THE SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE COMPLIANT WITH CRC 1314 AND R315.
- SPECIAL CONSTRUCTION REQUIREMENTS IN FIRE HAZARD SEVERITY ZONE NEW BUILDINGS LOCATED WITHIN ANY FIRE HAZARD SEVERITY ZONE OR ANY WILD LAND-URBAN INTERFACE FIRE AREA DESIGNATED BY THE LOCAL JURISDICTION OR IN A STATE RESPONSIBILITY AREA (SRA) SHALL COMPLY WITH THE REQUIREMENTS OF 2019 CRC SEC. R327 FOR EXTERIOR WILDFIRE EXPOSURE: [§ R327.J .3 CRC].
- 705A - ROOFING: CLASS COOL ROOF .LIST PRODUCT.
- WHEN PROVIDED, VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019" (26 GA GSM) CORROSION RESISTANT METAL INSTALLED OVER A MINIMUM 3/8-INCH WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF 72# MINERAL-SURFACED NON-PERFORATED GAP SHEET COMPLYING WITH ASTM D3909 RUNNING THE FULL LENGTH OF THE VALLEY. [§R327.5.3]
- ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. [§R327.5.4]
- ROOF AND ATTIC VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO THE ATTIC OF THE STRUCTURE. OR SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH W/ OPENING 1/16" MINIMUM AND SHALL NOT EXCEED 1/8-INCH. [§R327.6.2]
- EXTERIOR PORCH CEILINGS SHALL BE APPROVED NONCOMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, ONE LAYER OF 5/8" TYPE X GYP BD, THE EXTERIOR PORTION OF AN APPROVED ONE-HOUR WALL ASSEMBLY, OR HAVE THE HORIZONTAL UNDERSIDE MEET THE PERFORMANCE CRITERIA OF SFM 12-7 A-3. [§R327.7.6]
- EXPOSED UNDERSIDE OF FLOOR PROJECTIONS OVER AN EXTERIOR WALL SHALL BE APPROVED NONCOMBUSTIBLE MATERIAL IGNITION-RESISTANT MATERIAL, ONE LAYER OF 5/8" TYPE X GYP BD, THE EXTERIOR PORTION OF AN APPROVED 1-HR WALL ASSEMBLY, OR HAVE THE HORIZONTAL UNDERSIDE MEET THE PERFORMANCE CRITERIA OF SFM 12-7 A-3. [§R327.7.7]
- 707A - EXTERIOR WALLS: NONCOMBUSTIBLE FRAMING SYSTEM W/
- CAL FIRE APPROVED WOOD OR NONCOMBUSTIBLE CEMENTITIOUS SIDING PER DETAILS ON PLANS.
- NONCOMBUSTIBLE FERROUS METAL SIDING PER DETAILS ON PLANS.
- EAVES/CANOPY: METAL CEILING
- 708A - EXTERIOR WINDOWS & FRENCH DOORS: DUAL GLAZED WITH ONE PANE TEMPERED OR 20 MIN RATED, EXTERIOR DOORS: 20 MINUTES RATED OR MEET STANDARD OF WINDOW ABOVE.
- EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTI PANE GLAZING W/ A MINIMUM OF ONE TEMPERED PANE. GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257, OR MEET THE REQUIREMENTS OF SFM 12-7 A-2. [§R327.8.2.1]
- EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITION-RESISTANT MATERIAL, OR SOLID CORE WOOD W/ STILES AND RAILS NOT LESS THAN 1 3/8" THICK W/ FIELD PANEL, NO LESS THAN 1 1/2" THICK, SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM 12-7 A-1. [§R327.8.3]
- 709A - DECKING: TREX OR EQUAL DECKING LISTED BY CAL FIRE FOR WIND LAND URBAN INTERFACE FRAMING TO BE NON-COMBUSTIBLE OR CONCEALED WITH APPROVED CEMENTITIOUS SIDING SYSTEM
- WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES, AND STAIRS LOCATED WITHIN 10' OF THE BUILDING SHALL BE IGNITION-RESISTANT MATERIAL COMPLYING WITH BOTH SFM 12-7 A-4 AND SFM 12-7 A-5, EXTERIOR FIRE RETARDANT TREATED WOOD, NONCOMBUSTIBLE MATERIAL, OR MEET THE REQUIREMENTS OF SFM 12-7 A-4A WHEN THE EXTERIOR WALL COVERING IS EITHER NONCOMBUSTIBLE OR IGNITION-RESISTANT. [§R327.9.2, R327.9.3]
- 710A - ACCESSORY STRUCTURES: DESIGNED TO MEET REQUIREMENTS STATED ABOVE. (NONE PROPOSED)

GENERAL NOTES

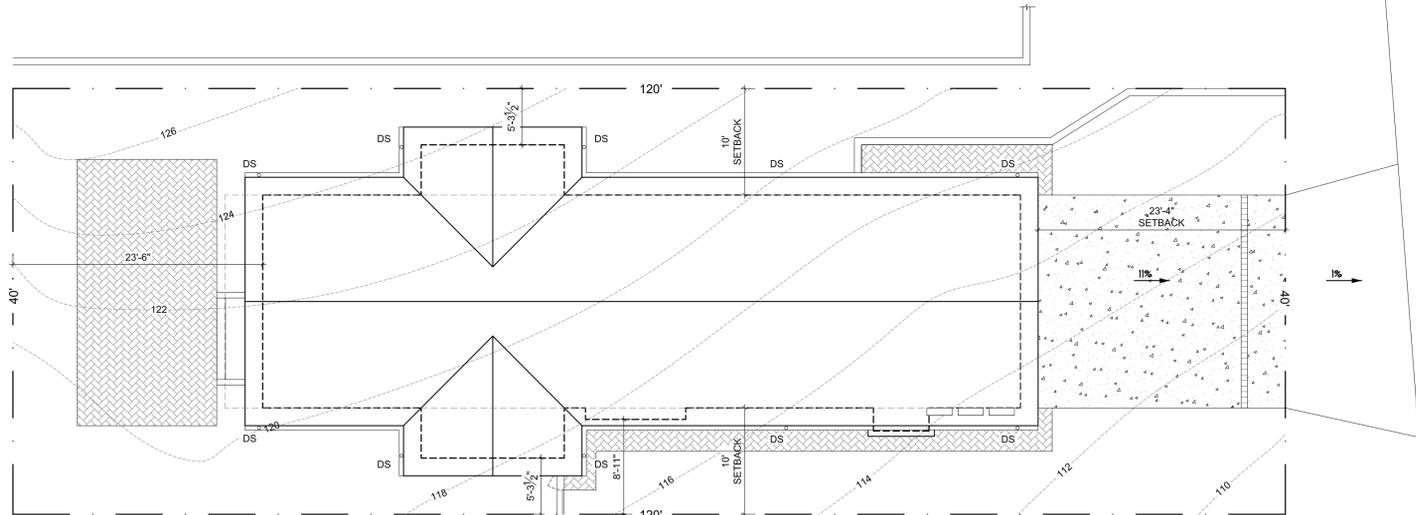
- SITE GRADING AND SLOPE ARE BASED ON OWNERS DESCRIPTION. ARCHITECT WAS NOT PROVIDED WITH UPDATED PROPERTY SLOPE AND GRADING DOCUMENTS FOR THIS DESIGN. OWNER MUST PROVIDE LEGAL SURVEY TO VERIFY SLOPE AND TO SUBMIT TO ARCHITECT FOR ASSESSMENT AND PLAN ADJUSTMENTS PRIOR TO CONSTRUCTION.

VICINITY MAP



GENERAL NOTES FIRE PROTECTION

- CERTAIN TERMS ARE DEFINED AS FOLLOWS:
- CDP DIRECTOR, DIRECTOR OF THE CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE PROTECTION.
 - FIRE PROTECTION PLAN. A DOCUMENT PREPARED FOR A SPECIFIC PROJECT OR DEVELOPMENT PROPOSED FOR A WILDLAND-URBAN INTERFACE FIRE AREA. IT DESCRIBES WAYS TO MINIMIZE AND MITIGATE POTENTIAL FOR LOSS FROM WILDFIRE EXPOSURE.
 - THE FIRE PROTECTION PLAN SHALL BE IN ACCORDANCE WITH THIS ARTICLE. WHEN REQUIRED BY THE ENFORCING AGENCY FOR THE PURPOSES OF GRANTING MODIFICATIONS, A FIRE PROTECTION PLAN SHALL BE SUBMITTED. ONLY LOCALLY ADOPTED ORDINANCES THAT HAVE BEEN FILED WITH THE CALIFORNIA BUILDING STANDARDS COMMISSION IN ACCORDANCE WITH SECTION 101.14 OR THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT IN ACCORDANCE WITH SECTION 101.15 SHALL APPLY.
 - FIRE HAZARD SEVERITY ZONES. GEOGRAPHICAL AREAS DESIGNATED PURSUANT TO CALIFORNIA PUBLIC RESOURCES CODES, SECTIONS 4201 THROUGH 4204 AND CLASSIFIED AS VERY HIGH, HIGH, OR MODERATE IN STATE RESPONSIBILITY AREAS OR AS LOCAL AGENCY VERY HIGH FIRE HAZARD SEVERITY ZONES DESIGNATED PURSUANT TO CALIFORNIA GOVERNMENT CODE, SECTIONS 51175 THROUGH 51189.
 - THE CALIFORNIA CODE OF REGULATIONS, TITLE 14, SECTION 1280 ENTITLES THE MAPS OF THESE GEOGRAPHICAL AREAS AS "MAPS OF THE FIRE HAZARD SEVERITY ZONES IN THE STATE RESPONSIBILITY AREA OF CALIFORNIA."
 - LOCAL AGENCY VERY HIGH FIRE HAZARD SEVERITY ZONE. AN AREA DESIGNATED BY A LOCAL AGENCY UPON THE RECOMMENDATION OF THE CDF DIRECTOR PURSUANT TO GOVERNMENT CODE, SECTIONS 51177(C), 51178 AND 5118. THAT IS NOT A STATE RESPONSIBILITY AREA AND WHERE A LOCAL AGENCY, CITY, COUNTY, CITY AND COUNTY, OR DISTRICT IS RESPONSIBLE FOR FIRE PROTECTION.
 - STATE RESPONSIBILITY AREA. LANDS THAT ARE CLASSIFIED BY THE BOARD OF FORESTRY PURSUANT TO PUBLIC RESOURCES CODE SECTION 4126 WHERE THE FINANCIAL RESPONSIBILITY OF PREVENTING AND SUPPRESSING FOREST FIRES IS PRIMARILY THE RESPONSIBILITY OF THE STATE.
 - WILDFIRE. ANY UNCONTROLLED FIRE SPREADING THROUGH VEGETATIVE FUELS THAT THREATENS TO DESTROY LIFE, PROPERTY, OR RESOURCES AS DEFINED IN PUBLIC RESOURCES CODE, SECTIONS 4103 AND 4104.
 - WILDFIRE EXPOSURE. ONE OR A COMBINATION OF RADIANT HEAT, CONVECTIVE HEAT, DIRECT FLAME CONTACT AND BURNING EMBERS BEING PROJECTED BY VEGETATION FIRE TO A STRUCTURE AND ITS IMMEDIATE ENVIRONMENT.
 - WILDLAND-URBAN INTERFACE FIRE AREA. A GEOGRAPHICAL AREA IDENTIFIED BY THE STATE AS A "FIRE HAZARD SEVERITY ZONE" IN ACCORDANCE WITH THE PUBLIC RESOURCES CODE, SECTIONS 4201 THROUGH 4204, AND GOVERNMENT CODE, SECTIONS 51175 THROUGH 51189, OR OTHER AREAS DESIGNATED BY THE ENFORCING AGENCY TO BE AT A SIGNIFICANT RISK FROM WILDFIRES.
 - SECTION 4903 PLANS [RESERVED]
 - SECTION 4904 FIRE HAZARD SEVERITY ZONES
 - LANDS IN THE STATE ARE CLASSIFIED BY THE CDF DIRECTOR IN ACCORDANCE WITH THE SEVERITY OF WILDFIRE HAZARD EXPECTED TO PREVAIL IN THOSE AREAS AND THE RESPONSIBILITY FOR FIRE PROTECTION, SO THAT MEASURES MAY BE IDENTIFIED WHICH WILL REDUCE THE POTENTIAL FOR LOSSES TO LIFE, PROPERTY, AND RESOURCES FROM WILDFIRE.
 - 4904.2 CLASSIFICATIONS
 - THE CDF DIRECTOR CLASSIFIES LANDS INTO FIRE HAZARD SEVERITY ZONES IN ACCORDANCE WITH CALIFORNIA PUBLIC RESOURCES CODE, SECTIONS 4201 THROUGH 4204 FOR STATE RESPONSIBILITY AREAS AND ACCORDANCE WITH GOVERNMENT CODE, SECTIONS 51175 THROUGH 51189 FOR AREAS WHERE A LOCAL AGENCY IS RESPONSIBLE FOR FIRE PROTECTION.
 - SECTION 4905 WILDFIRE PROTECTION BUILDING CONSTRUCTION
 - MATERIALS AND CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE PROTECTION SHALL BE APPLIED WITHIN GEOGRAPHICAL AREAS WHERE A WILDFIRE BURNING IN VEGETATIVE FUELS MAY READILY TRANSMIT FIRE TO BUILDINGS AND THREATEN TO DESTROY LIFE, OVERWHELM FIRE SUPPRESSION CAPABILITIES, OR RESULT IN LARGE PROPERTY LOSSES.
 - 4905.2 CONSTRUCTION METHODS AND REQUIREMENTS WITHIN ESTABLISHED LIMITS
 - WITHIN THE LIMITS ESTABLISHED BY LAW, CONSTRUCTION METHODS INTENDED TO MITIGATE WILDFIRE EXPOSURE SHALL COMPLY WITH THE WILDFIRE PROTECTION BUILDING CONSTRUCTION REQUIREMENTS CONTAINED IN THE CALIFORNIA BUILDING STANDARDS CODE, INCLUDING THE FOLLOWING:
 - CALIFORNIA BUILDING CODE, CHAPTER 7A.
 - CALIFORNIA RESIDENTIAL CODE, SECTION R337.
 - CALIFORNIA REFERENCED STANDARDS CODE, CHAPTER 12-7A.
 - 4905.3 ESTABLISHMENT OF LIMITS
 - THE ESTABLISHMENT OF LIMITS FOR THE WILDLAND-URBAN INTERFACE FIRE AREAS REQUIRED CONSTRUCTION METHODS SHALL BE DESIGNATED PURSUANT TO THE CALIFORNIA PUBLIC RESOURCES CODE FOR STATE RESPONSIBILITY AREAS OR BY A LOCAL AGENCY FOLLOWING A FINDING SUPPORTED BY SUBSTANTIAL EVIDENCE IN THE RECORD THAT THE REQUIREMENTS OF THIS SECTION ARE NECESSARY FOR EFFECTIVE FIRE PROTECTION WITHIN THE AREA.
 - SECTION 4906 HAZARDOUS VEGETATION AND FUEL MANAGEMENT
 - HAZARDOUS VEGETATION AND FUELS SHALL BE MANAGED TO REDUCE THE SEVERITY OF POTENTIAL EXTERIOR WILDFIRE EXPOSURE TO BUILDINGS AND TO REDUCE THE RISK OF FIRE SPREADING TO BUILDINGS AS REQUIRED BY APPLICABLE LAWS AND REGULATIONS.
 - 4906.2 APPLICATION
 - BUILDINGS AND STRUCTURES LOCATED IN THE FOLLOWING AREAS SHALL MAINTAIN THE REQUIRED HAZARDOUS VEGETATION AND FUEL MANAGEMENT:
 - ALL UNINCORPORATED LANDS DESIGNATED BY THE STATE BOARD OF FORESTRY AND FIRE PROTECTION AS STATE RESPONSIBILITY AREA (SRA) INCLUDING:
 - 1.1. MODERATE FIRE HAZARD SEVERITY ZONES.
 - 1.2. HIGH FIRE HAZARD SEVERITY ZONES.
 - 1.3. VERY-HIGH FIRE HAZARD SEVERITY ZONES.
 - LAND DESIGNATED AS VERY-HIGH FIRE HAZARD SEVERITY ZONE BY CITIES AND OTHER LOCAL AGENCIES.
 - 4906.3 REQUIREMENTS
 - HAZARDOUS VEGETATION AND FUELS AROUND ALL APPLICABLE BUILDINGS AND STRUCTURES SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING LAWS AND REGULATIONS:
 - PUBLIC RESOURCES CODE, SECTION 4291.
 - CALIFORNIA CODE OF REGULATIONS, TITLE 14, DIVISION 1.5, CHAPTER 7, SUBCHAPTER 3, SECTION 1299 (SEE GUIDANCE FOR IMPLEMENTATION "GENERAL GUIDELINE TO CREATE DEFENSIBLE SPACE")
 - CALIFORNIA GOVERNMENT CODE, SECTION 51182.
 - CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1, CHAPTER 7, SUBCHAPTER 1, SECTION 3.07.
 - SECTION 4907 DEFENSIBLE SPACE
 - Defensible space will be maintained around all buildings and structures in State Responsibility Area (SRA) as required in Public Resources Code 4290 and "SRA Fire Safe Regulations" California Code of Regulations, Title 14, Division 1.5, Chapter 7, Subchapter 2, Section 1270.
 - Buildings and structures within the Very-High Fire Hazard Severity Zones of a Local Responsibility Areas (LRA) shall maintain defensible space as outlined in Government Code 51175 — 51189 and any local ordinance of the authority having jurisdiction.



FIRE SAFETY PLAN

SCALE: 1/8" = 1'-0"

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NOT FOR CONSTRUCTION

Architect
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APN: 048-065-060

No.	Description	Date
	Submittal	11/17/2022

Fire Safety Plan

A0-4
Scale: As Noted
Sheet size: Arch D

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IRRIGATION LEGEND

APPLICANT CHECK-OFF COMPONENTS	SYMBOL	COMPONENT	MANUFACTURER	MODEL	NOTES/ SIZE/ COLOR
<input type="checkbox"/>	W	WATER METER			
<input type="checkbox"/>	C	CONTROLLER	HUNTER	PRO-C	INDOOR
<input type="checkbox"/>		AUTOMATIC IRRIGATION CONTROLLER UTILIZING EITHER EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA OR (RAIN, FREEZE, WIND, ETC.), WHICH SHALL BE REQUIRED FOR IRRIGATION SCHEDULING IN ALL IRRIGATION SYSTEMS, (15.92.110.A.1.B)			
<input type="checkbox"/>		WEATHER SENSOR	HUNTER	SOLAR-SYNC-SEN	WIRED
<input type="checkbox"/>		FULL PORT BALL VALVE	NIBCO	585	LINE SIZE
<input type="checkbox"/>		MAINLINE		PVC SCH 40 WITH SCH 40 SOLVENT WELD FITTING	
<input type="checkbox"/>		LATERAL PIPE (COLOR VARIES PER ZONE)		PVC SCH 40 WITH SCH 40 SOLVENT WELD FITTINGS	PIPE SIZE: 0-6 GPM, 1/2" PIPE, 7-12 GPM: 1" PIPE,

APPLICANT INSTRUCTIONS:

- MEASURE ENTIRE FRONT YARD AREA. SUBTRACT HARDSCAPE AREAS TO GET THE TOTAL SQUARE FEET OF PLANTED AND IRRIGATED AREA, ENTER THIS NUMBER IN THE PLANT WATER USE TABLE ON THIS SHEET.
- IF NEEDED USE A RED PEN TO ADJUST THE LAYOUT OF DRIVEWAY, PATHS AND PLANTING AREAS TO FIT YOUR YARD.
- ADJUST ORIENTATION OF NORTH ARROW TO SITE CONDITION.
- ADD ANY EXISTING TREES IN RED ON THE PLAN. ADJUST TREE LOCATIONS IF NEEDED TO FIT YOUR SITE.
- FILL IN PLANT WATER USE TABLE.
- INSURE LESS THAN 25% OF PLANTED AREA IS MEDIUM WATER USE PLANTINGS.
- IN THE LEGEND, CIRCLE THE HARDSCAPE MATERIALS YOU WILL BE USING AND ON DETAIL SHEETS L5-0
- INDICATE ANY SUBSTITUTIONS TO THE PLANTINGS BY CROSSING OUT THE LISTED PLANTS AND WRITING THE SUBSTITUTION BELOW IN RED INK, MAKE SURE THE PLANTS USED HAVE MATCHING WATER USE AND ARE ROUGHLY THE SAME SIZE (SEE SONOMA-MARIN SAVING WATER PARTNERSHIP
- THE DESIGN OF THE LANDSCAPING SHALL COMPLY WITH CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED) GUIDELINES. LOW-LYING PLANTS SHALL NOT EXCEED 2' IN HEIGHT AT MATURITY, OR MUST BE MAINTAINED TO 2' IN HEIGHT. MATURE TREE CANOPIES SHALL BE A MINIMUM OF 6' FROM GRADE, OR BE MAINTAINED TO A MINIMUM OF 6' FROM GRADE.
- PURSUANT TO MMC 17.26.030.A, "A MINIMUM OF 30 PERCENT OF THE TOTAL PROJECT LOT AREA SHALL BE PROVIDED AS IMPROVED AND/OR LANDSCAPED OPEN SPACE FOR GENERAL USE.
- ADJUST LAYOUT OF PLANTING BEDS IF CHANGED ON LAYOUT SHEET.
- REVIEW IRRIGATION VALVE TABLE TO ADJUST SF AREAS OF VALVE ZONES.
- IF AREAS EXCEED MAX SUBZONE FLOW (3GPM) DIVIDE INTO ADDITIONAL SUBZONES AND ENTER UNDER SUBZONE COLUMN
- IF AREAS EXCEED MAX ZONE FLOW (7 GPM) ADD A VALVE AND ENTER SF AREA NEXT TO NEW VALVE NUMBER ("B" OR "C")
- DRAW OUT NEW SUBZONE AND/OR VALVE ZONE AREA ON PLAN IN NEW COLOR.
- ADD VALVE S NEEDED TO VALVE MANIFOLD.
- REVIEW IRRIGATION LEGEND AND CHECK OFF THAT ALL COMPONENTS ARE SHOWN ON ADJUSTED PLAN
- NOTE: ANY EQUIPMENT SUBSTITUTIONS.

WATER USE CLASSIFICATION OF LANDSCAPE SPECIES (WUCOLS IV)

PLANT / FLOWERING	PLANT TYPE	WATER USE	SIZE	SPACING
1 RHAMNUS CALIFORNICA, COFFEE BARRY/MOUND SAN BRUNO*	SHRUB		5 G	
2 ERIGARON GLAUCUS, SEASIDA DAISY	SHRUB		1 G	
3 EXISTING CYPRESS	TREE			
4 LIMONIUM PEREZII, STATICA	SHRUB		1 G	
5 LAVANDULA STOECHAS, SPANISH LAVANDAR	SHRUB		1 G	
6 WESTRINGIA FRUTICOSA, COAST ROSEMARY	SHRUB		1 G	
7 CARAX BARBARAE, SANTA BARBARA SEDGA	SHRUB		1 G	
8 HABA BUXIFOLIA, BOXLAAF HABA	SHRUB		1 G	
9 DODONEA VISCOSA 'PURPUREA', HOPSEED BUSH	SHRUB		5 G	
10 CISTUS SALVIFOLIUS, SAGALAAF ROCKROSA CISTUS PURPURAUS, ORCHID ROCKROSA	SHRUB SHRUB		1 G 1 G	
11 PODOCARPUS GRACILIOR, FARN PINE	TREE		15 G	
12 CUPRESSUS MACROCARPA, MONTERREY CYPRESS	TREE		15 G	

APPLICANT CHECK-OFF COMPONENTS	SYMBOL	COMPONENT	MANUFACTURER	MODEL	NOTES/ SIZE/ COLOR
<input type="checkbox"/>		DRIP IRRIGATION CONTROL VALVE ASSEMBLY TO INCLUDE			
<input type="checkbox"/>		ASSEMBLY		ACZ-075-40 DRIP CONTROL ZONE KIT	ALL-IN-ONE KIT INCLUDES BACKFLOW PREVENTION, FILTER AND PRESSURE REGULATOR
<input type="checkbox"/>	#	ANTI-SIPHON VALVE (COLOR VARIES PER ZONE)	HUNTER	PGV-ASV, INCLUDED IN KIT	3/4 INCH ANTI-SIPHON VALVE PROVIDES BACKFLOW PREVENTION
<input type="checkbox"/>		DRIP FILTER		INCLUDED IN KIT	150 MESH STAINLESS STEEL SCREEN
<input type="checkbox"/>		PRESSURE REGULATION		INCLUDED IN KIT	40 PSI
<input type="checkbox"/>		NIPPLE			PVC SCH 80 UV RESISTANT
<input type="checkbox"/>	D	TRANSITION TO DRIP ZONE			SEE DETAIL
<input type="checkbox"/>		SPRINKERS			

GENERAL NOTES

- INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR (4) CUBIC YARDS PER 1000 SQFT TO A DEPTH OF 6 INCHES INTO LANDSCAPE AREA, (UNLESS CONTRA INDICATED BY A SOILS TEST.
- INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVERAGE WUCOLS PLANT FACTOR 0.3) FOR 75% OF THE PLANT AREA EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER.
- A MINIMUM 3-INCH LAYER OF MULCH SHOULD BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT IN AREAS OF TURF OR CREEPING OR ROOTING GROUNDCOVERS.
- TOTAL TURF AREA SHALL NOT EXCEED 25% OF THE LANDSCAPE AREA * FOR THIS WE NEED A CALCULATION TOTAL TURF OF PROPERTY DIVIDED BY TOTAL SQFT OF PROPERTY. SHOULD NOT EXCEED 26%.
- THE PROJECT SHALL COMPLY WITH THE MORE RESTRICTIVE OF THE OUTDOOR POTABLE WATER REDUCTION REQUIREMENTS OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE 4.304 AND THE MANTECA WATER EFFICIENT LANDSCAPE ORDINANCE.
- I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.
- A MINIMUM THREE (3") LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS OR PROVIDING HABITAT FOR BENEFICIAL INSECTS OR OTHER WILDLIFE, UP TO 5%. LANDSCAPE PLAN SHALL IDENTIFY TYPE OF MULCH AND APPLICATION DEPTH. (15.92.100.A.3.D).
- DEDICATED LANDSCAPE WATER METER OR SUBMETER FOR RESIDENTIAL LANDSCAPES OVER 5,000 SF AND NON-RESIDENTIAL LANDSCAPES OVER 1,000 SF BUT NOT MORE THAN 5,000 SF (THE LEVEL AT WHICH WATER CODE 535 APPLIES). (15.92.110.A.1.A)
- IRRIGATION PLAN SHALL SHOW THE STATIC WATER PRESSURE, WATER FLOW AND DESIGN OPERATING PRESSURE. IF THE STATIC PRESSURE IS ABOVE OR BELOW THE REQUIRED DYNAMIC PRESSURE OF THE IRRIGATION SYSTEM, PRESSURE-REGULATING DEVICES, E.G. BOOSTER PUMP, IN-LINE PRESSURE REGULATOR, ETC., SHALL BE INSTALLED TO MEET THE REQUIRED DYNAMIC PRESSURE OF THE IRRIGATION SYSTEM. (15.02.110.A.1.C)
- EACH VALVE SHALL IRRIGATE A HYDROZONE WITH SIMILAR SITE, SLOPE, SUN EXPOSURE, SOIL CONDITIONS, AND PLANT MATERIALS WITH SIMILAR WATER USE. THE IRRIGATION PLAN SHALL CONFORM TO THE HYDROZONES OF THE LANDSCAPE DESIGN PLAN. (15.92.110.A.2)

APPLICANT CHECK-OFF COMPONENTS	SYMBOL	COMPONENT	MANUFACTURER	MODEL	NOTES/ SIZE/ COLOR
<input type="checkbox"/>		DRIP LAYOUT			
<input type="checkbox"/>		PLANTING BEDS			
<input type="checkbox"/>	O	TREES			
<input type="checkbox"/>		INLINE EMITTER TURBING	NETAFIM	TLCV4-1801	CLAY SOIL: EMITTER FLOW, 0.26 GPH, EMITTER SPACING: 18" ROW SPACING: 18"
<input type="checkbox"/>				TLCV26-1801	LOAM SOIL: EMITTER FLOW, 0.4 GPH, EMITTER SPACING: 18" ROW SPACING: 18"
<input type="checkbox"/>				TLCV6-1801	SANDY SOIL: EMITTER FLOW, 0.6 GPH, EMITTER SPACING: 12" ROW SPACING: 18"
<input type="checkbox"/>	F	DRIP FLUSHOUT	NETAFIM	TLFIG8	

SYMBOLS FOR COMPONENTS ARE LARGER THAN ACTUAL SIZE AND MAY BE SHOWN IN PAVED AREAS FOR GRAPHIC CLARITY. COORDINATE LOCATION OF EQUIPMENT WITH PLUMBER.

ALL PIPE RUNS UNDER PAVING ARE IN SLEEVES, INSTALL SLEEVES PRIOR TO POURING CONCRETE

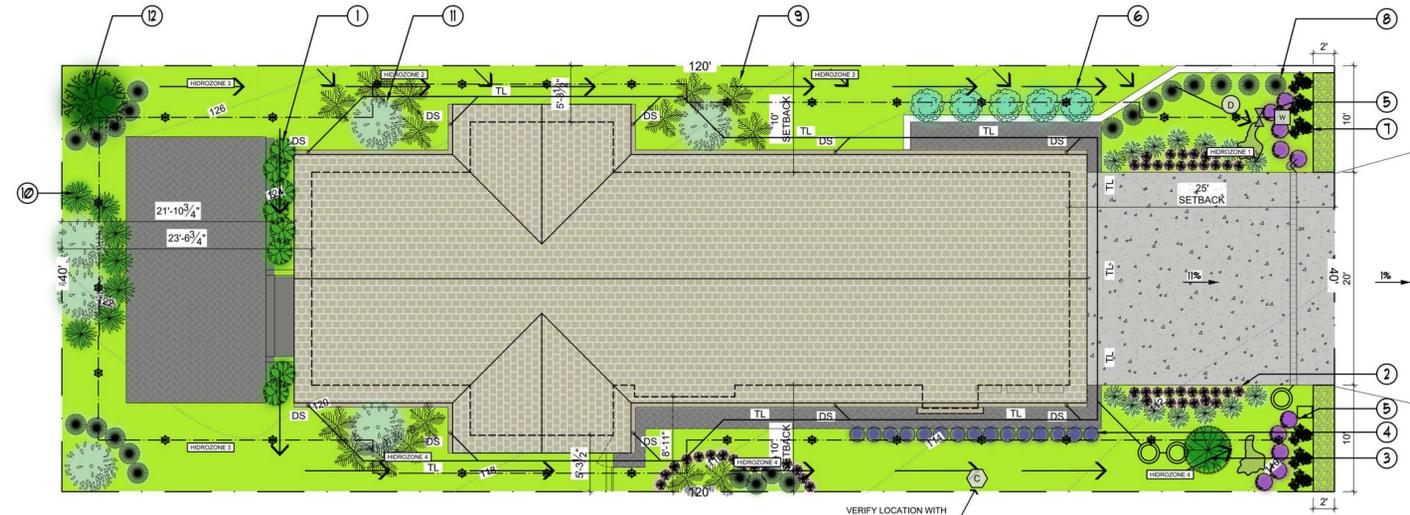
WATER EFFICIENT LANDSCAPE

ETo	PLAN FACTOR (PF)*	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (SQFT)	ETAF X AREA	ETWU
51.9	0.05	SPRINKLERS +DRIP	0.75	0.0666666667	188.37	12.5580000006279	404.0913240202046
	0.05		0.75	0.0666666667	597.24	39.81600000019908	1,281.19924806406
	0.05	SPRINKLERS +DRIP	0.75	0.0666666667	565.97	37.713333352199	1,214.118844060706
	0.05	SPRINKLERS +DRIP	0.75	0.0666666667	702.56	46.8373333356752	1,507.131712075357

ETWU = ETo x 0.62 x ETAFxArea MAWA = ETo x 0.62 x 0.55 x sqft

AREAS	LOT	GRASS
	4,802.80 Sq Ft	2,054.14 Sq Ft

TOTAL ETWU	TOTAL MAWA
4,406.541128220327	36,353.964306



PROPOSED LANDSCAPE PLAN
SCALE: 1/8" = 1'-0"



Architect
Wilkins Studio Architects
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Morro Bay, CA 93442
(415) 273-9054

Owner:

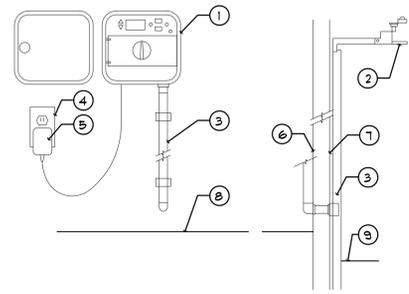
Alto Residence
Alto Avenue, Half Moon Bay, CA 94019
APN: 048-065-060

No.	Description	Date
	Submittal	11/17/2022

Layout & Planting Plan
L1-0
Scale: As Noted
Sheet size: Arch D

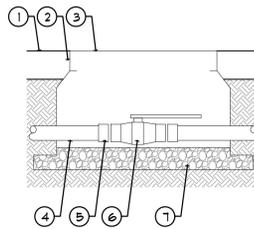
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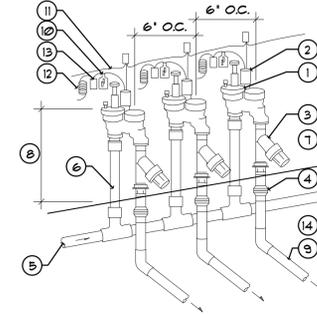
- 1 CONTROLLER MOUNTED ON INTERIOR WALL AT EYE LEVEL
 - 2 SOLAR SYNC MOUNTED ON SUITABLE EXTERIOR POST, POLE OR CUTTER IN LOCATION WHERE SENSOR CAN RECEIVE UNOBSTRUCTED EXPOSURE TO SUN AND RAINFALL.
 - 3 CONDUIT FOR VALVE CONTROL WIRE AND SOLAR SYNC COMMUNICATION WIRE. SIZE AND TYPE PER LOCAL CODES. MAX TOTAL WIRE DISTANCE 200 FT
 - 4 EXISTING GROUNDED OUTLET
 - 5 PLUG-IN TRANSFORMER
 - 6 INTERIOR WALL
 - 7 EXTERIOR WALL
 - 8 FINISH GRADE INTERIOR FLOOR
 - 9 FINISH GRADE EXTERIOR GRADE
- NOTES:
 1. OWNER'S REPRESENTATIVE TO VERIFY LOCATION IN FIELD
 2. ALL ELECTRICAL WORK MUST CONFORM TO LOCAL CODES
 3. DETAIL IS GENERIC
 4. INSTALL PER MANUFACTURER'S SPECIFICATIONS

1 SMART CONTROLLER INTERIOR SCALE: NTS



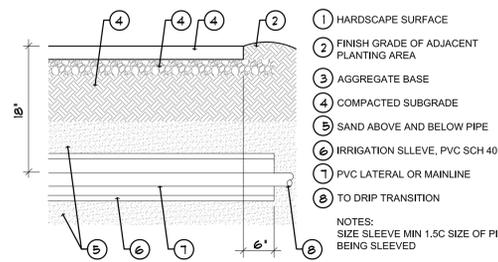
- 1 FINISH GRADE
- 2 MULCH
- 3 VALVE BOX
- 4 MAIN LINE
- 5 MALE ADAPTERS
- 6 BRASS BALL VALVE, SIZED TO MATCH PIPE
- 7 FILL BOTTOM OF BOX WITH 3" DEPTH DRAIN ROCK

2 ISOLATION VALVE BALL SCALE: NTS



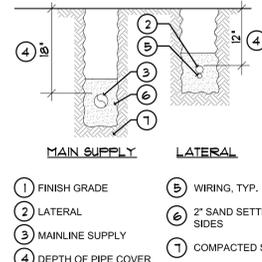
- 1 ANTI-SIPHON VALVE
 - 2 SOLENOID
 - 3 FILTER FOR DRIP ZONE VALVE
 - 4 PRESSURE REGULATOR FOR DRIP ZONE VALVE
 - 5 MAINLINE FROM WATER SUPPLY
 - 6 SCHEDULE 80 UV RESISTANT PVC NIPPLES
 - 7 FINISH GRADE
 - 8 6-12 INCHES MIN ABOVE HIGHEST POINT OF DISCHARGE
 - 9 PVC LATERALS TO ZONES
 - 10 1/2" TAF WITH VALVE ZONE NUMBER MATCHED TO CONTROLLER STATION
 - 11 WIRES TO CONTROLLER
 - 12 30" LENGTH OF COILED WIRE
 - 13 WATERPROOF SPLICE
 - 14 PROVIDE STUBOUT FOR FUTURE EXPANSION
- NOTE: DETAIL IS GENERIC, SEE LEGEND FOR SPECIFIC EQUIPMENT

3 ANTI-SIPHON VALVE MANIFOLD SCALE: NTS



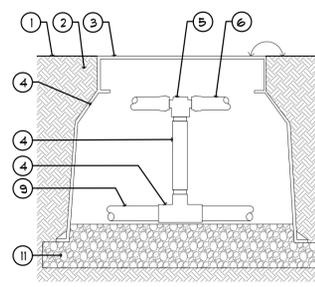
- 1 HARDSCAPE SURFACE
 - 2 FINISH GRADE OF ADJACENT PLANTING AREA
 - 3 AGGREGATE BASE
 - 4 COMPACTED SUBGRADE
 - 5 SAND ABOVE AND BELOW PIPE
 - 6 IRRIGATION SLEEVE, PVC SCH 40
 - 7 PVC LATERAL OR MAINLINE
 - 8 TO DRIP TRANSITION
- NOTES:
 1. SIZE SLEEVE MIN 1.5C SIZE OF PIPES BEING SLEEVED

4 IRRIGATION SLEEVING SCALE: NTS



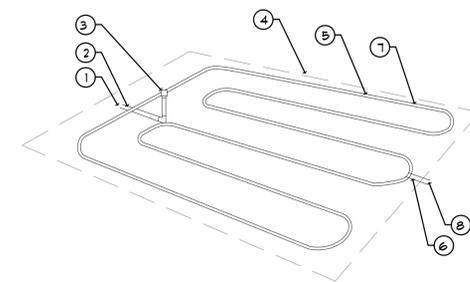
- 1 FINISH GRADE
- 2 LATERAL
- 3 MAINLINE SUPPLY
- 4 DEPTH OF PIPE COVER
- 5 WIRING, TYP.
- 6 2" SAND SETTING BED ALL 4 SIDES
- 7 COMPACTED SOIL, TYP.

5 TRENCHING & PIPE COVER SCALE: NTS



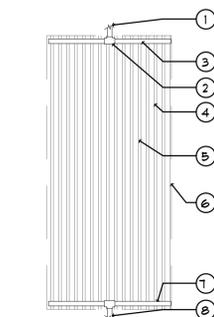
- 1 FINISH GRADE
 - 2 MULCH
 - 3 10 INCH ROUND VALVE BOX.
 - 4 CUT HOLES FOR PIPES TO EXIT WITHOUT KINKING, TYP.
 - 5 TEE PVC TO POLY TUBING
 - 6 IN-LINE EMITTER TUBING
 - 7 NIPPLE: SCH 40 LENGTH AS REQUIRED
 - 8 PVC TEE (SX5XT)
 - 9 PVC LATERAL
 - 10 PIPE COVER, SEE DETAIL
 - 11 3 INCH DEPTH DRAIN ROCK
- NOTES:
 1. DETAIL IS GENERIC. SEE LEGEND FOR SPECIFIC EQUIPMENT.
 2. FOR MULCH DEPTH PIPE COVER & PIPE SIZE SEE NOTES & LEGEND.

6 DRIP TRANSITION SCALE: NTS



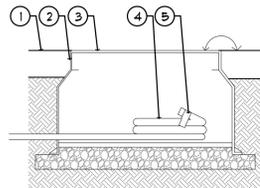
- 1 TO VALVE MANIFOLD
 - 2 PVC LATERAL
 - 3 TRANSITION FROM LATERAL TO DRIP ZONE
 - 4 DRIP ZONE
 - 5 IN-LINE DRIP TUBING, INSTALL PERPENDICULAR TO SLOPE
 - 6 BLANK DRIP TUBING, USE TO EXTEND FLUSH-OUT TO ACCESSIBLE LOCATION
 - 7 STAKE TUBING EVERY 2 FT.
 - 8 TO FLUSHOUT
- NOTES:
 1. THIS LAYOUT FOR SMALL AREAS
 2. DETAIL IS GENERIC, SEE LEGEND FOR SPECIFIC EQUIPMENT.
 3. MAXIMUM FLOW PER SUBZONE, 3 GPM
 4. MAXIMUM LENGTH OF TUBING: 200 LF

7 DRIP ZONE LAYOUT - LITE SCALE: NTS



- 1 TO VALVE
 - 2 DRIP TRANSITION, SEE DETAIL
 - 3 SUPPLY HEADER
 - 4 SEE LEGEND FOR EMITTER AND ROW SPACING
 - 5 STAKE TUBING EVERY 2 FT.
 - 6 AREA PERMETER, VARIES
 - 7 EXHAUST HEADER
 - 8 FLUSHOUT, SEE DETAIL
- NOTES:
 1. THIS LAYOUT FOR MEDIUM AND LARGE AREAS.
 2. DETAIL IS GENERIC, SEE LEGEND FOR SPECIFIC EQUIPMENT.
 3. MAXIMUM FLOW PER SUBZONE: 3 GPM
 4. MAXIMUM LENGTH OF TUBING: 200 LF

8 DRIP LAYOUT MULTI-LINE SCALE: NTS



- 1 FINISH GRADE
 - 2 MULCH
 - 3 VALVE BOX
 - 4 BLANK TUBING FED FROM TECHLINE LATERAL COILED 18 TO 24 IN BOX
 - 5 FIGURE 8 END FITTING, TLF1G8
 - 6 FILL BOTTOM OF BOX WITH 3" DEPTH DRAIN ROCK
- NOTE: DETAIL IS GENERIC, SEE LEGEND FOR SPECIFIC EQUIPMENT.

9 DRIP FLUSH VALVE SCALE: NTS

IRRIGATION PRODUCTS				
RAIN BIRD 100 FT. COIL FOR SPRINKLER INSTALLATION	RAIN BIRD 6" x 2" x 2" SWING ASSEMBLY	RAIN BIRD 9" x 2" E-Z PIPE MODEL: SWGP09INS	RAIN BIRD 6" x 2" x 2" SWING PIPE ASSEMBLY	RAIN BIRD 4 ZONE IRRIGATION TIMER MODEL #SST-600IN
RAIN BIRD 32SA ROTOR SPRINKLER HEADS (4 PACK) MODEL: 32SA4PKS	RAIN BIRD 19-32 FT. SIMPLE ADJUST POP-UP GEAR-DRIVE ROTOR MODEL: 32SA	RAIN BIRD 18X DUAL SPRAY HALF PATTERN 4 IN POP-UP SPRAY HEAD MODEL: 1804HDS-24	RAIN BIRD 18X DUAL SPRAY QUARTER PATTERN 4\"/>	



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 Morro Bay, CA 93442
 (415) 273-9054

Alto Residence
 Alto Avenue, Half Moon Bay, CA 94019
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Irrigation Details & Notes
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SITE PLAN KEYNOTES

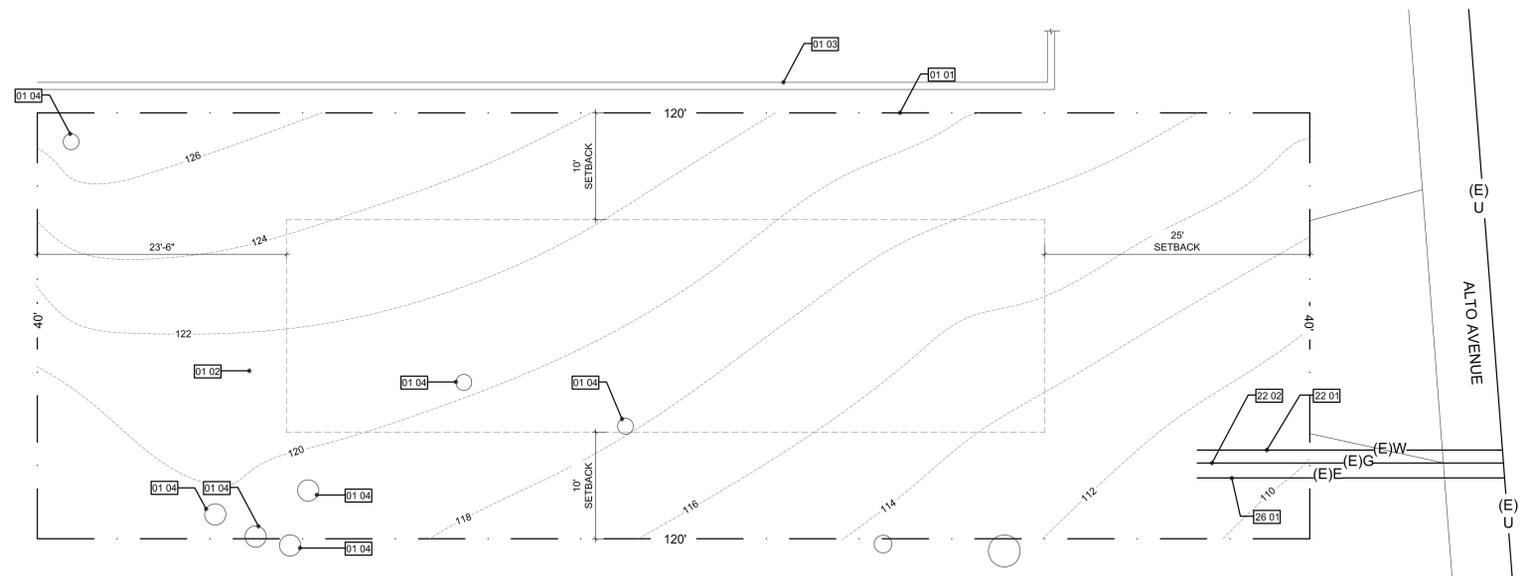
SYMBOL	DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
01 00	GENERAL
01 01	PROPERTY LINE
01 02	SETBACKS
01 03	EXISTING RETAINING WALL
01 04	EXISTING TREE TO REMOVE
02 00	SITE CONSTRUCTION
02 01	SWALES
02 02	6" TRENCH DRAIN
02 03	3' x 10' DEEP ENERGY DISSIPATER
02 04	(2) 2' x 9' DEEP DRY WELLS FOR ROOF RUNOFF
02 05	NEW ASPHALT APRON
03 00	CONCRETE
03 01	PROPOSED CONCRETE DRIVEWAY
03 02	CONCRETE RETAINING WALL
04 00	MASONRY
04 01	PROPOSED PAVERS SET IN SAND
04 02	PROPOSED PAVERS WALKWAY
22 00	PLUMBING
22 01	22.1 SEE MEP PLANS FOR REQUIREMENTS AND NOTES WATER ENTRY POINT W/ PRIVATE METERS, (1.5 WATER SERVICE& BBOS VALVE) CONTRACTOR TO VERIFY
22 02	GAS LINE
22 03	WATER METER
22 04	GAS METER
26 00	ELECTRICAL
26 01	26.1 SEE MEP PLANS FOR REQUIREMENTS AND NOTES MAIN ELECTRICAL SERVICE
26 02	ELECTRICAL METER

GENERAL SITE NOTES

- DIMENSIONS TAKE PRECEDENCE OVER SCALE. IF DIMENSIONAL ERRORS OCCUR, CONTRACTOR SHALL NOTIFY THE ARCHITECTED PRIOR TO COMMENCING THAT PORTION OF THE WORK.
- DURING GRADING IF THE PROPERTY CORNERS ARE DISTURBED, ALTERED, OR TAMPERED WITH THE GRADING CONTRACTOR SHALL HAVE THE PROPERTY CORNERS RESET BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR AT COMPLETION OF GRADING. ALL COST SHALL BE BORNE BY THE GRADING CONTRACTOR.
- THE CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING BUILDING CORNERS, PERFORMING ALL LAYOUT WORK, SETTING ALL LINES, GRADES, RADIO, ETC. OR ANY OTHER POINTS NECESSARY FOR HIS WORK.
- LOCATION OF UTILITIES BASED ON BEST INFORMATION AVAILABLE, AND MAY NOT BE COMPLETE OR ACCURATE. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES.
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- OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.

LINE LEGEND

—(E) E—	EXISTING ELECTRICAL SUPPLY
—(E) P—	EXISTING WATER SUPPLY
—(E) G—	EXISTING GAS SUPPLY
—(E) S—	EXISTING BUILDINGS SEWER
—(N) E—	NEW ELECTRICAL SUPPLY
—(N) P—	NEW WATER SUPPLY
—(N) G—	NEW GAS SUPPLY
—(N) S—	NEW BUILDINGS SEWER
— U —	UTILITY LINES



EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"



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No.	Description	Date
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Existing Site Plan
A0-1
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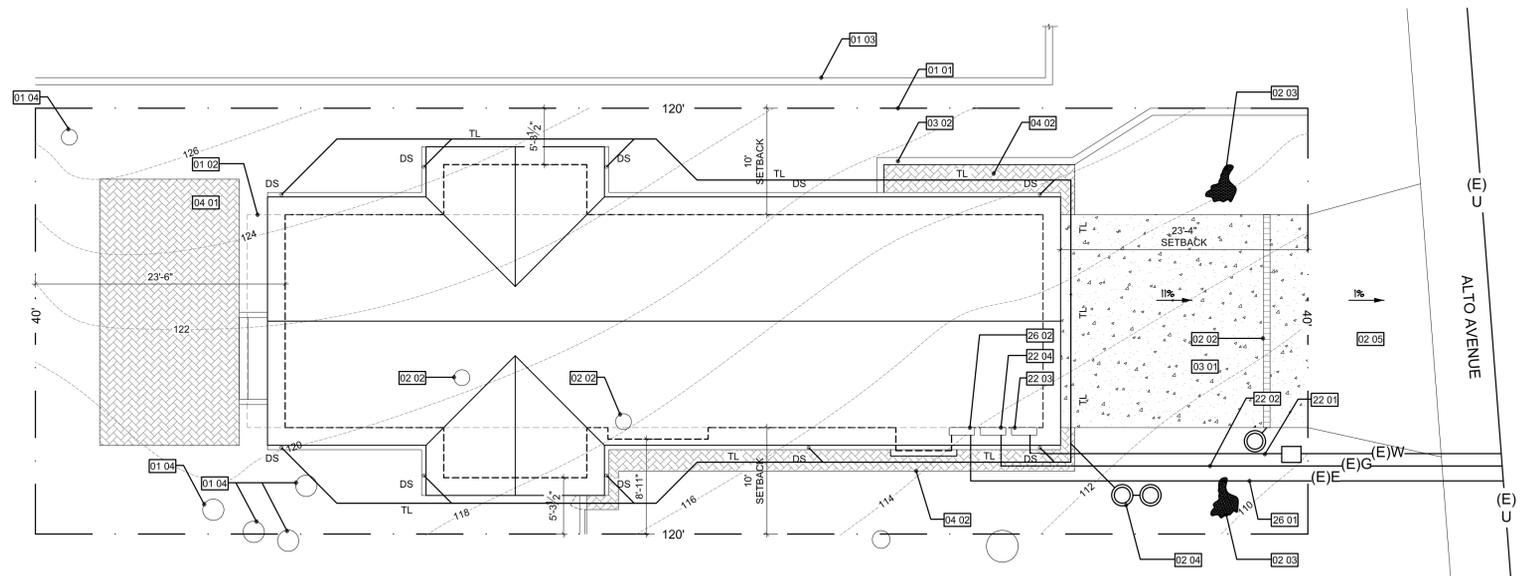
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PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"



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No.	Description	Date
	Submittal	11/17/2022

Proposed Site Plan
A0-2
Scale: As Noted
Sheet size: Arch D

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GENERAL NOTES

- NO CONSTRUCTION SHALL BE STARTED WITHOUT PLANS APPROVED BY THE COUNTY BUILDING DEPARTMENT. THE BUILDING DEPARTMENT SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO STARTING OF CONSTRUCTION AND OF THE TIME LOCATION OF THE PRECONSTRUCTION CONFERENCE. ANY CONSTRUCTION PERFORMED WITHOUT APPROVED PLANS OR PRIOR NOTIFICATION TO THE BUILDING DEPARTMENT WILL BE REJECTED AND WILL BE AT THE CONTRACTOR'S AND/OR OWNER'S RISK.
- FOR ANY CONSTRUCTION PERFORMED THAT IS NOT IN COMPLIANCE WITH PLANS OR PERMITS APPROVED FOR THE PROJECT THE BUILDING DEPARTMENT MAY REVOKE ALL ACTIVE PERMITS AND RECOMMEND THAT COUNTY CODE ENFORCEMENT PROVIDE A WRITTEN NOTICE OR STOP WORK ORDER IN ACCORDANCE WITH SECTION 22.52.140 [23.10] OF THE LAND USE ORDINANCE.
- ALL CONSTRUCTION WORK AND INSTALLATIONS SHALL CONFORM TO THE MOST CURRENT JURISDICTION PUBLIC IMPROVEMENT STANDARDS AND ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE BUILDING DEPARTMENT.
- THE PROJECT OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND/OR MAINTAINING ALL WEATHER ACCESS AT ALL TIMES TO EXISTING PROPERTIES LOCATED IN THE VICINITY OF WORK. ADDITIONALLY, THEY SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING SERVICES, INCLUDING UTILITY, GARBAGE COLLECTION, MAIL DISTRIBUTION, ETC., TO ALL EXISTING PROPERTIES LOCATED IN THE VICINITY OF WORK.
- ON-SITE HAZARDS TO PUBLIC SAFETY SHALL BE SHIELDED BY CONSTRUCTION FENCING. FENCING SHALL BE MAINTAINED BY THE PROJECT OWNER AND CONTRACTOR UNTIL SUCH TIME THAT THE PROJECT IS COMPLETED AND OCCUPIED. POTENTIAL HAZARDS HAVE BEEN MITIGATED, OR ALTERNATIVE PROTECTIVE MEASURES HAVE BEEN INSTALLED.
- SOILS TESTS SHALL BE DONE IN ACCORDANCE WITH THE COUNTY PUBLIC IMPROVEMENT STANDARDS, SECTION 3.2.3. ALL TESTS MUST BE MADE WITHIN 15 DAYS PRIOR TO THE PLACING MATERIAL. THE TEST RESULTS SHALL CLEARLY INDICATE THE LOCATION AND SOURCE OF THE MATERIAL.
- ROADWAY COMPACTION TESTS SHALL BE MADE ON SUBGRADE MATERIAL, AGGREGATE BASE MATERIAL, AND MATERIAL AS SPECIFIED BY THE SOILS ENGINEER. SAID TESTS SHALL BE MADE PRIOR TO THE PLACEMENT OF THE NEXT MATERIAL LIFT.
- SUBGRADE MATERIAL SHALL BE COMPACTED TO A RELATIVE COMPACTION OF 95% IN THE ZONE BETWEEN FINISHED SUBGRADE ELEVATION AND A MINIMUM OF 1-FOOT BELOW. ALL MATERIAL IN FILL SECTIONS BELOW THE ZONE MENTIONED ABOVE SHALL BE COMPACTED TO 90% RELATIVE COMPACTION.
- CONTRACTOR SHALL CERTIFY THAT THE IMPROVEMENTS WHEN COMPLETED ARE IN ACCORDANCE WITH THE PLANS PRIOR TO THE REQUEST FOR A FINAL INSPECTION. RECORD DRAWINGS SHALL BE PREPARED AFTER CONSTRUCTION IS COMPLETED. THE CONTRACTOR CERTIFYING THE IMPROVEMENTS AND PREPARING AS-BUILT PLANS MAY BE PRESENT WHEN THE FINAL INSPECTION IS MADE BY THE COUNTY.
- ALL UTILITY COMPANIES SHALL BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION.
- A JURISDICTION ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK DONE WITHIN THE COUNTY RIGHT-OF-WAY. THE ENCROACHMENT PERMIT MAY ESTABLISH ADDITIONAL CONSTRUCTION, UTILITY AND TRAFFIC CONTROL REQUIREMENTS.
- THE JURISDICTION INSPECTOR ACTING ON BEHALF OF THE JURISDICTION BUILDING DEPARTMENT MAY REQUIRE REVISIONS IN THE PLANS TO SOLVE UNFORESEEN PROBLEMS THAT MAY ARISE IN THE FIELD. ALL REVISIONS SHALL BE SUBJECT TO THE APPROVAL OF THE DEVELOPER'S ENGINEER OF WORK.
- THE STRUCTURAL SECTION SHALL BE BASED ON SOILS TESTS TAKEN AT THE TIME OF CONSTRUCTION AND USING A TRAFFIC INDEX OF FOR (ROAD NAME). THE STRUCTURAL SECTION SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO ROAD CONSTRUCTION. 14. HYDRO-SEEDING OR OTHER PERMANENT EROSION CONTROL SHALL BE PLACED AND ESTABLISHED WITH 90% COVERAGE ON ALL DISTURBED SURFACES (OTHER THAN PAVED OR GRAVEL SURFACES) PRIOR TO THE FINAL INSPECTION. 15. FOR ANY PUBLIC IMPROVEMENTS TO BE MAINTAINED BY THE JURISDICTION, IF ENVIRONMENTAL PERMITS FROM THE U.S. ARMY CORPS OF ENGINEERS, THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD/STATE WATER RESOURCES CONTROL BOARD, OR THE CALIFORNIA DEPARTMENT OF FISH & GAME ARE REQUIRED, THE DEVELOPER SHALL: A. SUBMIT A COPY OF ALL SUCH COMPLETED PERMITS TO THE COUNTY BUILDING DEPARTMENT OR, B. DOCUMENT THAT THE REGULATORY 16, WHEN THE PROJECT SITE EARTHWORK IS NOT INTENDED TO BALANCE THEN A SEPARATE GRADING PERMIT FOR THE SENDING OR RECEIVING PROPERTY MAY BE REQUIRED. A COPY OF THE PERMITS OR EVIDENCE THAT NO PERMITS ARE REQUIRED SHALL BE SUBMITTED TO THE DEPARTMENT PRIOR TO COMMENCING PROJECT EARTHWORK.

GRADING NOTES

- ALL DISTURBED AREAS SHALL BE HYDRO SEEDED OR PLANTED WITH APPROVED EROSION CONTROL VEGETATION AS SOON AS PRACTICAL AFTER CONSTRUCTION IS COMPLETE. 12. MINIMUM SETBACK TO CREEKS AND BLUFFS SHALL BE MAINTAINED. MINIMUM SETBACK OF TWO FEET FROM ALL PROPERTY LINES WILL BE MAINTAINED FOR ALL GRADING. 13. MINIMUM SLOPE AWAY FROM BUILDINGS SHALL BE 5% FOR THE FIRST TEN FEET AROUND PERIMETER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKERS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- ALL CONTRACTORS AND SUBCONTRACTORS WORKING WITHIN THE RIGHT OF WAY SHALL HAVE AN APPROPRIATE CONTRACTOR'S LICENSE, A LOCAL BUSINESS LICENSE, AND shall obtain an encroachment permit. 16. ENGINEERING REPORTS FOR CUT OR FILL SLOPE STEEPER THAN 2:1 SHALL BE SUBMITTED TO THE FIELD INSPECTOR.
- ALL GRADING CONSTRUCTION SHALL CONFORM TO THE APPLICABLE CODES AS NOTED UNDER "APPLICABLE CODES" HEADING.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE COUNTY AND OTHER AFFECTED AGENCIES. THE CONTRACTOR SHALL NOTIFY THE COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS PRIOR TO ANY WORK BEING PERFORMED, AND ARRANGE FOR INSPECTION.
- GRADING SHALL COMPLY WITH THE RECOMMENDATIONS OF THE PRELIMINARY SOILS REPORT.
- ESTIMATED EARTH QUANTITIES: FRONT YARD RETAINING WALL 48 CU. YARDS DRIVEWAY 56 CU. YARDS NOTE: EXACT SHRINKAGE, CONSOLIDATION, AND SUBSIDENCE FACTORS AND LOSSES DUE TO CLEARING OPERATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES ARE BASED UPON THE DIFFERENCE BETWEEN EXISTING GROUND SURFACE AND PROPOSED FINISH GRADES, OR SUB GRADES AS SHOWN ON THE PLAN, AND SHOULD VARY ACCORDING TO THESE FACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE INSPECTION AND QUANTITY TAKE OFF, AND SHALL BID ACCORDINGLY.
- SOILS ENGINEER TO DETERMINE THE SOIL IS SUITABLE TO SUPPORT THE INTENDED STRUCTURE. SUCH REPORT INCLUDING PROGRESS AND/OR COMPACTION REPORTS SHALL BE SUBMITTED TO THE FIELD INSPECTOR PRIOR TO FINAL INSPECTION WHEN A SOILS REPORT IS OBTAINED. THE COUNTY POLICY REGARDING PAD CERTIFICATION SHALL BE FOLLOWED. WHEN APPLICABLE THE ENGINEER SHALL OBSERVE THE GRADING OPERATION(S) AND PROVIDE THE FIELD INSPECTOR WITH REQUIRED COMPACTION REPORTS AND A REPORT STATING THAT THE GRADING PERFORMED HAS BEEN OBSERVED AND IS IN CONFORMANCE WITH THE UBC AND JURISDICTION ORDINANCES.
- NO CUT OR FILL SLOPES WILL BE CONSTRUCTED STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
- DUST CONTROL IS TO BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- AREAS OF FILL SHALL BE SCARIFIED, BENCHED AND RECOMPACTED PRIOR TO REPLACING FILL.
- FILL MATERIAL WILL BE RECOMPACTED TO 90% OF MAXIMUM DENSITY. 10. REMOVE ANY DELETERIOUS MATERIAL ENCOUNTERED BEFORE PLACING FILL.

UNDERGROUND UTILITY NOTES

- AN EFFORT HAS BEEN MADE TO DEFINE THE LOCATION OF UNDERGROUND FACILITIES WITHIN THE JOB SITE. HOWEVER, ALL EXISTING UTILITY AND OTHER UNDERGROUND STRUCTURES MAY NOT BE SHOWN ON THIS PLAN AND THEIR LOCATION WHERE SHOWN IS APPROXIMATE. THE CONSTRUCTION CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR LOCATING OR HAVING LOCATED ALL UNDERGROUND UTILITIES AND OTHER FACILITIES AND FOR PROTECTING THEM DURING CONSTRUCTION.
- ALL UTILITY COMPANIES MUST BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION. THE CONSTRUCTION CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT 811 TWO TO TEN DAYS PRIOR TO THE START OF EXCAVATION AND SHALL VERIFY THE LOCATION OF ANY KNOWN UTILITIES AND WHETHER OR NOT A REPRESENTATIVE OF EACH COMPANY WILL BE PRESENT DURING EXCAVATION.

APPLICABLE CODES

- 2019 BUILDING STANDARDS CODES
- CALIFORNIA BUILDING CODE, VOLS 1 & 2 (2019 IBC)
 - CALIFORNIA RESIDENTIAL CODE (NEW) (2019 IRC)
 - CALIFORNIA PLUMBING CODE (2019 UPC)
 - CALIFORNIA MECHANICAL CODE (2019 UMC)
 - CALIFORNIA ELECTRICAL CODE (2019 NEC)
 - CALIFORNIA ENERGY CODE (V.2008 UNTIL 7/1/2019)
 - CALIFORNIA GREEN BUILDING CODE
 - California Fire Code (2019 IFC)
 - CALIFORNIA REFERENCE STANDARDS CODE
 - COUNTY BUILDING AND CONSTRUCTION ORDINANCE - TITLE 16
 - COUNTY COASTAL ZONE LAND USE ORDINANCE - TITLE 23
 - COUNTY FIRE CODE ORDINANCE - TITLE 16
 - COUNTY LAND USE ORDINANCE - TITLE 22

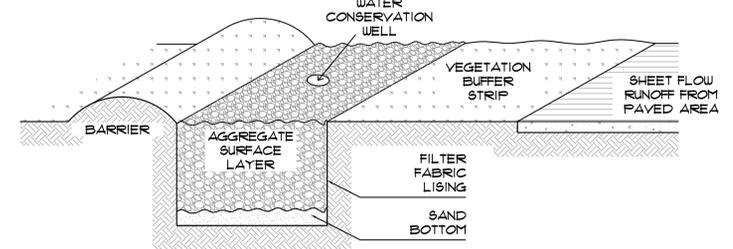
LEGEND

---	PROPERTY LINE
---	SETBACK
---	EXISTING GROUND CONTOUR
---	FINISH GRADE CONTOUR
---	CONCRETE
---	EDGE OF PAVEMENT
W	WATER LINE
WV	WATER VALVE
FD	FIRE HYDRANT
S	SANITARY SEWER MAIN
E	ELECTRICAL LINE
U	UTILITY POLE
E	ELEC. VAULT / PEDESTAL / PULL BOX
T	TELEPHONE LINE
T	TELE. VAULT / PEDESTAL / PULL BOX
X	FENCE
G	GAS MAIN
→	SWALE
2%	PROPOSED GRADE & DIRECTION
100.0	SPOT ELEVATION
DS	DOWN SPOUT

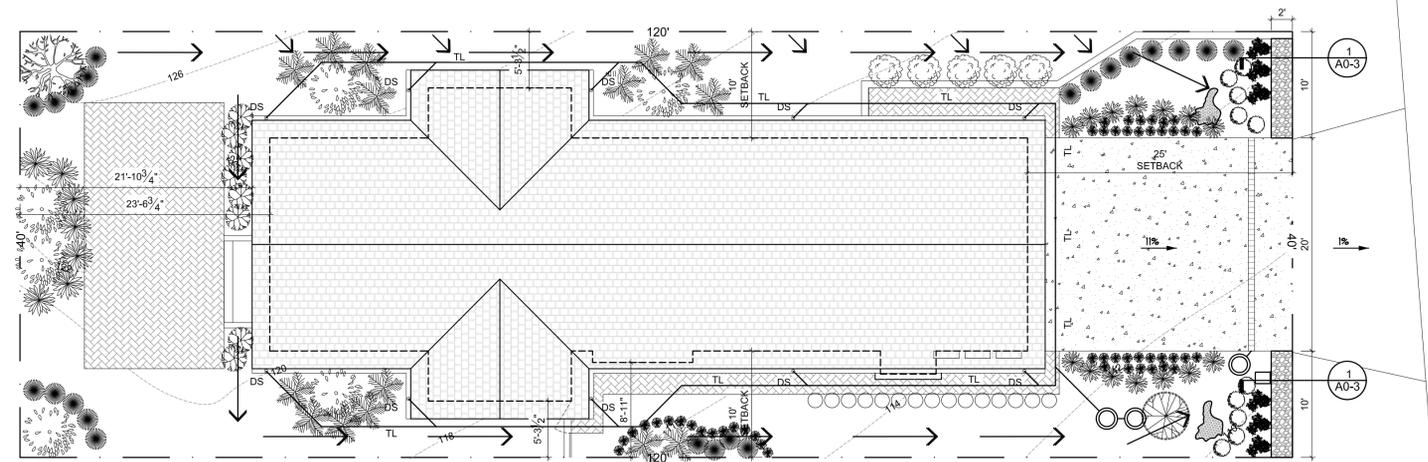
IMPERVIOUS AREAS

NAME	AREAS SQ FT	%
PROPERTY	4,802.80	100
BUILDINGS FOOT PRINTS	1,567.37	32.63
DRIVEWAY AND SIDEWALKS	603.75	12.57
LANDSCAPING	2,631.68	54.80

2,171.12 SQ. FT. + 4,802.80 SQ. FT. X 7.600 CU. FT. =
VOLUME OF DETENTION REQUIRED 16,812.19 (CU. FT.)



1 RETENTION TRENCH
SCALE: NTS



N DRAINAGE SITE PLAN
SCALE: 1/8" = 1'-0"

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LICENSED ARCHITECT
KAREN WILKINS
STATE OF CALIFORNIA

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APN: 048-065-060

No.	Description	Date
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Drainage Site Plan
A0-3
Scale: As Noted
Sheet size: Arch D

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ROOF PLAN KEYNOTES

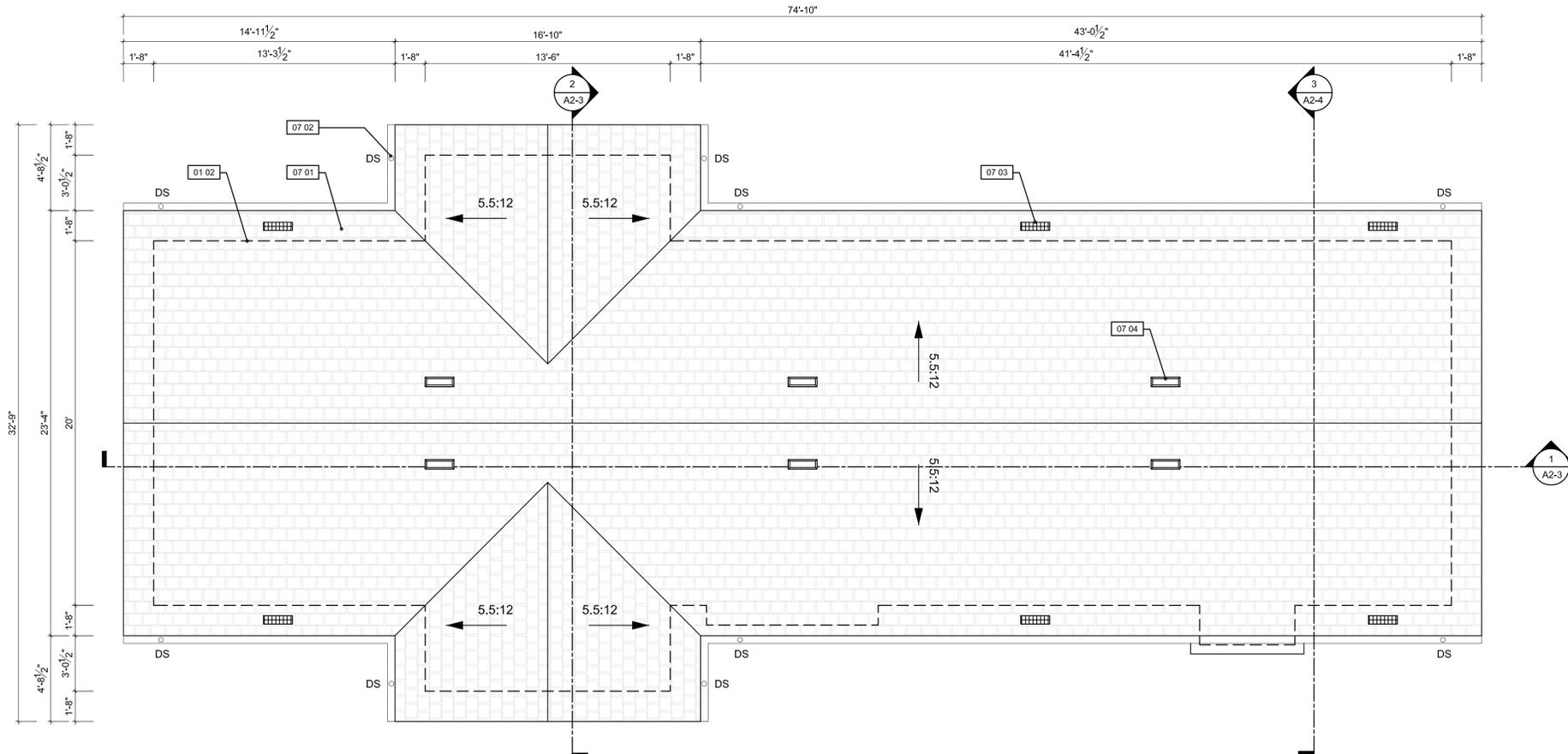
SYMBOL	DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
01 00	GENERAL
01 01	EAVE ABOVE
01 02	LINE OF FRAMING BELOW
07 00	THERMAL & MOISTURE PROTECTION
7.1	CONTRACTOR SHALL VERIFY ALL CONDITIONS SHOWN ON THE DRAWINGS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
7.2	CONTRACTOR SHALL INSTALL ALL G.L. FLASHING AS REQUIRED TO COMPLETE ASSEMBLY FOR WATER-TIGHT CONSTRUCTION. (26 GAUGE, TYPICAL) COLOR MATCH ROOF WHERE VISIBLE.
7.3	ALL PENETRATIONS AS MAY OCCUR SHALL BE FLASHED AND CAPPED AS REQUIRED.
7.4	PROVIDE ALL FLASHING AND CLOSURE STRIPS AND INSTALL PER MANUFACTURER'S REQUIREMENTS - SEE DETAILS.
7.5	MATCH ROOF SLOPE TO DRAIN @ CRICKETS WHEN POSSIBLE.
7.6	ROOF COVERING AND UNDERLAYMENT SHALL COMPLY W/ 2019 CRC CHAPTER 9.
7.7	ALL ROOD EAVES AND FASCIA CONDITIONS SHALL BE AS PER DETAILS. ADJUSTMENTS IN THE FIELD SHALL OCCUR ONLY AS NECESSITATED BY DIMENSIONAL DISCREPANCIES - COORDINATE WITH ARCHITECT.
7.8	(RESIDENCE) NEW 2X4 (@ 24" O.C. WOODEN JOISTS) VENTILATED ATTIC ROOF (ROOF SLOPE 6:12) TO HAVE R30 CEILING INSULATION W/ R13 BELOW ROOF DECK (INSULATION: NEW 2X4 (@ 16" O.C. WOODEN RAFTERS) NON-ATTIC ROOF (ROOF SLOPE 6:12) TO HAVE R0 RAFTER INSULATION FOR GARAGE.
7.9	NEW 2X4 (@ 24" O.C. WOODEN JOISTS) VENTILATED ATTIC ROOF (ROOF SLOPE 4:12) TO HAVE R38 CEILING INSULATION W/ RADIANT BARRIER.
7.10	ROOFING LIGHTWEIGHT ROOFING OR EQUIVALENT.
07 01	CERTAINTEED ASPHALT ROOF SHINGLES LANDMARK SOLARIS COLOR: RESAWN SHAKE OR EQUAL
07 02	5" FASCIA GUTTER "DS" INDICATES 2" DOWNSPOUT, TYPICAL (TERMINATE PER SOILS REPORT) "DTR" INDICATES DOWNSPOUT TO ROOF OR GUTTER BELOW
07 03	ATTIC EAVE VENT
07 04	ATTIC RIDGE VENT

GENERAL NOTES

- OVERLAP MEMBRANES LATERALLY 3" AND FRONTALLY 6". MEMBRANES SHOULD BE STAGGERED ABOUT 18" SO SEAMS DO NOT OVERLAP.
- FOR SLOPES LESS THAN 9" PER FOOT, INSTALL THE PROPYLENE MEMBRANE PERPENDICULAR TO THE SLOPE.

ATTIC LEGEND

ROOF VENT
 EAVE VENT 6"x16"
 ATTIC VENTILATION CALCULATIONS:
 1/150 RULE CALCULATION
 TOTAL ATTIC SQUARE FEET: 1567/150 = 10.45SQ FT X 144 = 1504 SQ IN TOTAL VENTILATION
 1504/2 = 752 SQ IN FOR RIDGE VENTING THEREFOR 15 (50 SQ IN) VENTSURE METAL SLANT BACK VENTS NEAR RIDGE
 675/2 = 752 SQ IN FOR SOFFIT VENTING THEREFORE 15 (50 SQ IN) VENTSURE METAL SLANT BACK VENTS NEAR SOFFIT



RESIDENCE ROOF PLAN
 SCALE: 1/4" = 1'-0"

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Residence Roof Plan
A1-3
 Scale: As Noted
 Sheet size: Arch D

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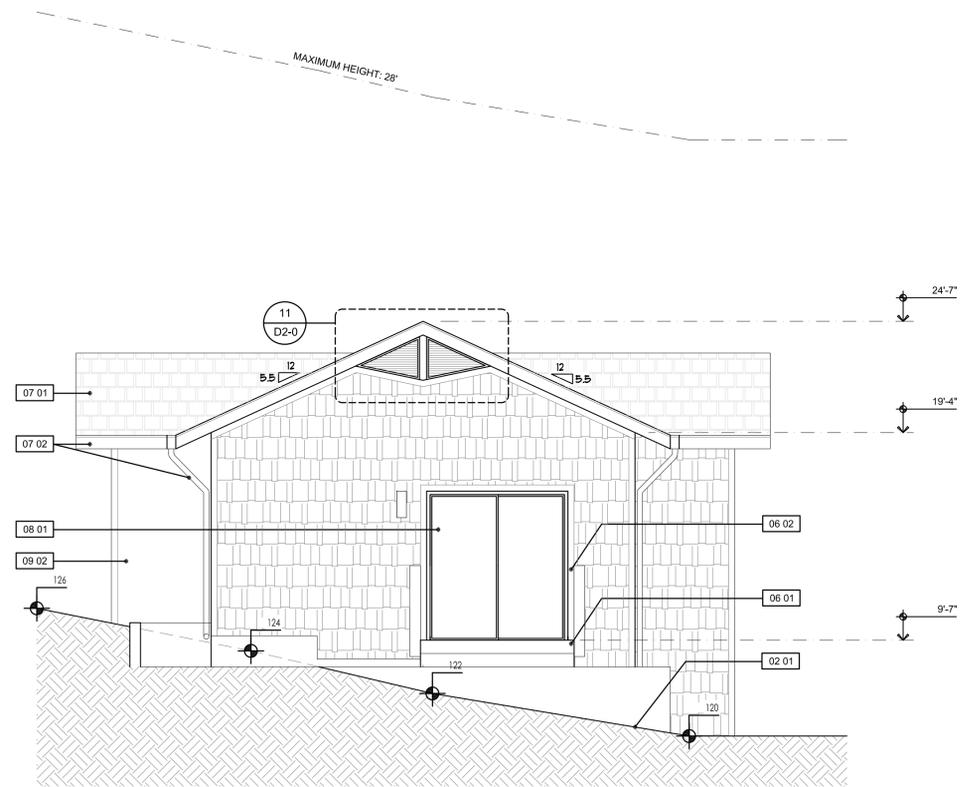
EXTERIOR ELEVATION KEYNOTES

See outline specifications on sheet A0.4 for additional information in each category.

SYMBOL	DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
02 00	SITE
02 01	FINISH GRADE / SURFACE - SLOPE 5% FOR 10' AWAY FROM STRUCTURE
03 00	CONCRETE
03 01	CONCRETE LANDING / SIDEWALK, FOR MINIMUM SIZE REQUIREMENTS
06 00	WOOD
06 01	TREX TRANSCEND COMPOSITE CLASS C 1" SQUARE EDGE BOARD DECKING ASTM D 7032-04
06 02	*42" HALF WALLS OR GUARDRAIL W/ BALUSTERS SPACED SUCH THAT A 4" SPHERE SHALL NOT PASS. MORSE INDUSTRIES GUARDRAILS AND HANDRAILS, SEE SPECS AND MANUFACTURERS INSTALLATION INSTRUCTIONS AND PER CRC R311.7.8.
07 00	THERMAL & MOISTURE PROTECTION
07 01	CERTAINTED ASPHALT ROOF SHINGLES LANDMARK SOLARIS COLOR: RESAWN SHAKE OR EQUAL
07 02	5" FASCIA GUTTER "DS" INDICATES DOWNSPOUT TO ROOF OR GUTTER BELOW
08 00	OPENINGS
08 01	USE TYVEK "FLEXWRAP" FLASHING AT ALL EXTERIOR OPENINGS, SEE WINDOW FLASHING DETAIL 8.1 BENJAMIN MOORE CHANTILLY LACE OC-65 FOR TRIM
09 00	FINISHES
09 01	JAMES HARDIE LAP SIDING COLOR: TIMBER BARK
09 02	JAMES HARDIE SHINGLE SIDING COLOR: KHAKI BROWN
32 00	SITE IMPROVEMENT
32 01	PLANTER
32 02	PERGOLA

GENERAL NOTES

- ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS AND CAULKS
SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLE 4.504.1 OR 4.504.2, AS APPLICABLE. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICHLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED IN SUBSECTION 2 BELOW.
- AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.
- 4.504.2.2 PAINT AND COATINGS.
ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3 SHALL APPLY.
- 4.504.2.3 AEROSOL PAINTS AND COATINGS.
AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR COC IN SECTION 94522(A)(2) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(E)(1) AND (F)(1) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION. . .
- 5.4.504.2.4 VERIFICATION.
VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:
 - MANUFACTURER'S PRODUCT SPECIFICATION.
 - FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS.
 TABLE 4.504.1 - ADHESIVE VOC LIMIT 1.2
(LESS WATER AND LESS EXEMPT COMPOUNDS IN GRAMS PER LITER)



2 NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE

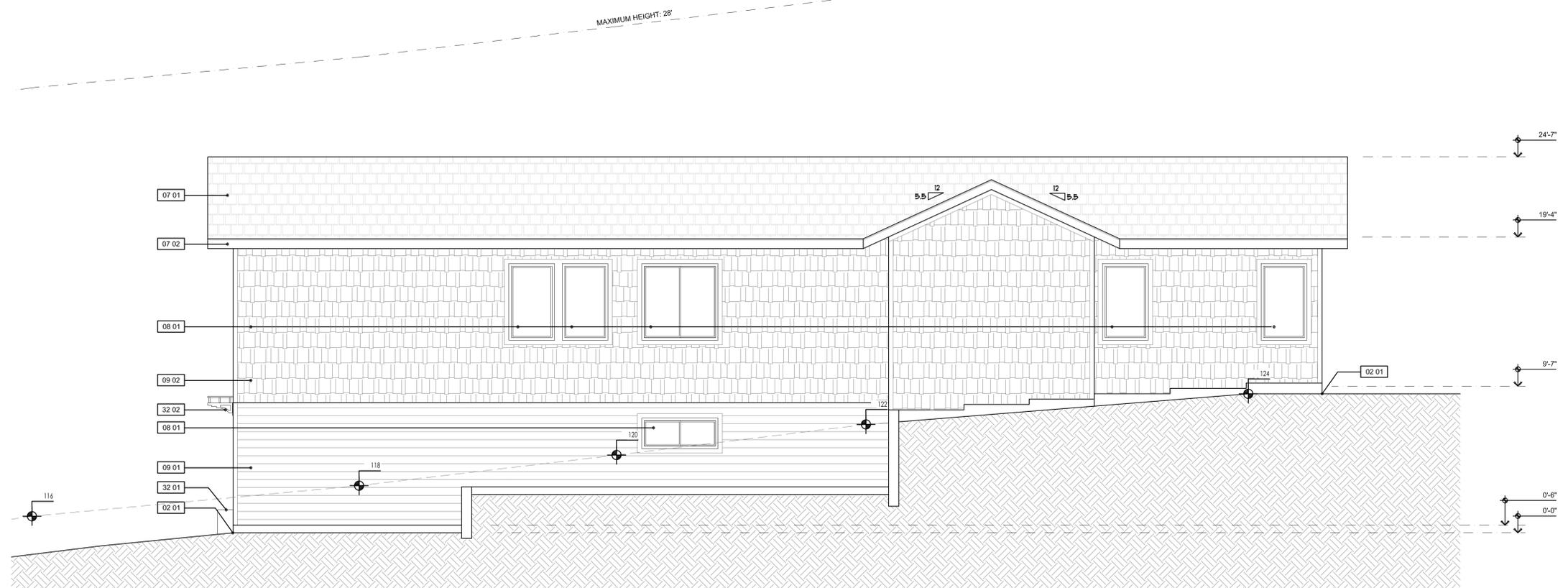
MARK	WIDTH	HEIGHT	FRAME MATERIAL	DOOR MATERIAL	DOOR FINISH	QTY	COMMENTS
101	15' - 10"	7' - 4"	ALUM	ALUM	PTD	1	GARAGE DOOR
102	2' - 8"	6' - 11"	WD	WD	PTD	4	
103	3' - 0"	6' - 11"	ALUM	ALUM	PTD	2	EXTERIOR DOOR
104	2' - 6"	6' - 11"	WD	WD	PTD	1	VENTED SINGLE FOLDING DOOR
105	8' - 0"	6' - 11"	WD	WD	PTD	2	CLOSET SL DOOR
201	4' - 3"	6' - 11"	WD	WD	PTD	1	CLOSET SL DOOR
202	2' - 8"	6' - 11"	WD	WD	PTD	3	
203	2' - 6"	6' - 11"	WD	WD	PTD	2	VENTED SINGLE FOLDING DOOR
204	2' - 6"	6' - 11"	WD	WD	PTD	1	POCKET DOOR
205	2' - 10"	6' - 11"	WD	WD	PTD	2	POCKET DOOR
206	9' - 7"	6' - 11"	WD	WD	PTD	2	CLOSET SL DOOR
207	7' - 0"	6' - 11"	WD	WD	PTD	1	CLOSET SL DOOR
208	6' - 6"	6' - 11"	ALUM	GLASS	PTD	1	SLIDING DOOR

WINDOW SCHEDULE

NO.	WIDTH	HEIGHT	QTY	COMMENTS
1	3' - 0"	4' - 0"	2	TILT AND TURN
2	3' - 0"	3' - 0"	2	TILT AND TURN
3	5' - 0"	2' - 0"	1	SLIDING
4	3' - 0"	5' - 0"	13	TILT AND TURN
5	5' - 0"	5' - 0"	2	SLIDING
6	4' - 6"	4' - 6"	3	TILT AND TURN & FIXED

DOORS AND WINDOWS NOTES

- 1 HOUR Fyre-tec FIRE RATED WINDOWS.
- RESIDENCE: DOUBLE NON-METAL CLEAR FOR GARAGE WINDOWS, WINDOWS & DOORS WITH NFRC VALUE OF 0.3 U-FACTOR AND 0.23 SHGC.
- ADUS: WINDOWS & DOORS WITH NFRC VALUE OF 0.3 U-FACTOR AND 0.23 SHGC.
- ALL SIZES TO BE VERIFIED w/ MANUFACTURE.
- ALL WINDOWS IN BATHROOMS, STAIRS AREA, AND WITH SILL LOCATION LOWER THAN 18" A.F.F. TO HAVE SAFETY GLASS.
- WINDOWS MUST HAVE AN OPENABLE AREA OF AT LEAST 5.7 SQUARE FEET, WITH THE MINIMUM OPENABLE WIDTH 20" AND THE MINIMUM OPENABLE HEIGHT 24".
- THE BOTTOM OF THE CLEAR OPENING SHALL NOT EXCEED 45" ABOVE THE FLOOR.
- THE EMERGENCY DOOR OR WINDOW SHALL BE OPENABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF ANY KEYS OR TOOLS.
- ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS, PER SECTION R303.1.
- NATURAL VENTILATION SHALL BE PROVIDED FOR ALL HABITABLE ROOMS, WITH THE MINIMUM OPENABLE AREA TO THE OUTDOORS OF 4% OF THE FLOOR AREA BEING VENTILATED, SECTION R303.1.
- GLAZING ADJACENT TO A DOOR WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE, AND IT MEETS EITHER OF THE FOLLOWING CONDITIONS:
 - WHERE THE GLAZING IS WITHIN 24" OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION.
 - WHERE THE GLAZING IS ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE DOOR IN A CLOSED POSITION AND WITHIN 24" OF THE HINGE SIDE OF AN IN-SWINGING DOOR.
- POCKET DOOR TO THE MASTER CLOSET OPENS FROM THE LEFT SIDE.



1 SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



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APN: 048-065-060

No. Description Date

Submittal 11/17/2022

Residence North
and South
Elevations
A2-1
Scale: As Noted
Sheet size: Arch D

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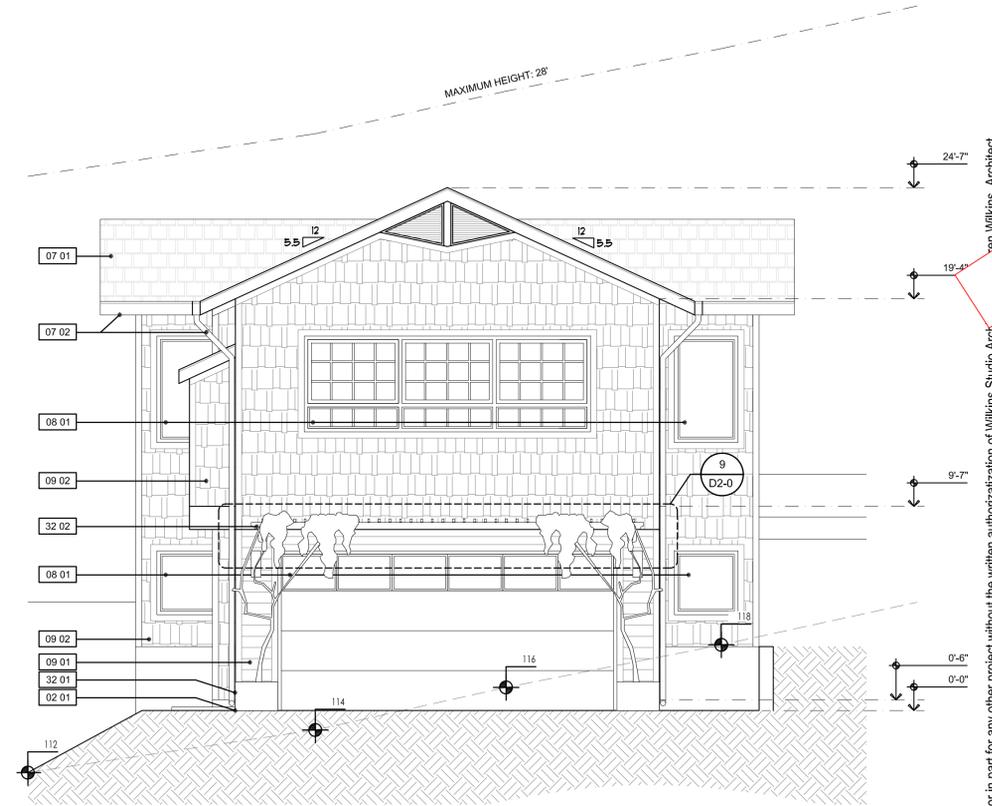
EXTERIOR ELEVATION KEYNOTES

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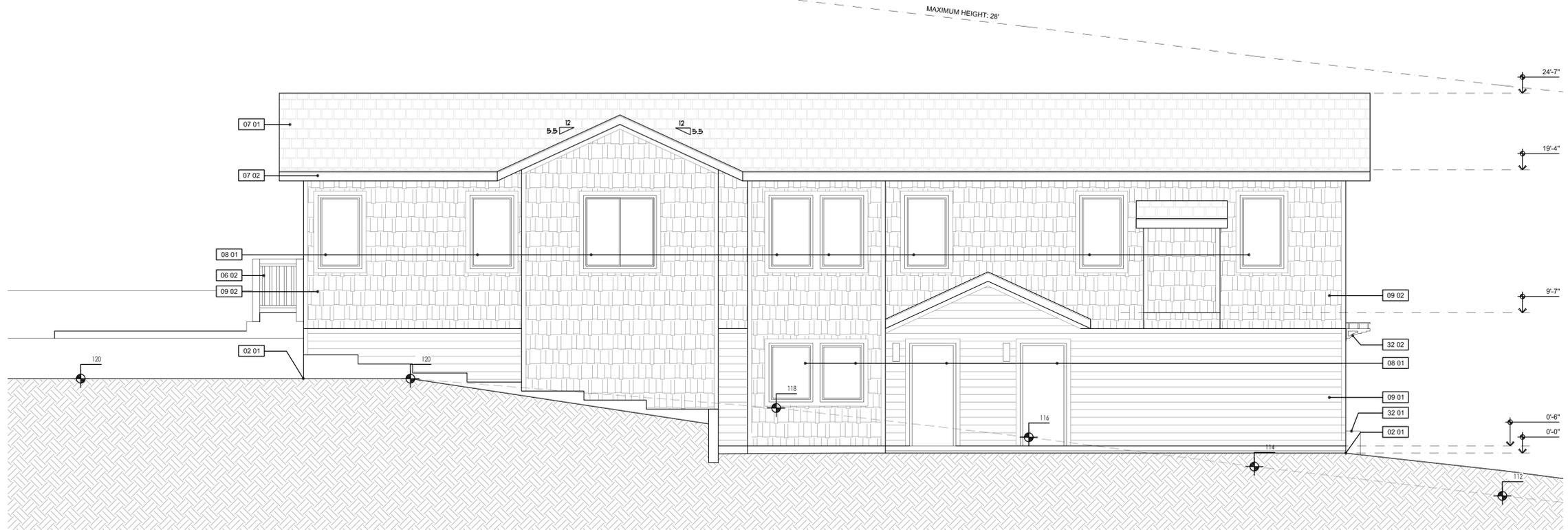
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03 00	CONCRETE
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06 00	WOOD
06 01	TREX TRANSCEND COMPOSITE CLASS C 1" SQUARE EDGE BOARD DECKING ASTM D 7032-04
06 02	+42" HALF WALLS OR GUARDRAIL W/ BALUSTERS SPACED SUCH THAT A 4" SPHERE SHALL NOT PASS. MORSE INDUSTRIES GUARDRAILS AND HANDRAILS, SEE SPECS AND MANUFACTURERS INSTALLATION INSTRUCTIONS AND PER CRC R311.7.8.
07 00	THERMAL & MOISTURE PROTECTION
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08 00	OPENINGS
08 01	USE TYVEK "FLEXWRAP" FLASHING AT ALL EXTERIOR OPENINGS, SEE WINDOW FLASHING DETAIL 8.1 BENJAMIN MOORE CHANTILLY LACE OC-65 FOR TRIM
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32 01	PLANTER
32 02	PERGOLA

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- AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.
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 TABLE 4.504.1 - ADHESIVE VOC LIMIT 1.2 (LESS WATER AND LESS EXEMPT COMPOUNDS IN GRAMS PER LITER)
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 TABLE 4.504.1 - ADHESIVE VOC LIMIT 1.2 (LESS WATER AND LESS EXEMPT COMPOUNDS IN GRAMS PER LITER)



2 SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"

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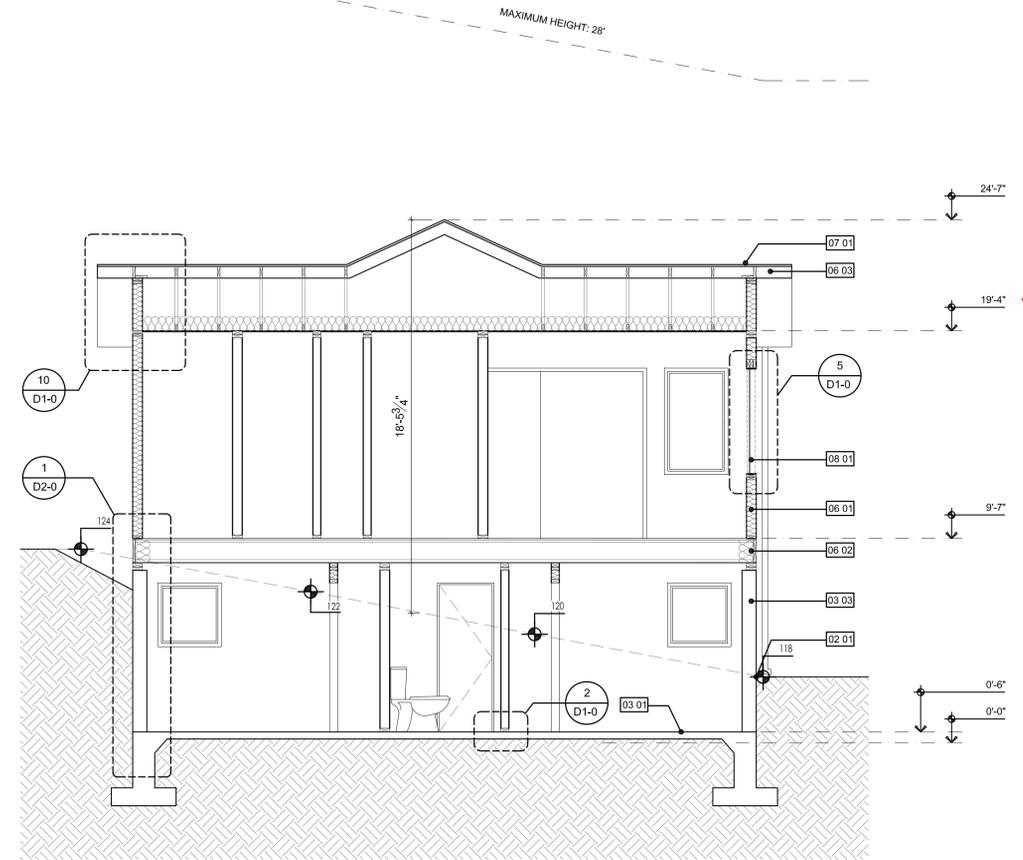
No.	Description	Date
	Submittal	11/17/2022

Residence West and East Elevations
A2-2
Scale: As Noted
Sheet size: Arch D

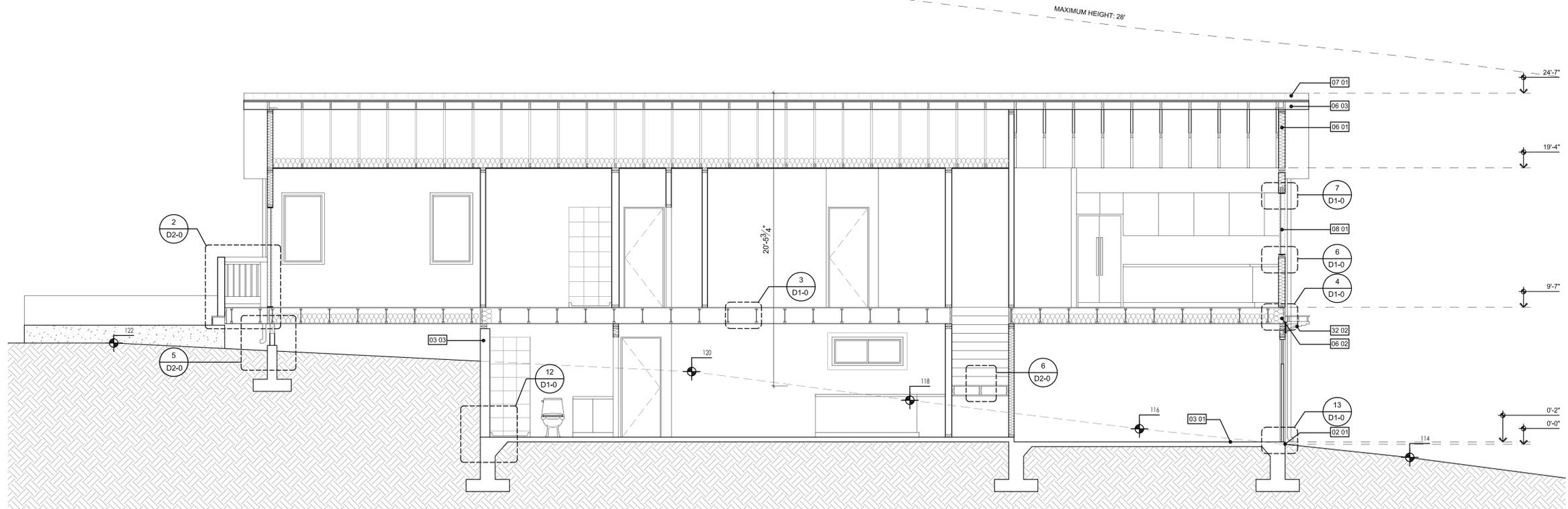
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SECTION NOTES & KEYNOTES

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02 00	SITE
02 01	FINISH GRADE / SURFACE - SLOPE 5% FOR 10' AWAY FROM STRUCTURE
03 00	CONCRETE
03 01	SLAB ON GRADE
03 02	CONCRETE LANDING/SIDEWALK
03 03	CMU RETAINING WALL, SEE STRUCTURAL PLANS
06 00	WOOD
06 01	2x FRAMING PER STRUCTURAL DRAWINGS
06 02	FLOOR JOIST PER STRUCTURAL DRAWINGS
06 03	2x MANUFACTURED TRUSSES PER FRAMING PLAN
<p>WHERE THERE IS AN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACE, FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED, WITH SIGNS OR STENCILING IN THE CONCEALED SPACE, SUCH IDENTIFICATION SHALL:</p> <p>1. BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION.</p> <p>2. INCLUDE LETTERING NOT LESS THAN 3" IN HEIGHT WITH A MIN. 3/8" STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING.</p> <p>*"FIRE AND/OR SMOKE BARRIER PROTECT ALL OPENINGS", OR OTHER WORDING. (CBS 703.7)</p>	
07 00	THERMAL & MOISTURE PROTECTION
07 01	CERTAINTED ASPHALT ROOF SHINGLES ICC-ES ESR-1389 OR EQUAL
07 02	5" FASCIA GUTTER "DS" INDICATES RECTANGULAR DOWNSPOUT, TYPICAL (TERMINATE PER SOILS REPORT) "DTR" INDICATES DOWNSPOUT TO ROOF OR GUTTER BELOW
08 00	OPENINGS
08 01	USE TYVEK "FLEXWRAP" FLASHING AT ALL EXTERIOR OPENINGS, SEE A2-01 WINDOW FLASHING DETAIL



2 SECTION 2
SCALE: 1/4" = 1'-0"



1 SECTION 1
SCALE: 1/4" = 1'-0"



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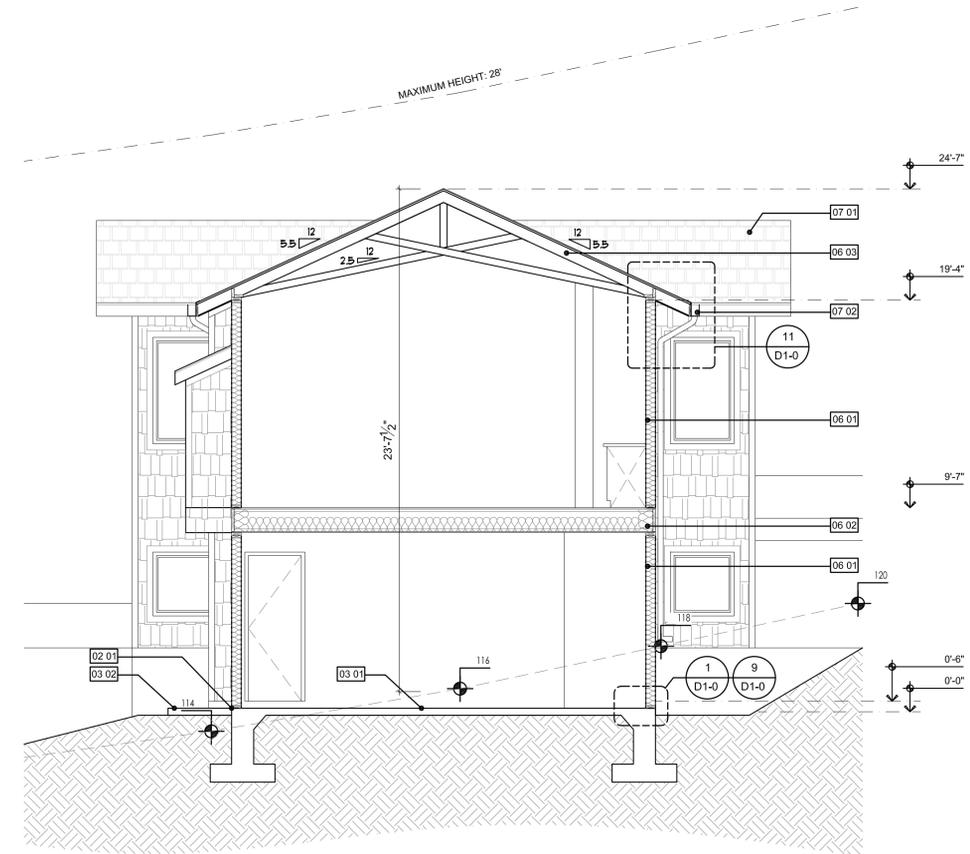
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06 01	2x FRAMING PER STRUCTURAL DRAWINGS
06 02	FLOOR JOIST PER STRUCTURAL DRAWINGS
06 03	2x MANUFACTURED TRUSSES PER FRAMING PLAN
<p>WHERE THERE IS AN ACCESSIBLE CONCEALED FLOOR, FLOOR/CEILING OR ATTIC SPACE, FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED, WITH SIGNS OR STENCILING IN THE CONCEALED SPACE, SUCH IDENTIFICATION SHALL:</p> <ol style="list-style-type: none"> 1. BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION. 2. INCLUDE LETTERING NOT LESS THAN 3" IN HEIGHT WITH A MIN. 3/8" STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING. <p>*"FIRE AND/OR SMOKE BARRIER PROTECT ALL OPENINGS", OR OTHER WORDING. (CBS 703.7)</p>	
07 00	THERMAL & MOISTURE PROTECTION
07 01	CERTAINTED ASPHALT ROOF SHINGLES ICC-ES ESR-1389 OR EQUAL
07 02	5" FASCIA GUTTER "DS" INDICATES RECTANGULAR DOWNSPOUT, TYPICAL (TERMINATE PER SOILS REPORT) "DTR" INDICATES DOWNSPOUT TO ROOF OR GUTTER BELOW
08 00	OPENINGS
08 01	USE TYVEK "FLEXWRAP" FLASHING AT ALL EXTERIOR OPENINGS, SEE A2-01 WINDOW FLASHING DETAIL



1 SECTION 3
SCALE: 1/4" = 1'-0"



Architect
 Wilkins Studio Architects
 Contract: Karen Wilkins, AIA
 785 Quintana Rd # 180
 Morro Bay, CA 93442
 (415) 273-9054

Owner:
 -

Alto Residence
 Alto Avenue, Half Moon Bay, CA 94019
 APN: 048-065-060

No.	Description	Date
	Submittal	11/17/2022

Section
A2-4
 Scale: As Noted
 Sheet size: Arch D

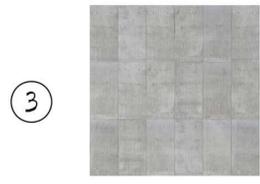
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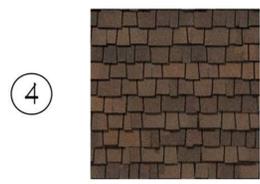
JAMES HARDIE SHINGLE SIDING COLOR: KHAKI BROWN



JAMES HARDIE LAP SIDING COLOR: TIMBER BARK



EXPOSED CONCRETE



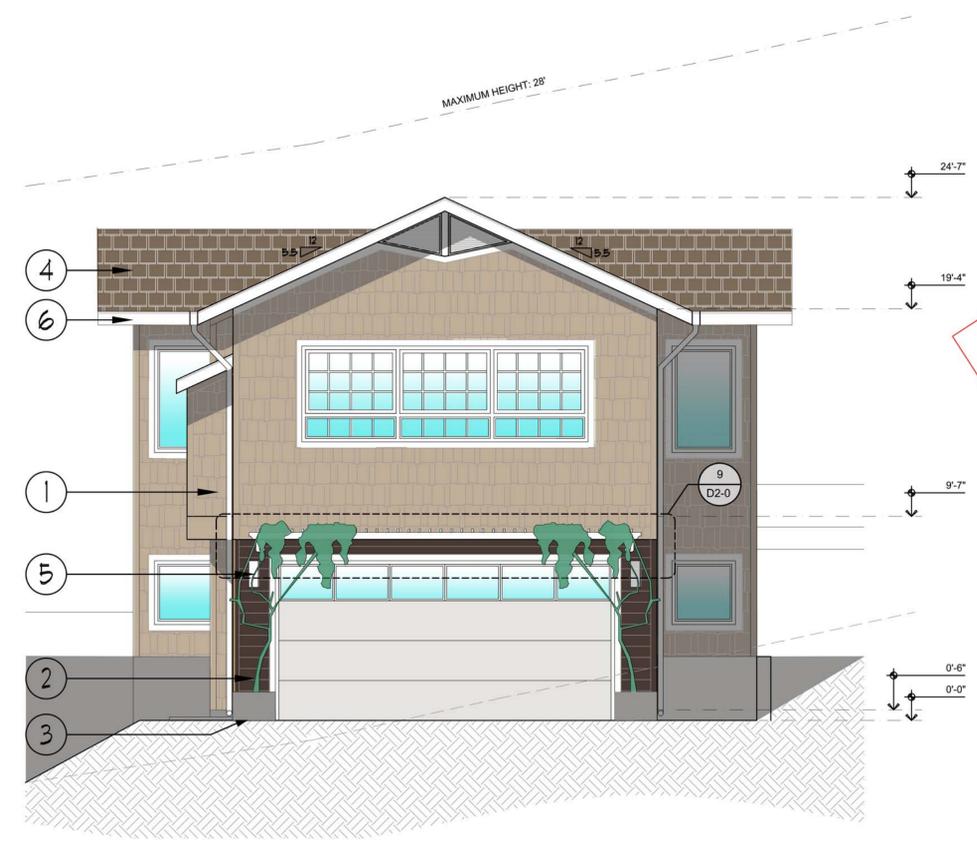
CERTAINTEED ASPHALT ROOF SHINGLES LANDMARK SOLARIS COLOR: RESAWN SHAKE OR EQUAL



KITCHLER LIGHTING 92348K OUTDOOR CYLINDER WALL MOUNT SCONCE DOWNLIGHT, BLACK



BENJAMIN MOORE CHANTILLY LACE OC-65



2 SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTHEAST ELEVATION
SCALE: 1/4" = 1'-0"

Wilkins Studio
Architects
San Francisco CA
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NOT FOR CONSTRUCTION

LICENSED ARCHITECT
KAREN WILKINS, AIA
STATE OF CALIFORNIA

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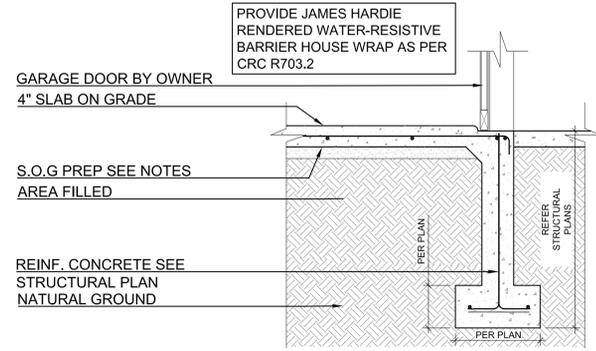
Owner:
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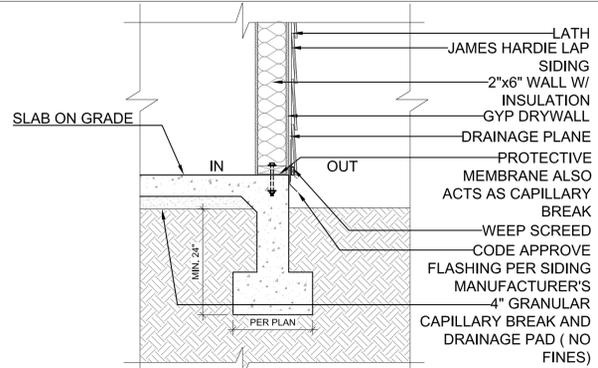
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A4-0
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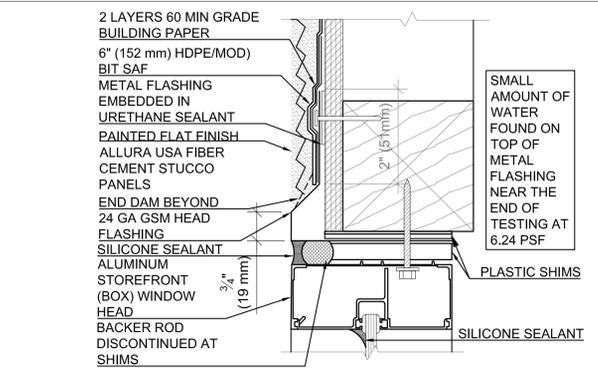
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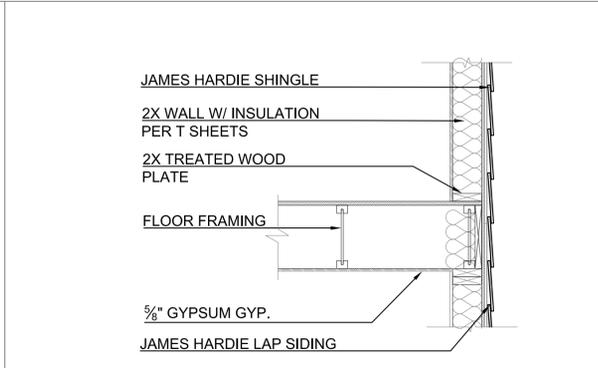
13 GARAGE DOOR DETAIL SCALE: NTS



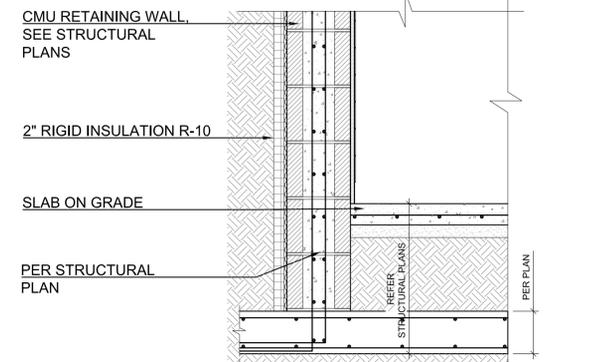
9 WALL / FLOOR DETAIL SCALE: NTS



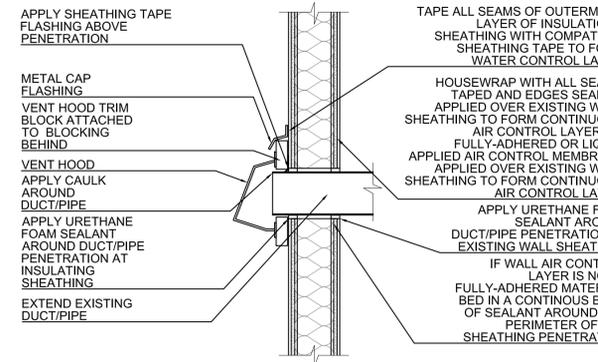
7 WINDOW HEAD DETAIL SCALE: NTS



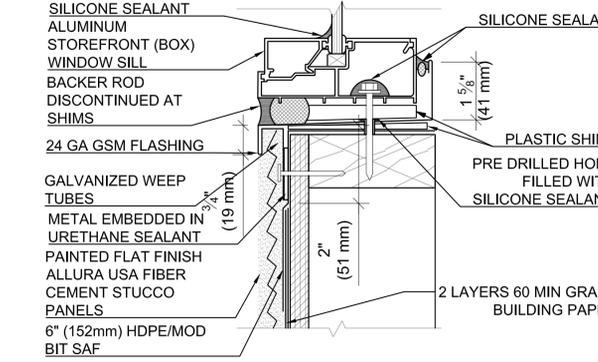
4 FLOOR / WALL CONNECTION SCALE: NTS



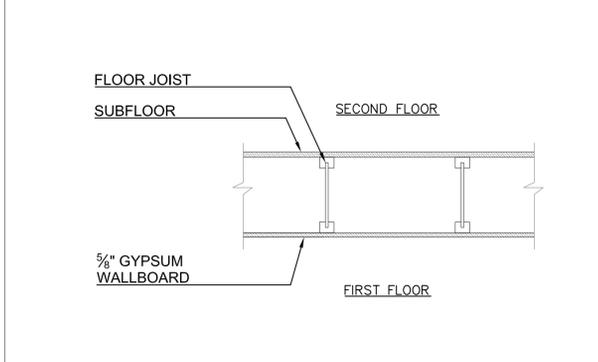
12 RETAINING WALL DETAIL SCALE: NTS



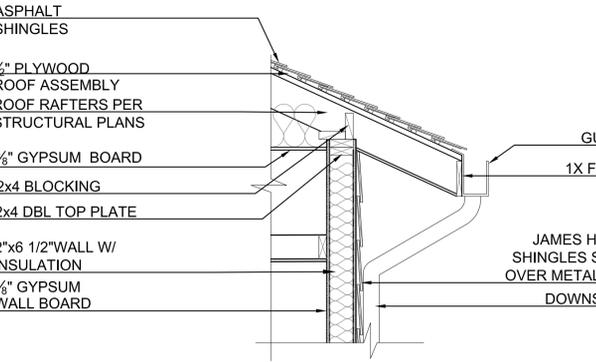
8 DRYER EXHAUST DETAIL SCALE: NTS



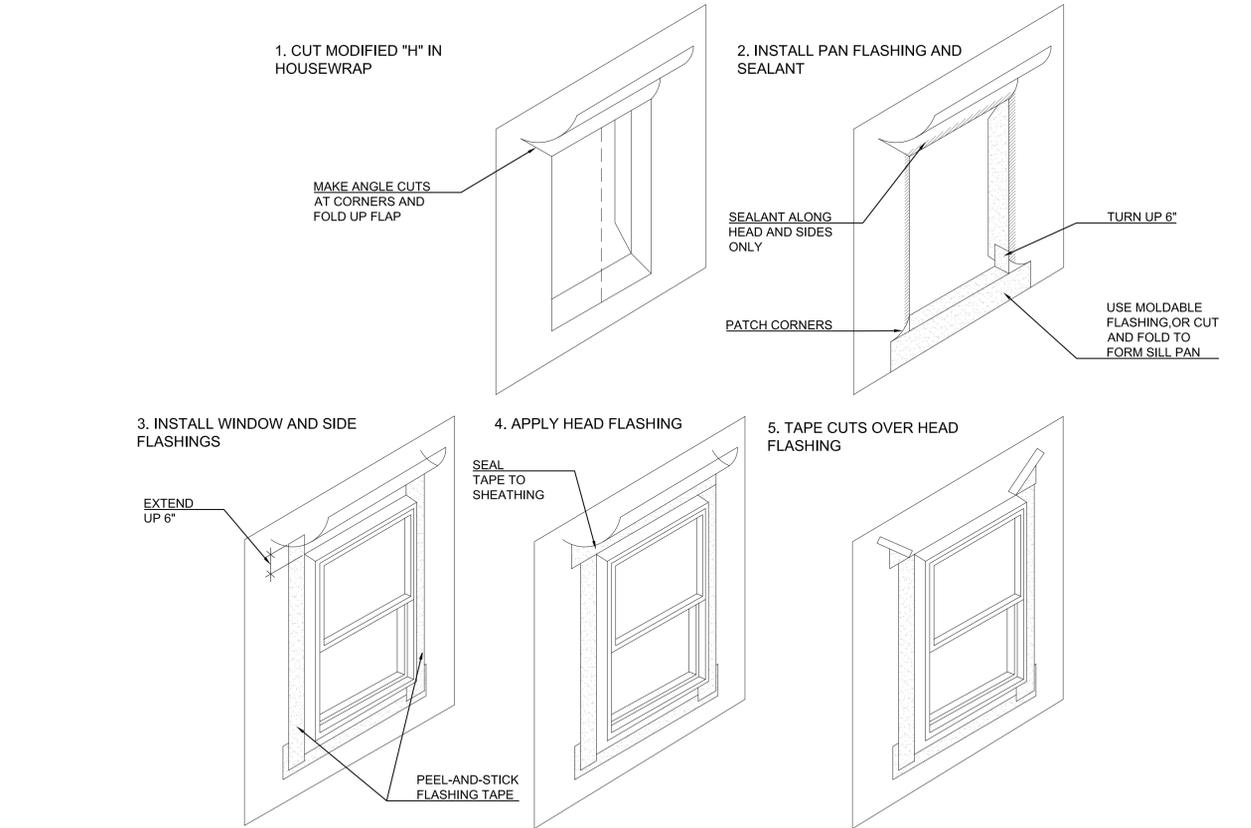
6 WINDOW SILL DETAIL SCALE: NTS



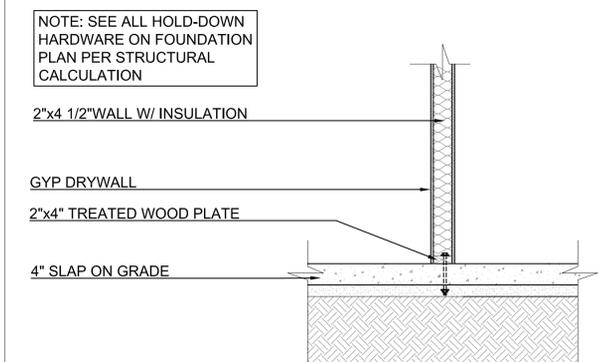
3 FLOOR JOIST DETAIL SCALE: NTS



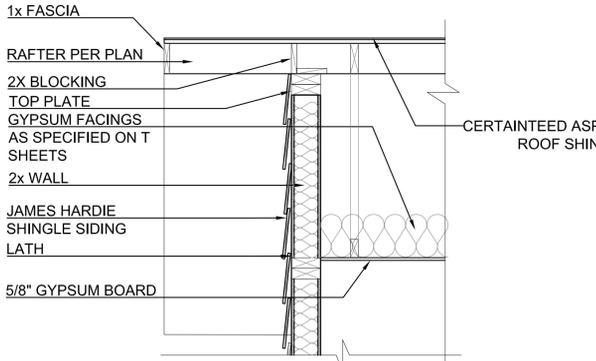
11 WALL / ROOF CONNECTION SCALE: NTS



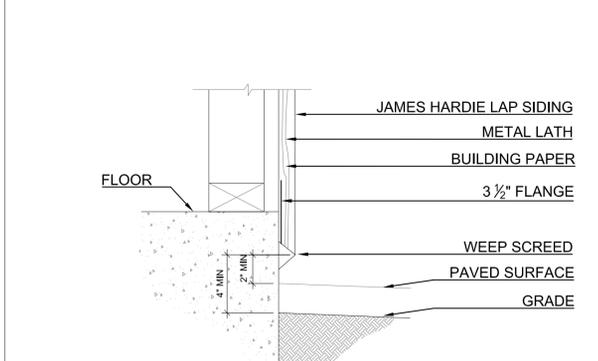
5 WINDOW FLASHING DETAIL SCALE: NTS



2 WALL CONNECTION SCALE: NTS



10 WALL / ROOF CONNECTION SCALE: NTS



1 WEED SCREED DETAIL SCALE: NTS

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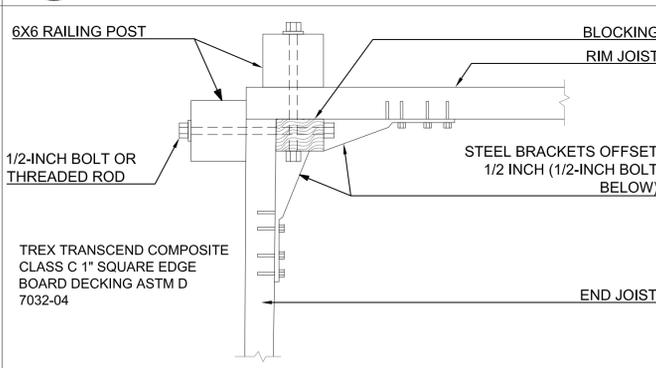
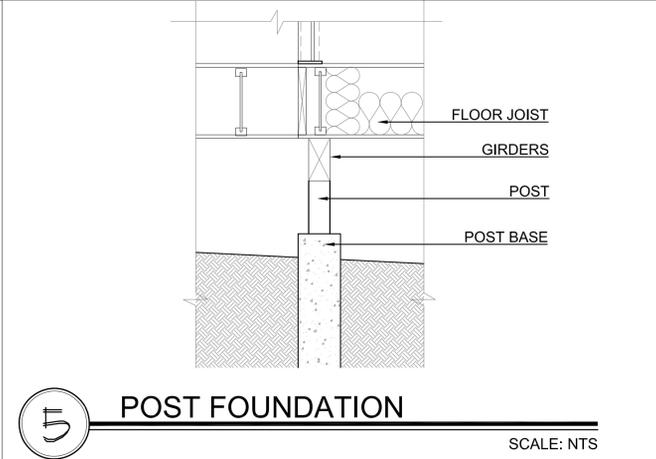
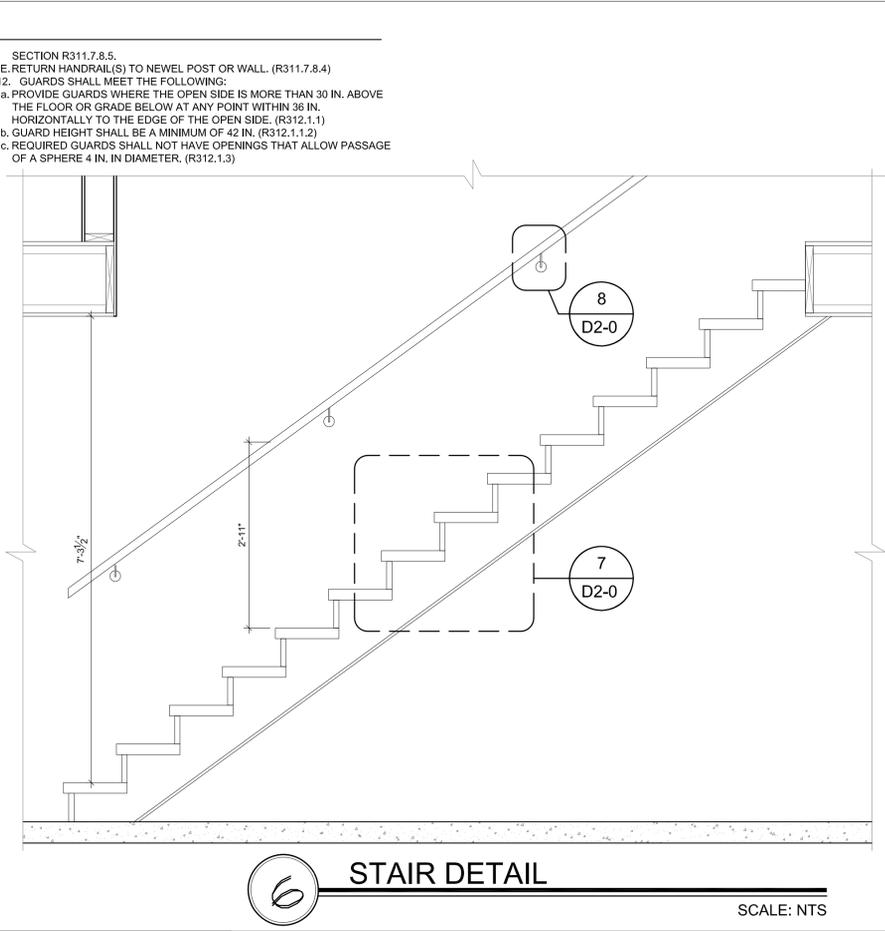
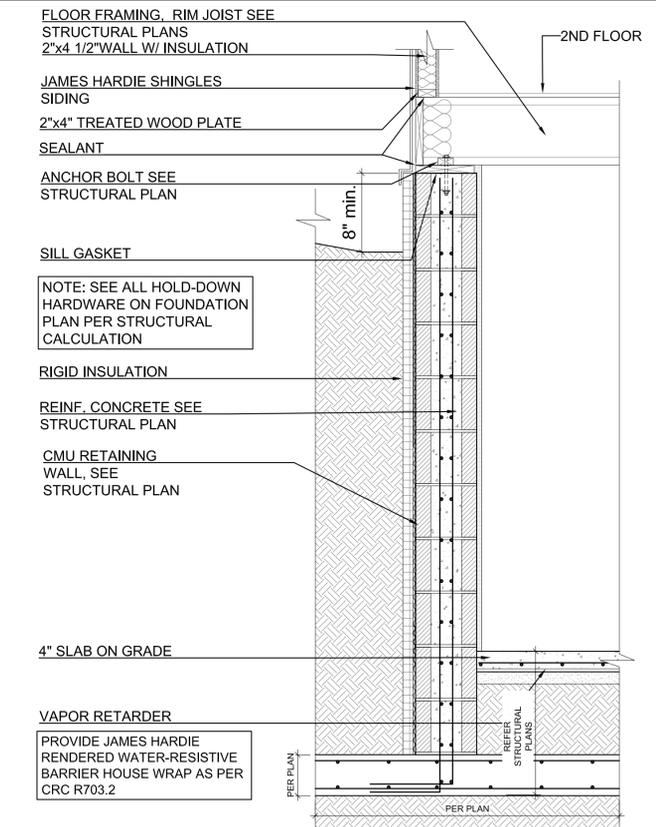
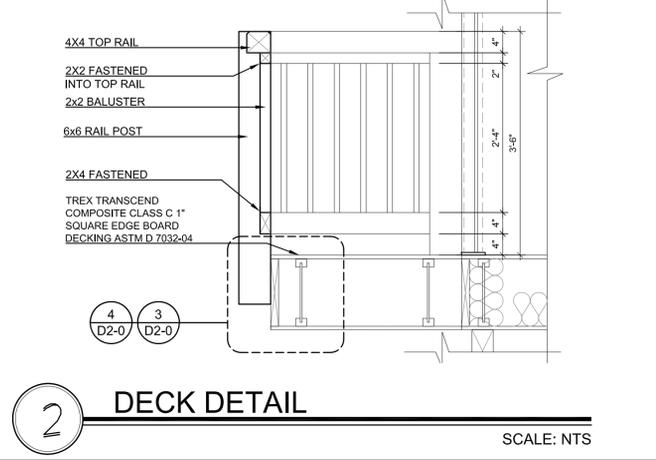
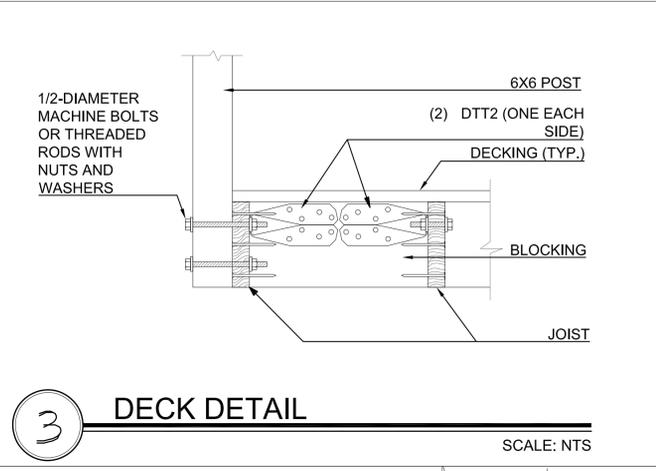
BEAUMONT ST. LOT 6 HOME
2621 Beaumont St. Sacramento, CA 95815

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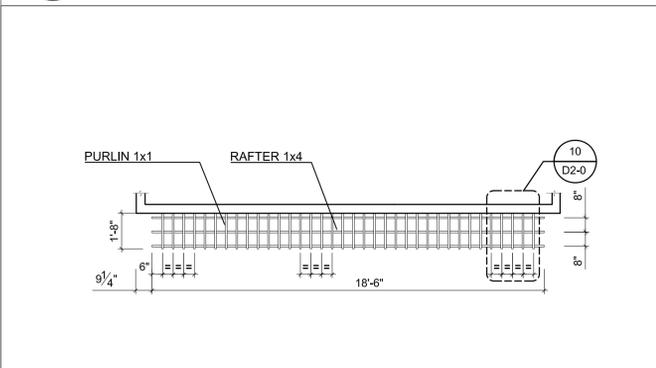
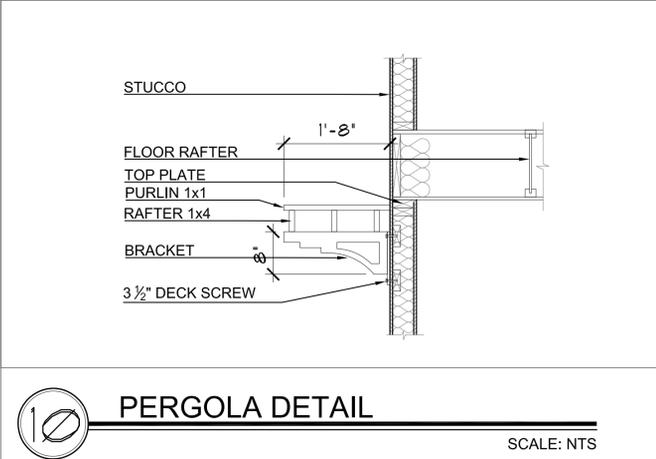
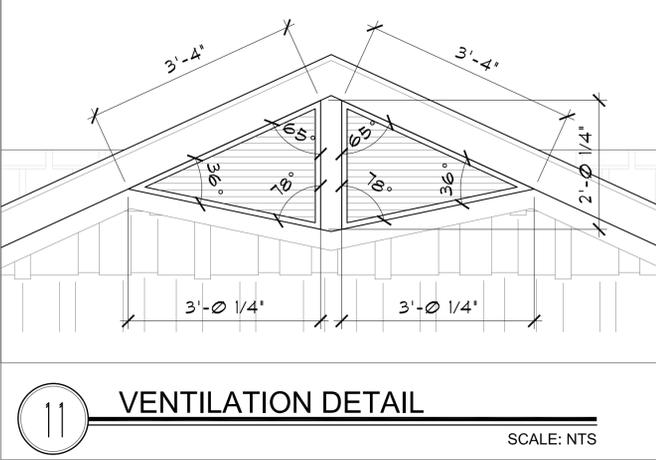
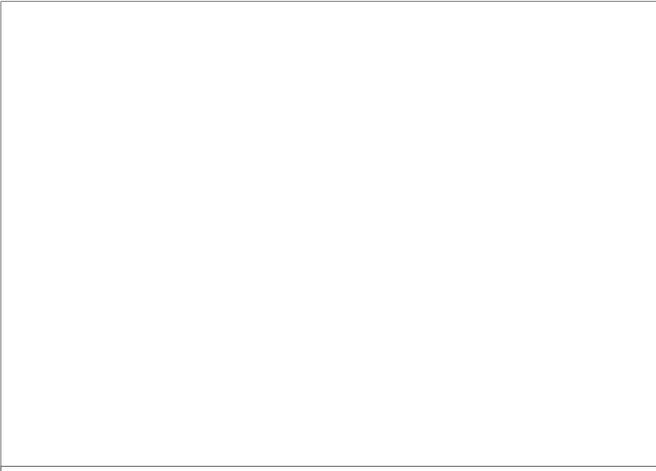
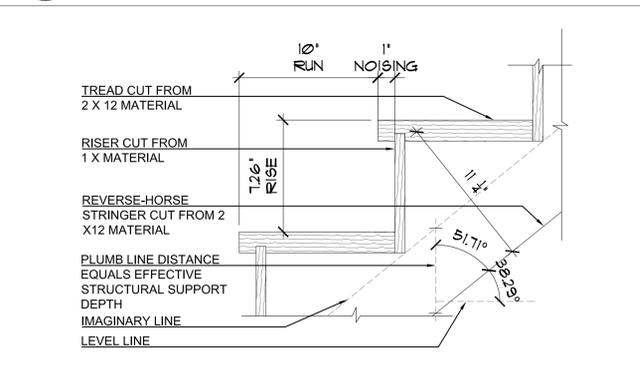
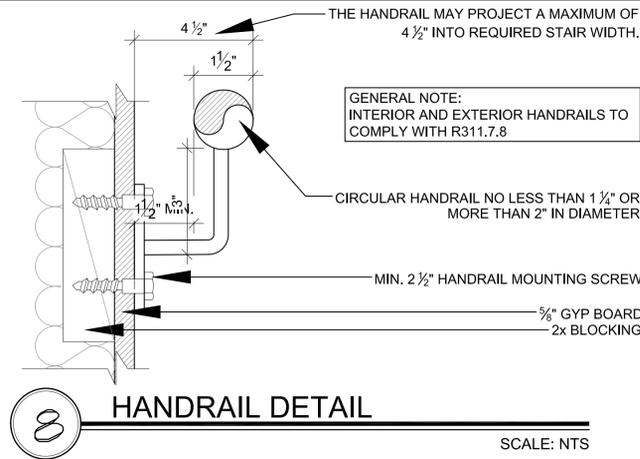
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Details

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- STAIR NOTES**
- ALL INTERIOR AND EXTERIOR STAIR HANDRAILS TO COMPLY WITH CRC R311.7.9
 - PROVIDE JAMES HARDIE RENDERED WATER-RESISTIVE BARRIER HOUSE WRAP AS PER CRC R703.2
 - GUARDS (SECTION R312):
A) SHALL BE PROVIDED FOR THOSE PORTIONS OF OPEN-SIDED WALKING SURFACES THAT ARE LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW.
B) SHALL BE DETAILED TO SHOW CAPABILITY TO RESIST A CONCENTRATED LOAD OF 200 POUNDS IN ANY DIRECTION ALONG THE TOP RAIL AND 50 PSF FOR INFILL COMPONENTS. CALCULATIONS MAY BE REQUIRED. TABLE R312.5.
C) PROVIDE STAIRWAY AND LANDING DETAILS. SECTION R311.7. A) MAXIMUM RISE IS 7-3/4" AND MINIMUM RUN IS 10", MEASURED FROM THE NOSING PROJECTION. WHERE THERE IS NO NOSING, THE MINIMUM RUN IS 11".
B) MINIMUM HEADROOM IS 6'-8".
C) MINIMUM WIDTH IS 36".
D) THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.
E) OPEN RISERS ARE ONLY PERMITTED IF THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE. SECTION R311.7.5.1.
F) A NOSING (BETWEEN 1/2" AND 1-1/2") SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. EXCEPTION: NO NOSING IS REQUIRED IF THE TREAD DEPTH IS AT LEAST 11 INCHES. SECTION R311.7.5.3.
G) HANDRAILS (SECTION R311.7.8):
A) SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY WITH FOUR OR MORE RISERS.
B) HANDRAILS AND EXTENSIONS SHALL BE 34" TO 38" ABOVE NOSING OF TREADS AND BE CONTINUOUS.
C) THE HAND GRIP PORTION OF ALL HANDRAILS SHALL BE NOT LESS THAN 1-1/2 INCHES NOR MORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION. SEE SECTION R311.7.8.3 FOR ALTERNATIVES.
D) HANDRAILS ADJACENT TO WALLS SHALL HAVE AT LEAST 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.
E) ENDS OF HANDRAILS SHALL BE RETURNED OR SHALL HAVE ROUNDED TERMINATIONS OR BENDS.
F) EVERY STAIRWAY LANDING SHALL HAVE A DIMENSION, MEASURED IN THE DIRECTION OF TRAVEL, AT LEAST EQUAL TO THE STAIRWAY WIDTH. IF A DOOR OCCURS AT THE LANDING, SUCH DIMENSIONS NEED NOT EXCEED 36 INCHES. SECTION R311.7.6. EXCEPTION: AT THE TOP OF AN INTERIOR FLIGHT OF STAIRS, PROVIDED A DOOR DOES NOT SWING OVER THE STAIRS.
G) INTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE, CAPABLE OF ILLUMINATING TREADS AND LANDINGS TO LEVELS OF NOT LESS THAN 1-FOOT CANDLE (11 LUX) AS MEASURED AT THE CENTER OF TREADS AND LANDINGS. THERE SHALL BE A WALL SWITCH AT EACH FLOOR LEVEL TO CONTROL THE LIGHT SOURCE WHERE THE STAIRWAY HAS SIX OR MORE RISERS. (R303.7)
 - EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED AT THE TOP LANDING OF THE STAIRWAY. (R303.8).
 - HANDRAILS SHALL SATISFY THE FOLLOWING:
a. PROVIDE A MINIMUM OF ONE CONTINUOUS HANDRAIL ON STAIRWAYS WITH 4 OR MORE RISERS AND AT ALL OPEN SIDES. (R311.7.8)
b. HANDRAIL HEIGHT SHALL BE 34 TO 38 IN. ABOVE THE NOSING OF TREADS. (R311.8.3.1)
c. OPENINGS BETWEEN INTERMEDIATE BALUSTERS SHALL NOT ALLOW THE PASSAGE OF A 4 3/8-IN. DIAMETER
d. THE TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL SHALL NOT ALLOW THE PASSAGE OF A 6-IN. DIAMETER SPHERE. (R312.1.3 EX 1 & 2)
e. HANDRAIL GRIPS SHALL BE EITHER TYPE I OR TYPE II SPECIFIED IN SECTION R311.7.8.5.
f. RETURN HANDRAIL(S) TO NEWEL POST OR WALL. (R311.7.8.4)
 - GUARDS SHALL MEET THE FOLLOWING:
a. PROVIDE GUARDS WHERE THE OPEN SIDE IS MORE THAN 30 IN. ABOVE THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 IN. HORIZONTALLY TO THE EDGE OF THE OPEN SIDE. (R312.1.1)
b. GUARD HEIGHT SHALL BE A MINIMUM OF 42 IN. (R312.1.1.2)
c. REQUIRED GUARDS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4 IN. IN DIAMETER. (R312.1.3)



Plant List edited by Linda Montalto Patterson
Landscape Designer 650 726-2513

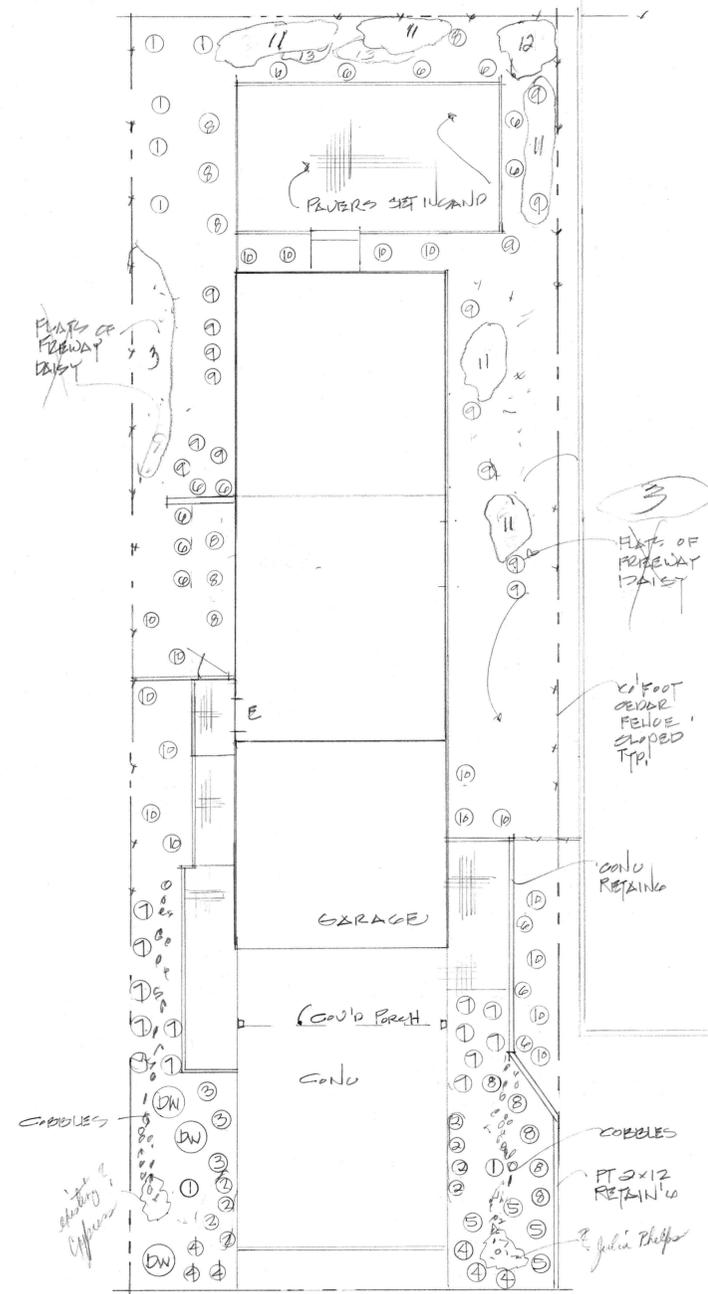
All plants listed drought tolerant and or native

1. Rhamnus Californica	Coffee berry "Mound San bruno"	5 gallon size
2. Erigeron Glaucus	Seaside daisy	1 gallon size
3. Ceanothus	Yankee point	1 gallon size
Ceanothus	Julia Phelps (shrub)	5 gallon size
4. Limonium Perezii	Statice	1 gallon size
5. Lavandula stoechas	Spanish Lavender	1 gallon size
6. Westringia fruticosa	Coast Rosemary	1 gallon size
7. Carex Barberae	Santa Barbara sedge	1 gallon size
8. Hebe Buxifolia	Boxleaf hebe	1 gallon size
9. Dodonea Viscosa 'Purpurea'	Hopseed Bush.	5 gallon size
10. Cistus Salvifolius	Sageleaf Rockrose	1 gallon size
Cistus Purpureus	Orchid Rockrose	1 gallon size
11. Podocarpus gracilior	Fern pine	15 gallon size
12. Cupressus Macrocarpa.	Monterey Cypress	15 gallon size
13. Coleonema Pulchrum	Breath Of Heaven "Sunset Gold"	15 gallon size

PLANTING SCHEDULE

Hand Set
Brent

1. COFFEE BERRY *RHAMNUS CALIFORNICA*
 2. SEASIDE DAISY *ERIGERON* ~~*glauca*~~
 3. CEANOTHUS-YANKEE POINT
 4. STATICE *LIMNITHY Purjei*
 5. SPANISH LAVENDER *JANQUILLA stoechas*
 6. COAST ROSEMARY *WESTINGIA PAULSONA*
 7. SEDGE GRASS *Carex Barbarea Smith Barbarea Ridge*
 8. HERE
 9. HOPSEED BUSH *Andromeda Vicaria Purpurea*
 10. CISTUS *Salsifolia Sugleaf* *Robinson* ~~*Robinson*~~
 11. FREEWAY DAISY FLAT ON SLOPES
 12. *Polycarpus Transition* 'Fern Rose'
 13. *Cladonia* 'Julia Phelps' Bush
- NOTE: DO NOT USE MEXICAN FEATHER OR CRIMSON FOUNTAIN GRASS.
- 7 EUCALYPTUS TO BE REMOVED FOR THIS PROJECT



ALTO AVE

LANDSCAPE PLAN 1/2" = 1'-0"

A NEW RESIDENCE FOR:
PAUL MC GREGOR
TBD ALTO AVE
HALF MOON BAY, CA. 94019 APN: 048-065-06

PRINTED
MAY 30, 17

SHEET No

L.1