

THREE LOW INCOME APARTMENT AND ONE 600 SQ FT RETAIL OFFICE DEVELOPMENT PROJECT

2355 Carlos street, Moss Beach ,CA

APN: 037-098-160 & 210

PROJECT DIRECTORY:

OWNER: **MARTHA RAMOS**
 ADDRESS: PO Box # 117, El Granada, California 94108
 PHONE: (650) 726-4500 guidocordoba1@yahoo.com
 DESIGN & PLANNING: **ROBERTO PENA-Ranpel Designs**
 2679 Keely Avenue, San Pablo, CA 94806
 Phone: (707) 384-3638 -ranpeldesigns@gmail.com

SITE INFORMATION:

PARCEL: 037-098-160 & 210
 LOT SIZE: 13,896 Sq. Ft.
 ZONING: R-1
 LAND USE: Single Family Residential
 OCCUPANCY: R-3
 CONSTRUCTION TYPE: V-B
 NUMBER OF STORIES: TWO STORIES BLDG.
 PROPOSED ADDITION AREA: 600 Sq. Ft- RETAIL OFFICE (GROUND FLR)
 2400 Sq. Ft- THREE LOW INCOME APARTMENT (ONE GROUND & TWO UPPER FLR)

SCOPE WORK:

- BUILT A TWO STORY MIX-USE BUILDING (COMMERCIAL & LOW INCOME APTO. UNITS)
 1. BUILD ONE RETAIL OFFICE (900 SQ EACH ONE) ON THE GROUND FLOOR AND
 2. THREE LOW INCOME APARTMENTS ON THE UPPER LEVEL -(± 900 SQ FT. EACH UNIT)
 3. CREATE A 6 SPACES PARKING SPACE LOT WITH 5 REGULAR PARKING AND ONE ADA PARKING SPACE
 4. DELETED 2 STREET PARKING SPACE TO BUILD ACCESS DRIVEWAY RAMP
 5. REMOVED (E) THREE TREES LOCATED ON FRONT OF PROPERTY

FIRE SPRINKLER PLANS DEFERRAL SUBMITTAL
ENCROACHMENT PERMIT PLANS DEFERRAL SUBMITTAL
TREE REMOVED PERMIT DEFERRAL SUBMITTAL



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November 2022
 Moss Beach, California

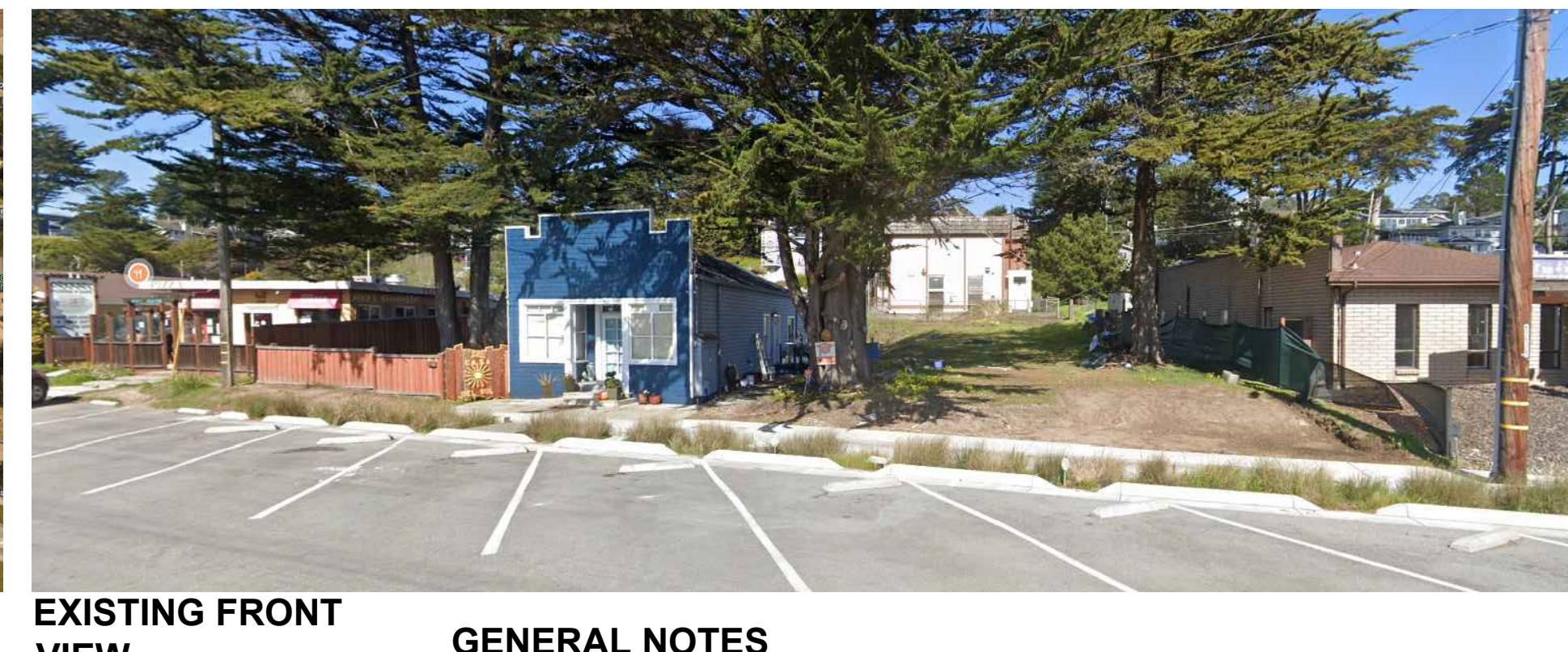
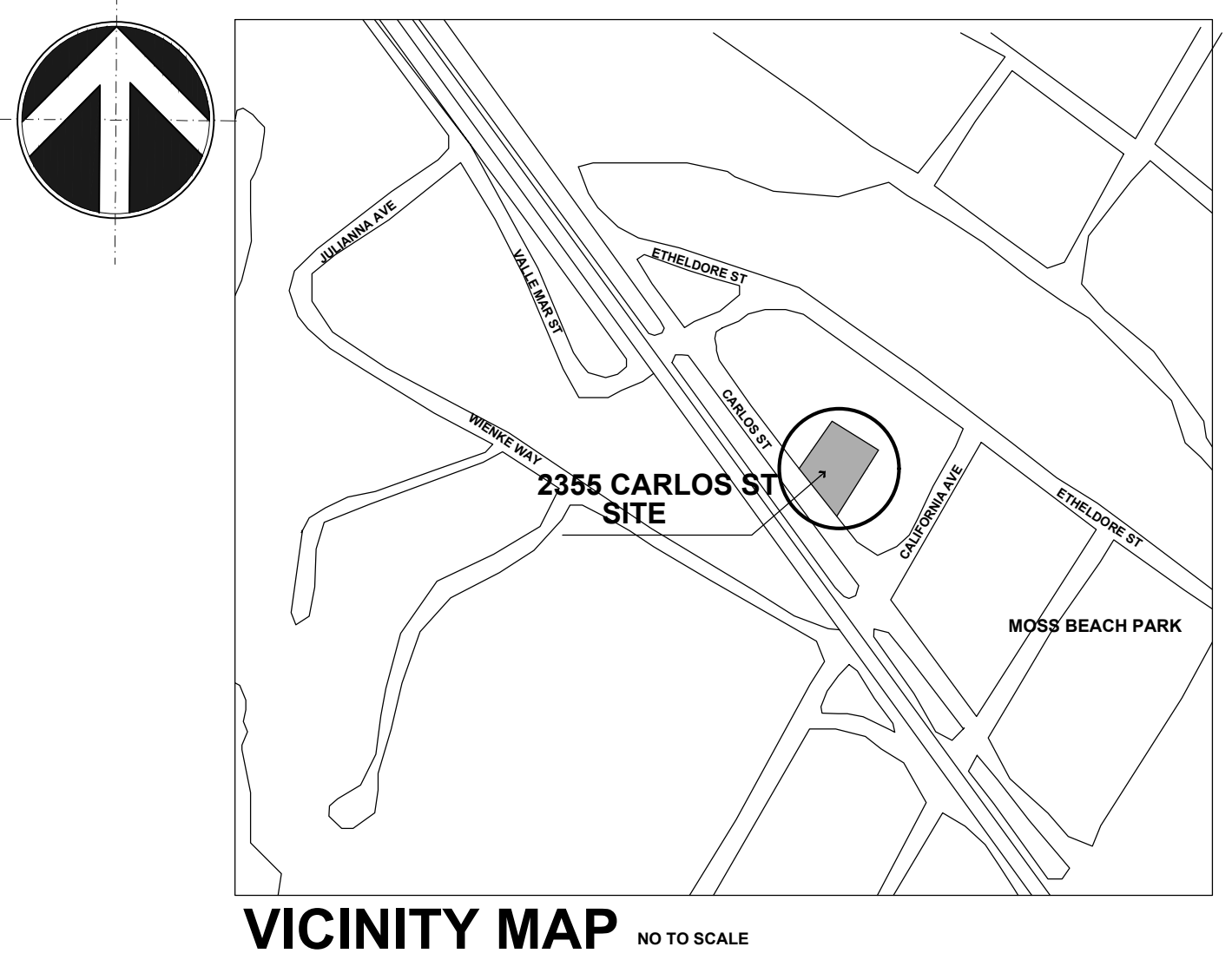
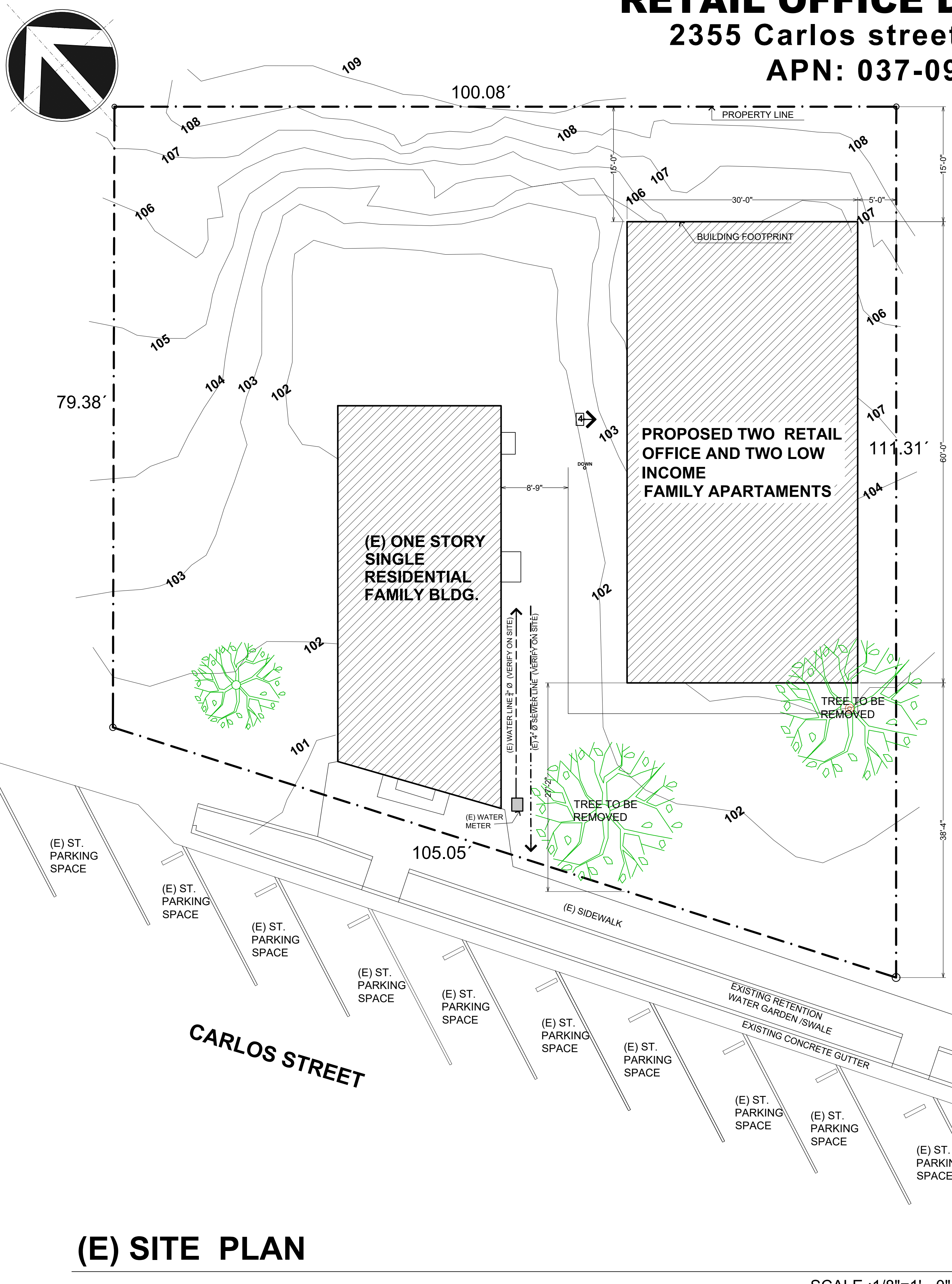
PROJECT NAME: **THREE LOW INCOME APARTMENTS & ONE RETAIL OFFICE DEVELOPMENT PROJECT**

PROJECT LOCATION: **2355 Carlos Street, Moss Beach, CA**

CONTENTS:
 • Site Plan
 • General Notes

11-14-22 Planning Set

DRAW: R-P SHEET: **A1.0**
 SCALE: AS SHOWN
 Project # 20220629



APPLICABLE CODES:

PLANS CONFORM CALIFORNIA BUILDING CODE (CBC) 2019 EDITION.
 2019 CALIFORNIA RESIDENTIAL CODE (CRC)-2019 CALIFORNIA MECHANICAL CODE (CMC).
 2019 CALIFORNIA ELECTRIC CODE (CEC)-2019 CALIFORNIA PLUMBING CODE (CPC).
 2019 CALIFORNIA FIRE CODE (CFC)-2019 CALIFORNIA GREEN BLDG. STANDARDS CODE.
 2019 CALIFORNIA ENERGY CODE. & ALL APPLICABLE MUNICIPAL LOCAL & STATE CODES.

INDEX:

- A1.0- TITLE BLOCK & (E) SITE PLAN
 A1.1- NEW SITE PLAN AND PARKING ADA DETAILS
 A1.2- TREE REMOVAL PLAN
 A1.3- SURVEY PLAN
 A1.4- TOPOGRAPHIC PLANS
 A2.0- GROUND LEVEL FLOOR PLANS
 A2.1- UPPER LEVEL FLOOR PLANS
 A3.0- ELEVATIONS
 A3.1- SECTIONS

GENERAL NOTES

- ALL CONSTRUCTION WORKMANSHIP AND MATERIALS SHALL CONFORM CALIFORNIA RESIDENTIAL CODE 2019 EDITION ALONG WITH ANY OTHER APPLICABLE LOCAL ESTATE LAWS AND REGULATIONS.
- ALL ELECTRICAL, FIRE PROTECTION, MECHANICAL, PLUMBING, AND STRUCTURAL WORK SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH EACH FIELD'S APPLICABLE CODES AND STANDARDS.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITION BEFORE STARTING WORK AND SHALL NOTIFY THE DESIGNER OF ANY DISCREPANCY.
- NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER THESE GENERAL NOTES.
- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE CBC 2019 EDITION AND ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS SHALL BE COMPLIED WITH IT IS THE RESPONSIBILITY OF ANY ONE SUPPLYING LABOR OR MATERIALS OR BOTH TO BRING TO THE ATTENTION OF THE DESIGNER AND THE OWNER ANY DISCREPANCIES OR CONFLICT BETWEEN THE REQUIREMENTS OF THE CODE AND THE DRAWINGS.
- THE DESIGN, ADEQUACY AND SAFETY OF ERECTION, BRACING, SHORING TEMPORARY SUPPORTS. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE PRIOR TO THE APPLICATION OF THE SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS AND FINISH MATERIALS. HE OR SHE SHALL PROVIDE THE NECESSARY BRACING TO PROVIDE STABILITY PRIOR TO THE APPLICATION OF THE AFOREMENTIONED MATERIALS.
- CONCRETE SLAB OR CRAWL SPACE ON GRADE HAS NOT BEEN DESIGNED BY THE STRUCTURAL ENGINEER UNLESS SPECIFICALLY DETAILED ON THE DRAWINGS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE.
- THE DESIGNER SHALL BE NOTIFIED IMMEDIATELY BY THE CONTRACTOR SHOULD ANY DISCREPANCY OR OTHER QUESTION PERTAINING TO THE WORKING DRAWINGS.
- REFER TO STRUCTURAL PLANS FOR ANY QUESTION REGARDING LUMBER GRADES, BEAM AND HEADER SIZES, FOOTINGS AND SHEAR WALL REQUIREMENTS.
- ON SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HIS OR HER SUBCONTRACTORS DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- NO FRAMING OF ANY TYPE SHALL BE CONCEALED PRIOR TO INSPECTION BY GOVERNING AGENCIES.
- NO CHANGES ARE TO BE MADE TO THESE PLANS WITHOUT THE KNOWLEDGE OR CONSENT THE DESIGNER WHOSE SIGNATURE APPEARS HEREON.
- ALL OF A.S.T.M. DESIGNATIONS ARE TO BE OF THE LATEST EDITION.
- CONTRACTOR SHALL CHECK AND VERIFY SIZE AND LOCATION OF ELECTRICAL SERVICES AND PLUMBING RUNS WITH ELECTRICAL AND PLUMBING CONTRACTORS BEFORE THE BEGINNING OF CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE EXISTING BUILDING AND ALL THE CONDITIONS PRIOR TO SUBMITTING BIDS TO THE OWNER SINCE PROPOSALS MUST TAKE INTO CONSIDERATION ALL SUCH CONDITIONS AS IT MAY AFFECT WORK.
- THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ERRORS DISCREPANCIES OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY THE DESIGNER OR ENGINEER OF BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.
- NO DEVIATIONS FROM THE STRUCTURAL DETAILS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEER OR BY PROJECT CITY INSPECTOR.
- THE CONTRACTOR WARRANTS TO THE OWNER AND DESIGNER THAT HE OR SHE POSSESS THE PARTICULAR COMPETENCE AND SKILL IN CONSTRUCTION NECESSARY TO BUILD THIS PROJECT WITHOUT FULL ENGINEERING & ARCHITECTURAL SERVICES, AND FOR THE REASON THAT THE CONTRACTOR WISHES TO RELY UPON HIS OR HER OWN COMPETENCE THE CONTRACTOR OR OWNER HAS RESTRICTED THE DESIGNER'S SCOPE OF PROFESSIONAL SERVICES THE CONSTRUCTION DOCUMENTS PROVIDED BY THE LIMITED SERVICES SHALL BE THEOREM BUILDERS PLANS IN RECOGNITION OF THE CONTRACTORS SOPHISTICATION. CONSTRUCTION WILL REQUIRE THAT THE CONTRACTOR ADAPT THE BUILDERS PLANS TO THE FIELD CONDITIONS ENCOUNTERED, MAKE LOGICAL ADJUSTMENTS IN FIT, FORM, DIMENSION, AND QUANTITY THAT ARE TREATED ONLY GENERALLY BY THE BUILDERS PLANS. IN THE EVENT ADDITIONAL DETAIL OR GUIDANCE IS NEEDED BY THE CONTRACTOR OR OWNER FOR CONSTRUCTION OF ANY ASPECT OF THE PROJECT HE OR SHE SHALL IMMEDIATELY NOTIFY THE DESIGNER.

SCALE :1/8"=1' - 0"

(E) SITE PLAN

ARBORIST REPORT

Ailanthus Tree Service
 Owner: Brian Spigelman, Certified Arborist #362
 35 Cranham Court, Pacifica, CA 94044
 (650)355-2130

January 28, 2021
 Ms. Martha Ramos, 2355 Carlos Ave., Moss Beach Ca. 94038
 Job location: Same as above
 Purpose of Assignment: Inspect and prepare a report regarding three cypress trees
 Tree Identification: Species: Cupressus Macrocarpa Monterey cypress

Tree #1: Conditions
 Height: approximately 65 feet
 Color: fair
 Diameter Breast Height: 35 inches
 Live Crown Ratio: 60%
 Age Class: 60-80 years
 Roots: One large root out on south side of tree
 This tree is eight feet from the southern neighbors building. The upper bole sweeps south over this building. There are several hangers and broken stubs in the canopy. The crown is crowded and full of dead wood.

Tree #2: Conditions
 Height: approximately 75 feet
 Color: fair to good
 Diameter Breast Height: 52 inches
 Live Crown Ratio: 70%
 Age Class: 60-80 years
 Roots: Two large roots cut on the west side growing toward the sidewalk
 This tree is directly south of the main residence at 2355 Carlos. This is a large multi stem tree with four large vertical stems. One stem grows directly over the building. The canopy is very crowded and large limbs have been rubbing each other for a long time creating weak spots in the wood. Several large limbs grow toward the west through the power lines over the sidewalk and street. There are hangers and dead wood throughout the canopy.

Tree #3: Conditions
 Height: approximately 80 feet
 Color: fair
 Diameter Breast Height: main stem 40 inches co-dominant 31 inches
 Live Crown Ratio: 70%
 Age Class: 60-80 years
 Roots: no visible problem
 This is a basal fork tree. Limbs on the smaller stem grow through the wires and extend over the fence to the north toward the neighbors building. The main stem forks again and the secondary stem leans south over the property owners building. There are old stubs and dead wood in the canopy.

Tree #2: Conditions
 Height: approximately 75 feet
 Color: fair to good
 Diameter Breast Height: 52 inches
 Live Crown Ratio: 70%
 Age Class: 60-80 years
 Roots: Two large roots cut on the west side growing toward the sidewalk
 This tree is directly south of the main residence at 2355 Carlos. This is a large multi stem tree with four large vertical stems. One stem grows directly over the building. The canopy is very crowded and large limbs have been rubbing each other for a long time creating weak spots in the wood. Several large limbs grow toward the west through the power lines over the sidewalk and street. There are hangers and dead wood throughout the canopy.

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 This is a basal fork tree. Limbs on the smaller stem grow through the wires and extend over the fence to the north toward the neighbors building. The main stem forks again and the secondary stem leans south over the property owners building. There are old stubs and dead wood in the canopy.

Conclusion and Recommendations:
 Ms. Ramos would like to construct on her property. Unfortunately these trees inhibit her plans. These trees are a liability to her own property and to surrounding properties. They also pose a threat to the power lines should there be a large failure. All three of these trees are in poor condition. The trees are old and past their prime. They all have structural defects which could cause a failure. They also inhibit Ms. Ramos from fully utilizing her property.
 I would recommend removing these trees for safety and so Ms. Ramos can continue with her construction plans. Once construction is complete trees of a more suitable nature can be replanted.

Brian Spigelman
 Western Chapter Certified Arborist #362



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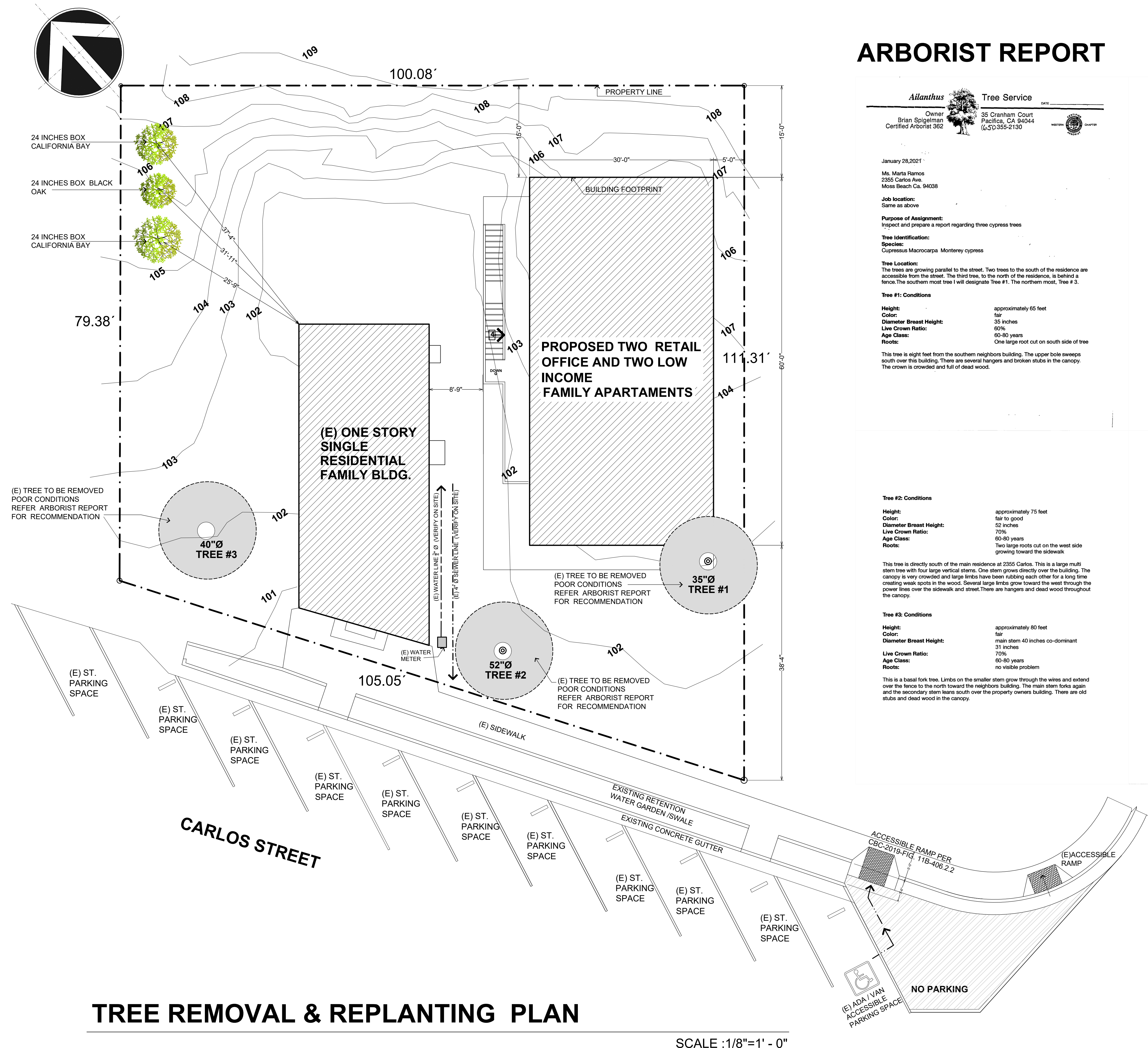
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CONTENTS:
 • Tree Removal plan

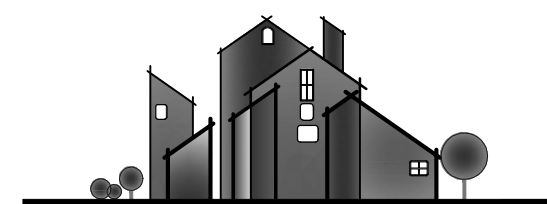
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|----------|--------------|
| 11-14-22 | Planning Set |
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DRAW: R-P SHEET: **A1.2**
 SCALE: AS SHOWN
 Project # 20220629



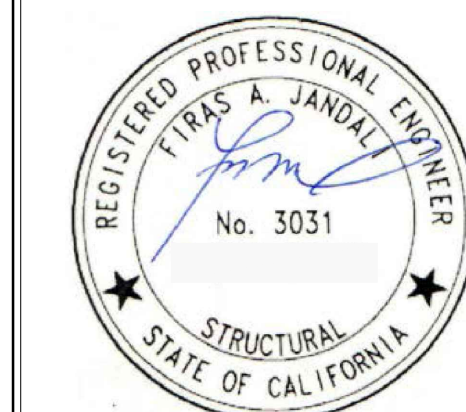
TREE REMOVAL & REPLANTING PLAN

SCALE: 1/8" = 1' - 0"



Ranpel Designs

Roberto Pena
DESIGN & PLANNING
Phone: (707)384-3638
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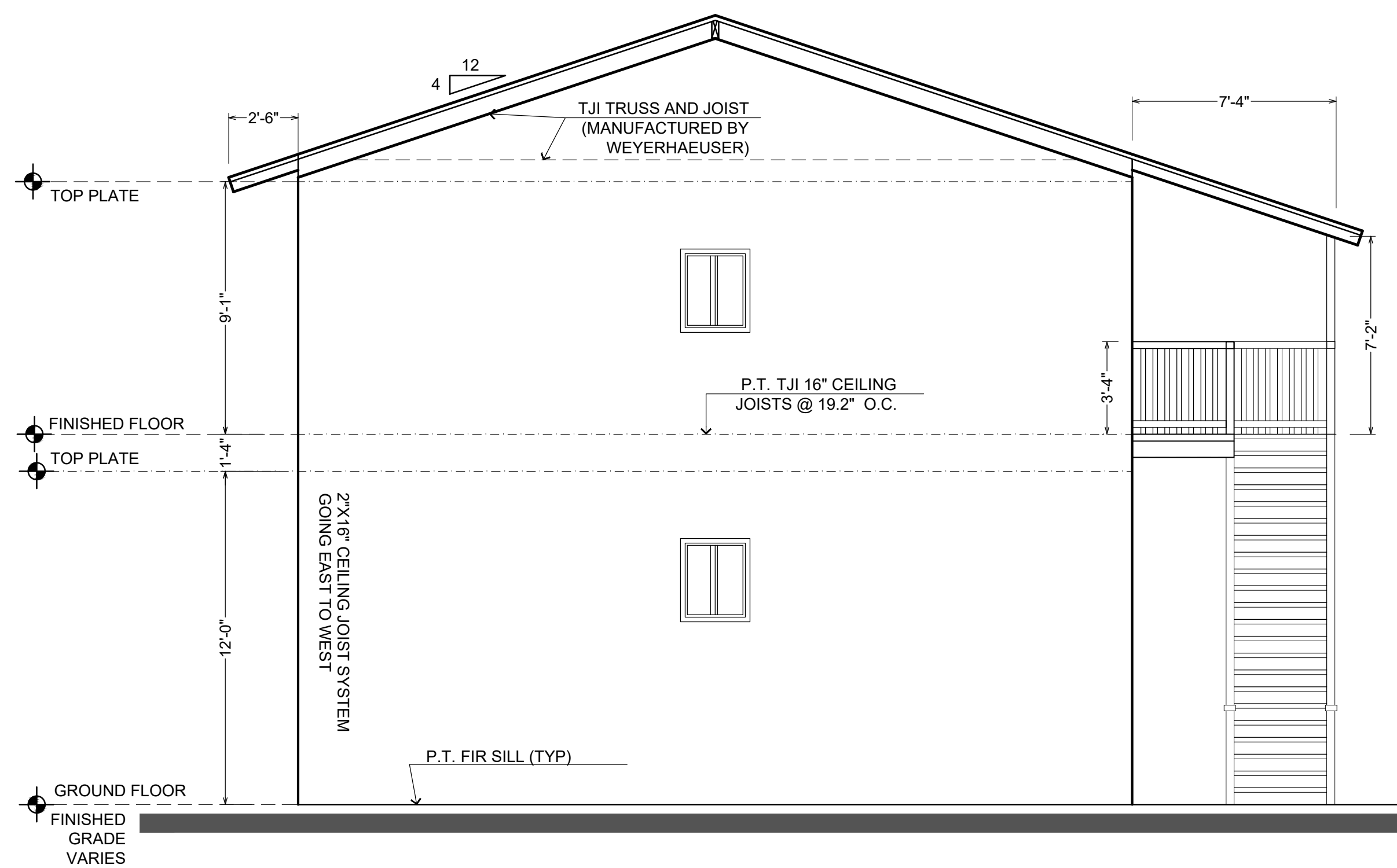
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CONTENTS :
• Elevations

11-14-22 Planning Set

DRAW: R-P
SCALE: AS SHOWN
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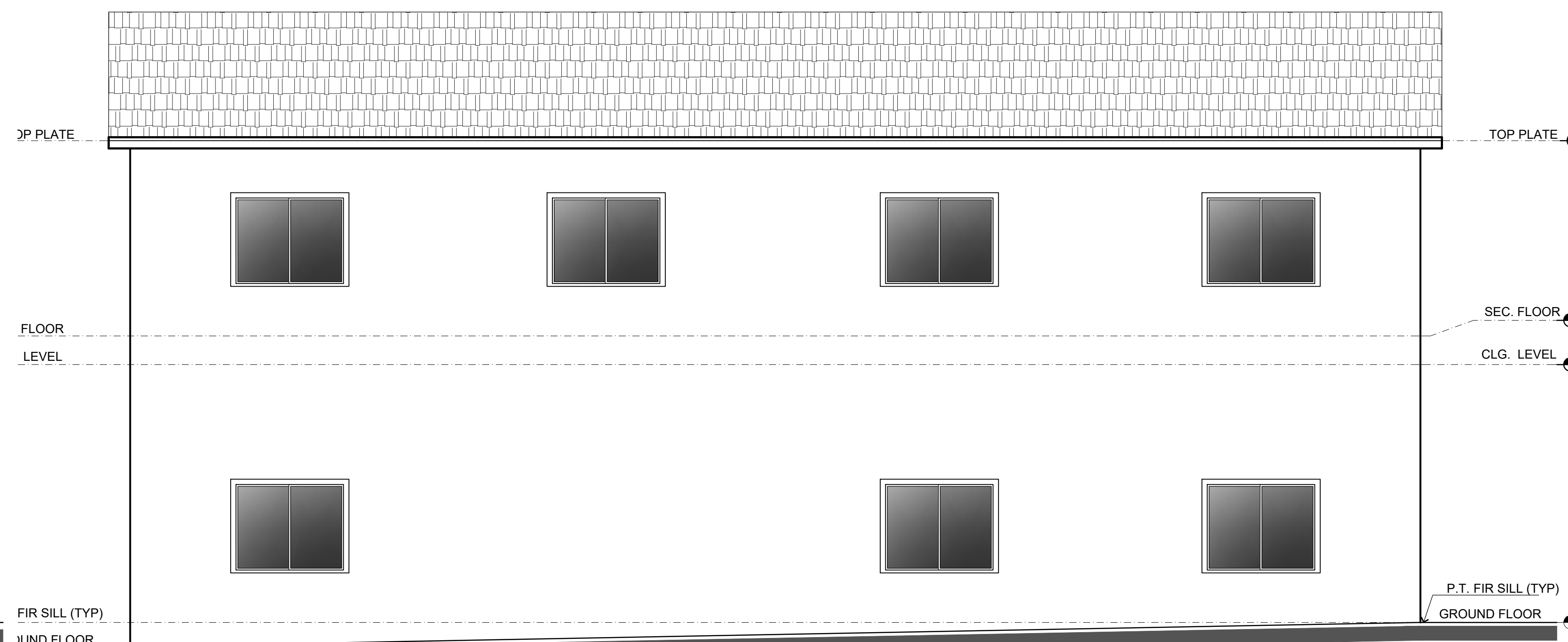
SHEET:
A3.0



NORTH ELEVATION

LOOKING PLAN SOUTH

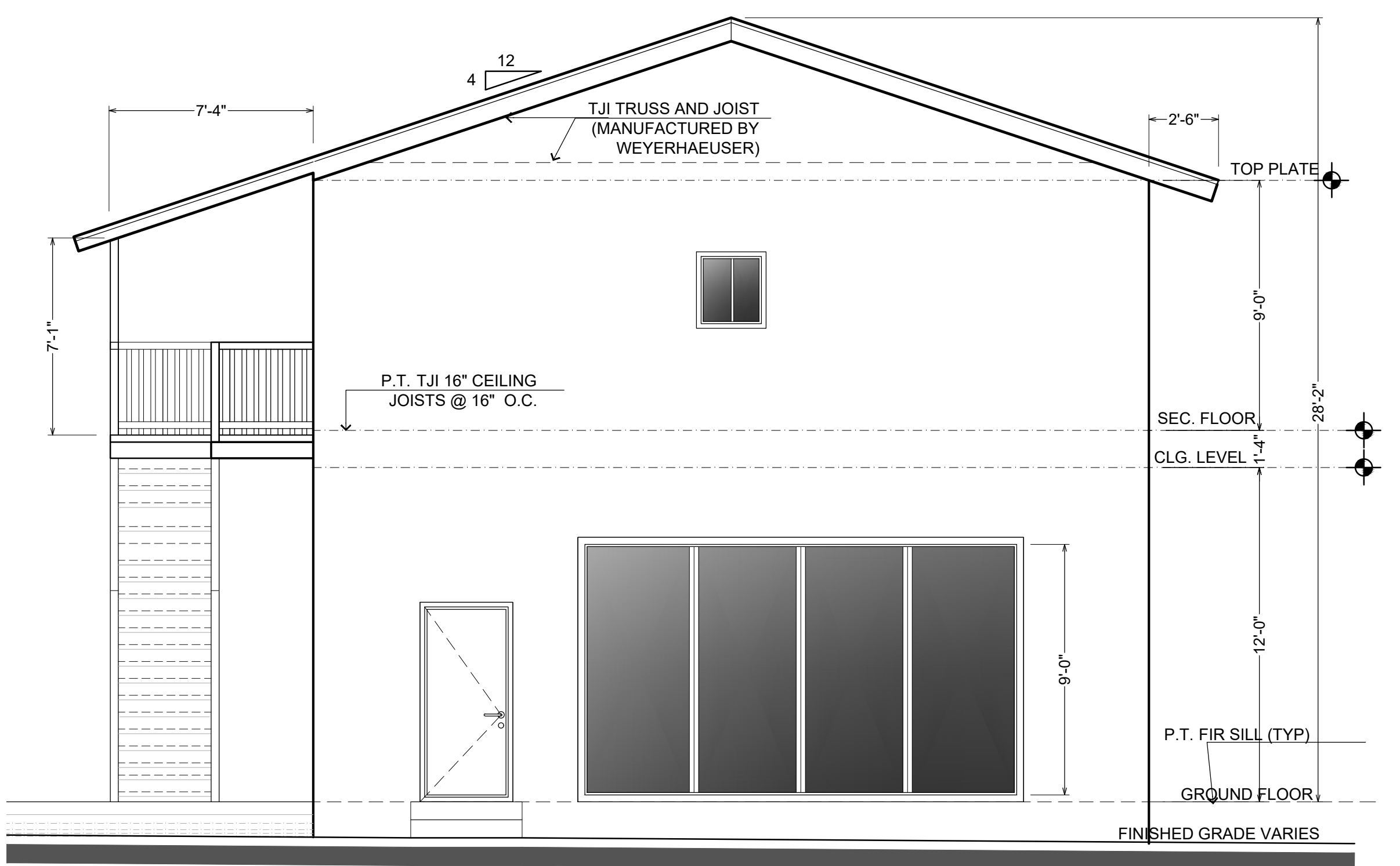
SCALE : 3/4"=1' - 0"



EAST ELEVATION

LOOKING PLAN WEST

SCALE : 3/4"=1' - 0"



SOUTH ELEVATION

LOOKING PLAN SOUTH

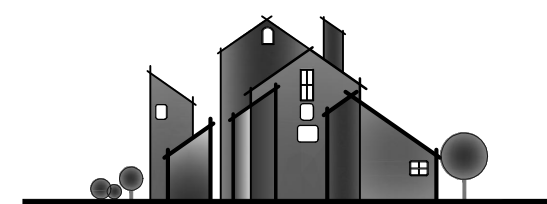
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WEST ELEVATION

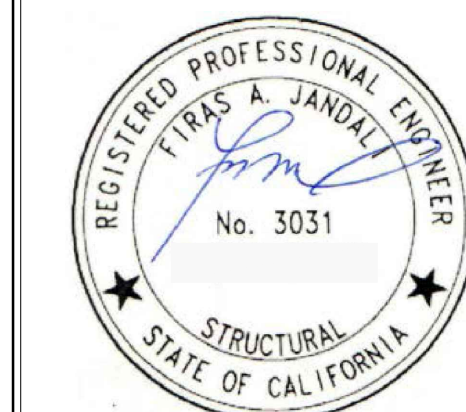
LOOKING PLAN EAST

SCALE : 1/4"=1' - 0"



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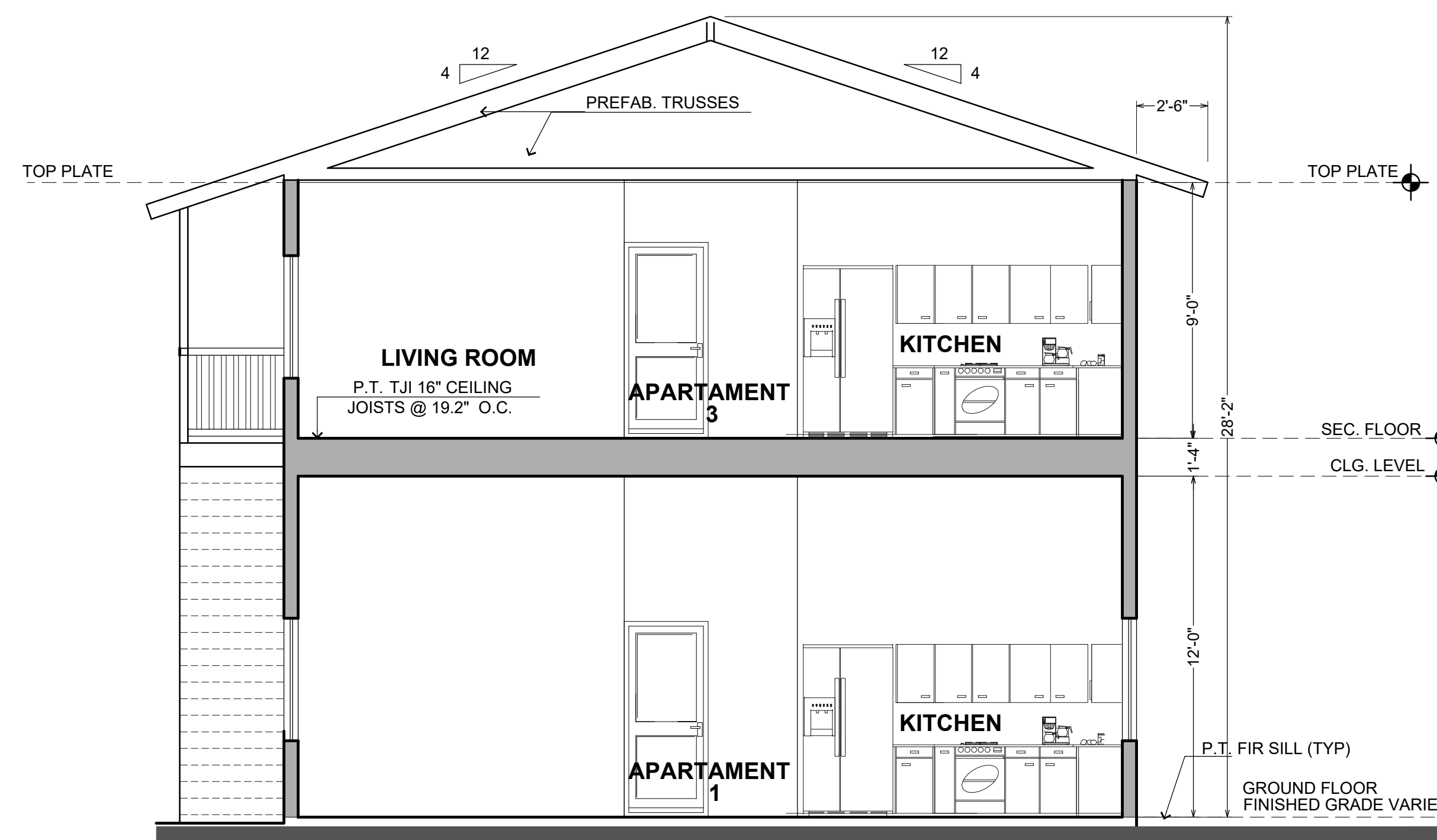
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CONTENTS :

- Sections

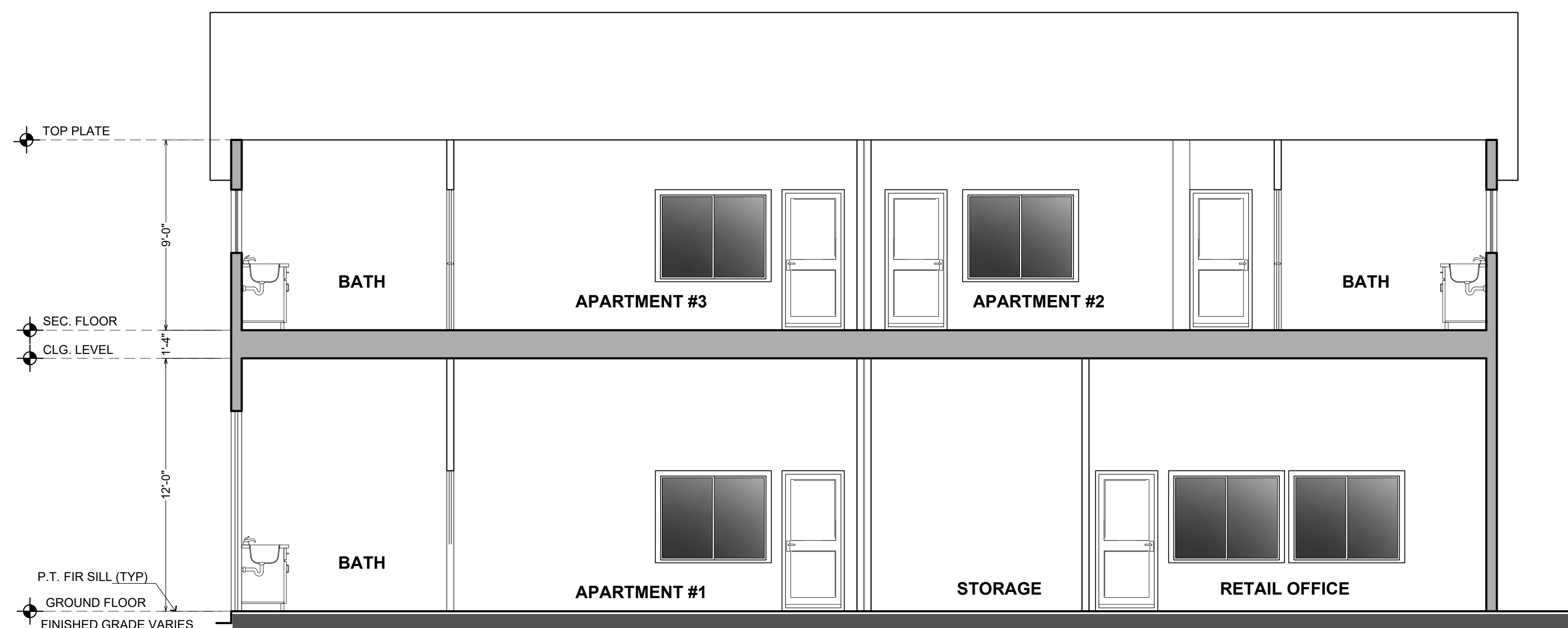
11-14-22 Planning Set

DRAW: R-P SHEET:
SCALE: AS SHOWN **A3.1**
Project # 20220629



SECTION A-A

SCALE :1/4"=1' - 0"



SECTION B-B

SCALE :1/4"=1' - 0"