

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Application for Design Review by the County Coastside Design Review Committee

Permit #: PLN _____

Other Permit #: _____

1. Basic Information

Applicant:

Name: GEOFFREY CAMPEN

Address: 280 BRYANT ST. #203

SAU FRANCISCO Zip: 94110

Phone, W: 415.572.8201 H: _____

Email: GEOFF@KLOFFARCHITECTURE.COM

Owner (if different from Applicant):

Name: AMELIA CEREZO

Address: 378 AVENUE GRANADA

HALF MOON BAY Zip: 94019

Phone, W: _____ H: 650.868.8454

Email: AMELIA.E.CEREZO@GMAIL.COM

Architect or Designer (if different from Applicant):

Name: _____

Address: _____ Zip: _____

Phone, W: _____ H: _____ Email: _____

2. Project Site Information

Project location:

APN: 047-075-110

Address: 378 AVENUE GRANADA

HALF MOON BAY Zip: 94019

Zoning: R1-S17

Parcel/lot size: 3,594 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe):

EXISTING SINGLE FAMILY HOME

3. Project Description

Project:

- New Single Family Residence: _____ sq. ft
- Addition to Residence: 4244 sq. ft
- Other: _____

Describe Project:

VERTICAL ADDITION + SLIGHT
REDUCTION OF (E) FOOTPRINT (PERSETBACK)
GENERAL UPGRADE OF MATERIALS
AND FINISHES

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish	Check if matches existing
		(If different from existing, attach sample) (SEE MATERIALS ON PLANS)	
a. Exterior walls	<u>PAINTED WOOD SIDING</u>	<u>VERTICAL NATURAL WOOD SIDING</u>	<input type="checkbox"/>
b. Trim	<u>PAINTED WOOD</u>	<u>NO TRIM</u>	<input type="checkbox"/>
c. Windows	<u>VINYL</u>	<u>DARK BRONZE ALUMINUM</u>	<input type="checkbox"/>
d. Doors	<u>WOOD</u>	<u>DARK BRONZE ALUMINUM</u>	<input type="checkbox"/>
e. Roof	<u>TAR + GRAVEL</u>	<u>MEMBRANE</u>	<input type="checkbox"/>
f. Chimneys	<u>-</u>	<u>-</u>	<input type="checkbox"/>
g. Decks & railings	<u>REDWOOD/REDWOOD</u>	<u>REDWOOD/REDWOOD</u>	<input type="checkbox"/>
h. Stairs	<u>CONC</u>	<u>CONC</u>	<input checked="" type="checkbox"/>
i. Retaining walls	<u>CONC</u>	<u>CONC</u>	<input checked="" type="checkbox"/>
j. Fences	<u>REDWOOD</u>	<u>REDWOOD</u>	<input checked="" type="checkbox"/>
k. Accessory buildings	<u>NA</u>	<u>NA</u>	<input type="checkbox"/>
l. Garage/Carport	<u>ACCESSORY GARAGE</u>	<u>ACCESSORY GARAGE</u>	<input checked="" type="checkbox"/>

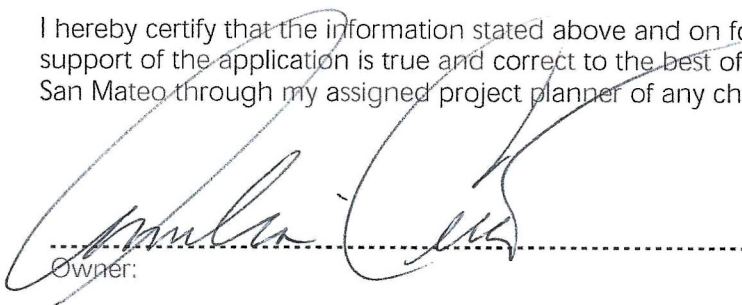
5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

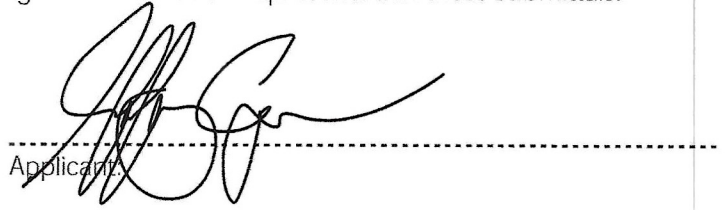
- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.



 Owner:



 Applicant:

27 Sept. 2023

 Date:

26 SEP 2023

 Date:

PLANNING SUBMITTAL

12/10/23

REVISION 1

CEREZO RESIDENCE REMODEL

378 AVENUE GRANADA
HALF MOON BAY, CA 94019

A.P.N. 047-075-110

SUMMARY OF WORK

THE WORK CONSISTS OF THE ADDITION OF A NEW STORY OF APPROXIMATELY 395 SQUARE FEET TO AN EXISTING HOME, AND A FULL REMODEL OF THE EXISTING LEVEL.

CONTRACTOR: THE ABOVE PARAGRAPH IS ONLY A SUMMARY OF THE WORK. CAREFULLY EXAMINE THE ENTIRE SET OF DRAWINGS AND SPECIFICATIONS TO DETERMINE THE ACTUAL WORK TO BE PERFORMED.

APPLICABLE CODES

ALL DEMOLITION AND CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING LOCAL CODES AND STATE CODES, WITH LOCAL AMENDMENTS, FOR THE OCCUPANCY GROUP(S) AND CONSTRUCTION TYPE(S) INDICATED IN "BUILDING AND SITE INFORMATION" ON THIS SHEET.

- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA GREEN BUILDING CODE ("CALGREEN")
- 2022 CALIFORNIA ENERGY CODE
- CITY OF SAN MATEO MUNICIPAL CODE

FIRE SPRINKLERS

REQUIRED, UNDER DEFERRED SUBMITTAL

DRAWING INDEX

TITLE SHEETS

- T0.0 COVER SHEET
- T0.1 EROSION CONTROL PLAN
- T1.0 TITLE BLOCK
- T1.1 GREEN POINTED CHECKLIST
- T2.0 TECHNICAL SPECIFICATIONS

BUILDING AND SITE INFORMATION

A.P.N.	047-075-110
ZONING	R1S-17
SPECIAL USE DISTRICT	NONE
OCCUPANCY GROUP(S)	R-3U
CONSTRUCTION TYPE(S)	R-VB
LOT DIMENSIONS	444' X 82'
AREA OF LOT	3,593.68 SF
ALLOWABLE LOT AREA RATIO	50% IF HEIGHT < 16', 35% IF HEIGHT > 16'
	1,027 SF (2 STORIES)
PROPOSED LOT AREA	810 SF
ALLOWABLE FLOOR AREA RATIO	.48 (parcel size)
PROPOSED FLOOR AREA	1,725.12 SF
	1,251.28 SF
REQUIRED FRONT YARD SETBACK	20'
REQUIRED REAR YARD SETBACK	20'
REQUIRED SIDE YARD SETBACK	15' TOTAL WITH MIN. 5'
HEIGHT LIMIT	28'
REQUIRED OPEN SPACE ON LOT	NONE
REQUIRED COVERED PARKING SPACES	1
COVERED PARKING SPACES PROVIDED	1

EXISTING NUMBER OF MAIN BUILDINGS ON LOT	1
EXISTING NUMBER OF ACCESSORY BLDGS. ON LOT	1
TOTAL NUMBER OF (E) BUILDINGS ON LOT	2
PROPOSED NUMBER OF MAIN BUILDINGS ON LOT	1
PROPOSED NUMBER OF ACCESSORY BLDGS. ON LOT	1
PROPOSED TOTAL NUMBER OF BUILDINGS ON LOT	2

MAIN BUILDING FLOOR AREA CALCULATIONS

EXISTING GROSS GROUND FLOOR AREA	621.04 GSF
EXISTING GROSS GARAGE FLOOR AREA	205.84 GSF
TOTAL EXISTING GROSS BUILDING AREA	826.88 GSF
PROPOSED GROSS GROUND FLOOR AREA	604.23 GSF
EXISTING GROSS GARAGE FLOOR AREA	205.84 GSF
PROPOSED ADDED GROSS UPPER FLOOR AREA	441.21 GSF
TOTAL PROPOSED GROSS AREA	1,251.28 GSF
ADDED GROSS BUILDING AREA	424.4 GSF

ARCHITECT BASED SITE PLAN ON SURVEY BY L. WADE HAMMOND LAND SURVEYING, (36660 NEWARK BLVD., SUITE C NEWARK, CA 94560) DATED 1/24/2023.

ABBREVIATIONS USED IN THE DRAWINGS

~	APPROXIMATELY	MTL.	METAL
&	AND	NEC'Y	NECESSARY
@	AT	N.I.C.	NOT IN CONTRACT
Ø	DIAMETER	NO.	NUMBER
ABV.	ABOVE	N.T.S.	NOT TO SCALE
A.F.F.	ABOVE FINISHED FLOOR	O/	OVER
ALT'D	ALTERED	O.C.	ON CENTER
APP. GAR.	APPLIANCE GARAGE	O.D.	OUTSIDE DIAMETER
A.P.N.	ASSESSOR'S PARCEL NUMBER	OD	OVERFLOW DRAIN
ARCH'L	ARCHITECTURAL	O.H.	OPPOSITE HAND, OVERHANG
BD.	BOARD	O.P.C.I.	OWNER PROVIDED, CONTRACTOR INSTALLED
BLKG.	BLOCKING	OPP.	OPPOSITE
BOT./B.O.	BOTTOM/BOTTOM OF	PL.	PROPERTY LINE
B.P.	BUILDING WRAP	PLT.	PLATE
BTWN.	BETWEEN	PLY.	PLYWOOD
CBC	CALIFORNIA BUILDING CODE	P.T.	PRESSURE-TREATED
CD	CLOTHES DRYER	PV	PLUMBING VENT
C.L.	CENTERLINE	(R)	REPLACEMENT
CLG.	CEILING	R.C.P.	REFLECTED CEILING PLAN
CLOS.	CLOSET	RD	ROOF DRAIN
CMU	CONCRETE MASONRY UNIT	REF.	REFRIGERATOR
CNTRL.	CONTROL(S)	REQ'D	REQUIRED
CONSTR.	CONSTRUCTION	RG	RANGE
DR.	DOOR	R.O.	ROUGH OPENING
DS	DOWNSPOUT	S.A.F.F.	SELF-ADHERING FLEXIBLE FLASHING
DW	DISHWASHER	SCD.	SEE CIVIL DRAWINGS
DWG.	DRAWING	SEC.	SECTION
(E)	EXISTING	SEP.	SEPARATE
ELEV.	ELEVATION	SF	SQUARE FOOT / SQUARE FEET
ETC.	AND OTHERS	SHT.	SHEET
EXT.	EXTERIOR	SIM.	SIMILAR
F.F.	FINISH FLOOR	SLD.	SEE LANDSCAPE ARCH'L DRAWINGS
FLASH.	FLASHING	SQ.	SQUARE
FLEX.	FLEXIBLE	S.S.	STAINLESS STEEL
FLR.	FLOOR	SSD.	SEE STRUCTURAL DRAWINGS
F.O.	FACE OF	STL.	STEEL
FT.	FOOT, FEET	T	TEMPERED
GALV.	GALVANIZED	T.B.D.	TO BE DETERMINED
G.C.	GENERAL CONTRACTOR	THK.	THICK
GSF	GROSS SQUARE FEET	T.O.	TOP OF
GYP.	GYPSUM	T.P.	TOP PLATE
HRV.	HEAT RECOVERY VENTILATOR	T&G	TONGUE AND GROOVE
I.C.F.	INSULATED CONCRETE FORM	TYP.	TYPICAL
INFO.	INFORMATION	U.O.N.	UNLESS OTHERWISE NOTED
INSUL.	INSULATION	VERT.	VERTICAL
INT.	INTERIOR	V.I.F.	VERIFY IN FIELD
LOC'N.	LOCATION	WH	DOMESTIC HOT WATER HEATER
M.E.P.	MECHANICAL, ELECTRICAL, AND PLUMBING	W	WITH
MAX.	MAXIMUM	WDW.	WINDOW
MECH.	MECHANICAL	W/O	WITHOUT
MICRO	MICROWAVE	W.O.	WHERE OCCURS
MFR.	MANUFACTURER	W.P.	WATERPROOF/WATERPROOFING
MIN.	MINIMUM	WT.	WEIGHT
MISC.	MISCELLANEOUS		

SYMBOLS USED IN THE DRAWINGS

	DETAIL NUMBER SHEET NUMBER		WOOD BLOCKING
	SECTION NUMBER SHEET NUMBER		CONTINUOUS WOOD
			FINISH WOOD
			WOOD DECKING
			PLYWOOD
			GYPSUM BOARD
			CONCRETE
			BLOCK MASONRY
			SAND
			GRAVEL
			FIBERGLASS INSULATION
			RIGID INSULATION
			TILE
			STUCCO
			EARTH
			FLOOR FINISH TRANSITION
	WALL TYPE		
	GRIDLINE - CENTERLINE OF STRUCTURAL MEMBER		
	GRIDLINE - FACE OF STUD		
	GAS METER/ELECTRIC METER/ELECTRIC PANEL		
	ALIGN FACE OF FINISH		
	ALIGN FACE OF FRAMING		

GENERAL NOTES

- DO NOT SCALE THESE DRAWINGS.
- ALL DIMENSIONS AND EXISTING CONDITIONS SHALL BE CHECKED AND VERIFIED BY THE CONTRACTOR BEFORE STARTING THE WORK.
- IF THESE DRAWINGS ARE NOT 24" X 36" THEY HAVE BEEN REDUCED OR ENLARGED.
- (1X) INDICATES NOMINAL SIZE. (1") INDICATES ACTUAL SIZE.
- REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.
- ALL OMISSIONS OR CONFLICTS BETWEEN DRAWINGS, SPECIFICATIONS, AND GOVERNING CODES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION BEFORE STARTING THE WORK INVOLVED.
- TITLE 24 ENERGY REQUIREMENTS DESCRIBED IN THE REPORT ARE INCLUDED IN THE CONTRACT DOCUMENTS, AND REPRESENT MINIMUM REQUIREMENTS.
- SEE ARCHITECTURAL DRAWINGS FOR INFO ON ITEMS REQUIRING STRUCTURAL/FRAMING MEMBERS TO BE PLACED A CERTAIN WAY PRIOR TO PERFORMING ANY STRUCTURAL WORK

CIVIL

SURVEY

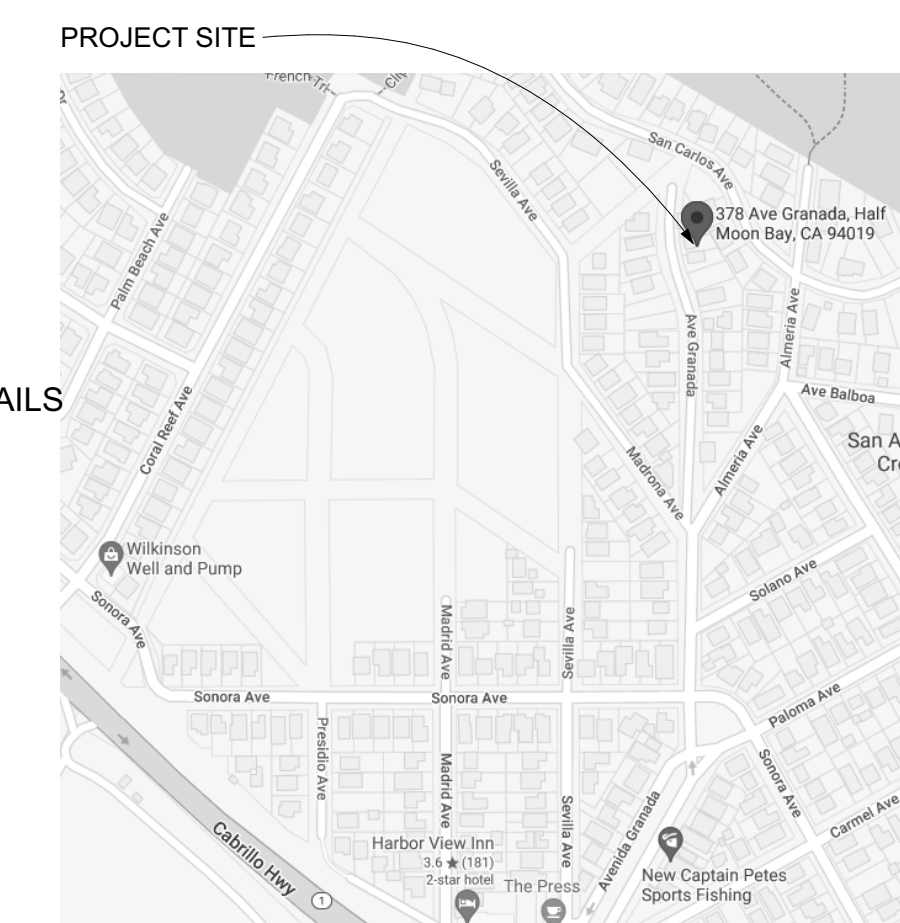
ARCHITECTURAL

- A0.0 EXISTING & ALTERED SITE PLAN
- A0.1 PHOTOS/MATERIALS/ RENDERINGS
- A1.0 EXISTING MAIN FLOOR PLAN & GARAGE
- A1.1 ALTERED MAIN & UPPER FLOOR PLAN
- A1.2 REFLECTED CEILING PLAN
- A1.3 EXISTING & ALTERED ROOF PLAN
- A2.0 EXISTING & ALTERED EXTERIOR ELEVATIONS
- A2.1 EXISTING & ALTERED EXTERIOR ELEVATIONS
- A2.2 EXISTING & ALTERED EXTERIOR ELEVATIONS
- A2.3 EXISTING & ALTERED EXTERIOR ELEVATIONS
- A3.0 EXISTING & ALTERED BUILDING SECTIONS
- A3.1 EXISTING & ALTERED BUILDING SECTIONS
- A4.0 WALL TYPES
- A4.1 DETAILS
- A5.0 DOOR/WINDOW/SKYLIGHT SCHEDULES, NOTES, & DETAILS
- A5.1 DOOR/WINDOW DETAILS
- A6.0 INTERIOR ELEVATIONS
- A6.1 INTERIOR ELEVATIONS
- A6.2 INTERIOR ELEVATIONS & DETAILS
- A7.0 EXISTING M.E.P. PLAN, M.E.P. SCHEDULES
- A7.1 M.E.P. PLAN, NOTES, AND DETAILS

STRUCTURAL - SEE GENERAL NOTE #8

- S0.1 FOUNDATION PLAN
- S0.2 ROOF FRAMING PLAN
- S0.3 DETAILS
- S0.4 DETAILS

VICINITY MAP (NTS)



CEREZO RESIDENCE
REMODEL

378 AVENUE GRANADA
HALF MOON BAY, CA 94019
A.P.N. 047-075-110

Accepted For Owner By:

Drawing Record / Revisions	
#	DESCRIPTION
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---	---
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Checked by: Drawn by:

JCK, GHC, LDI RD

Project No: Issue Date:

2239 12/10/23

N

COVER SHEET

T0.0

OWNER
 Amelia Cerezo
 378 Avenue Granada
 Half-Moon Bay, CA 94019
 Phone: 650-868-8454

SURVEYOR
 Wade Hammond, Land Surveyor
 36660 Newark Blvd., Suite C
 Newark, CA 94560-3000
 Phone: 510.579.6112

**CEREZO RESIDENCE
 REMODEL**
 378 AVENUE GRANADA
 HALF MOON BAY, CA 94019
 A.P.N. 047-075-110

Accepted For Owner By:

Drawing Record / Revisions	
#	DATE / DESCRIPTION
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Checked by: _____ Drawn by: _____

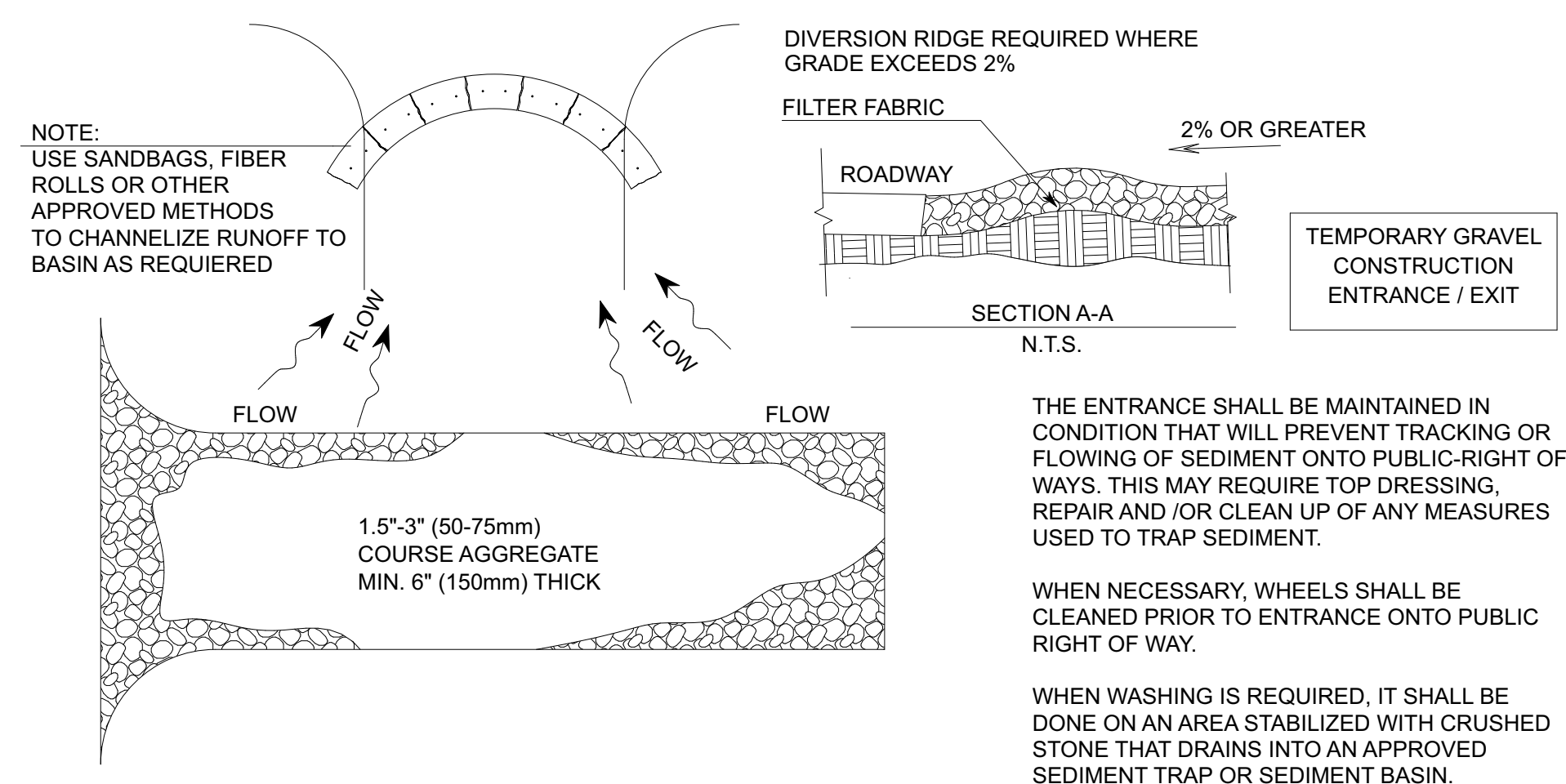
JCK, GHC, LDI, RD

Project No: _____ Issue Date: _____

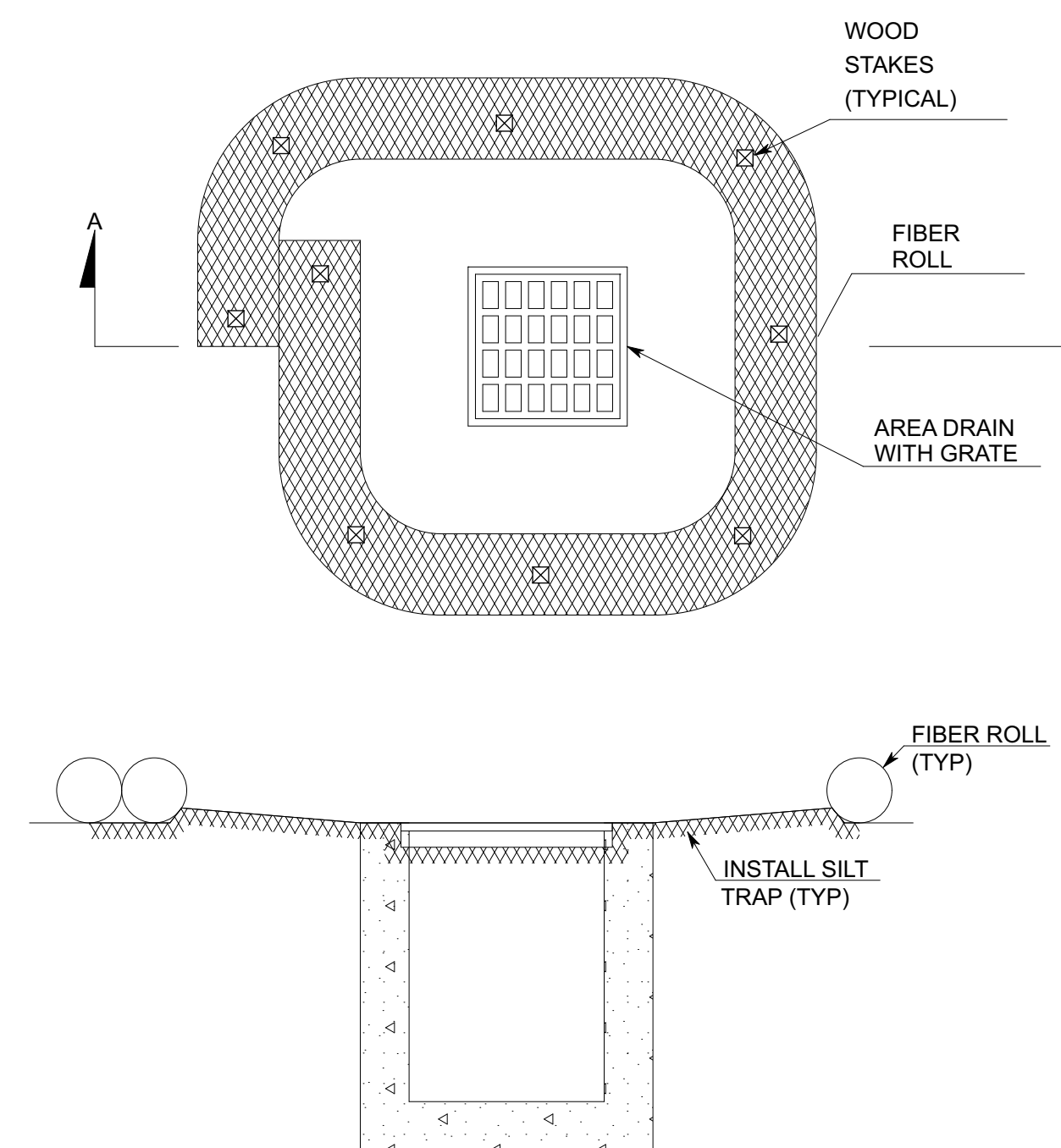
2239 12/10/23

**EROSION
 CONTROL PLAN**

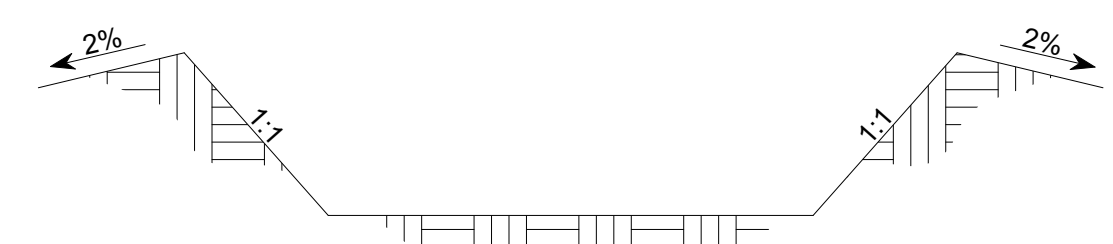
T0.1



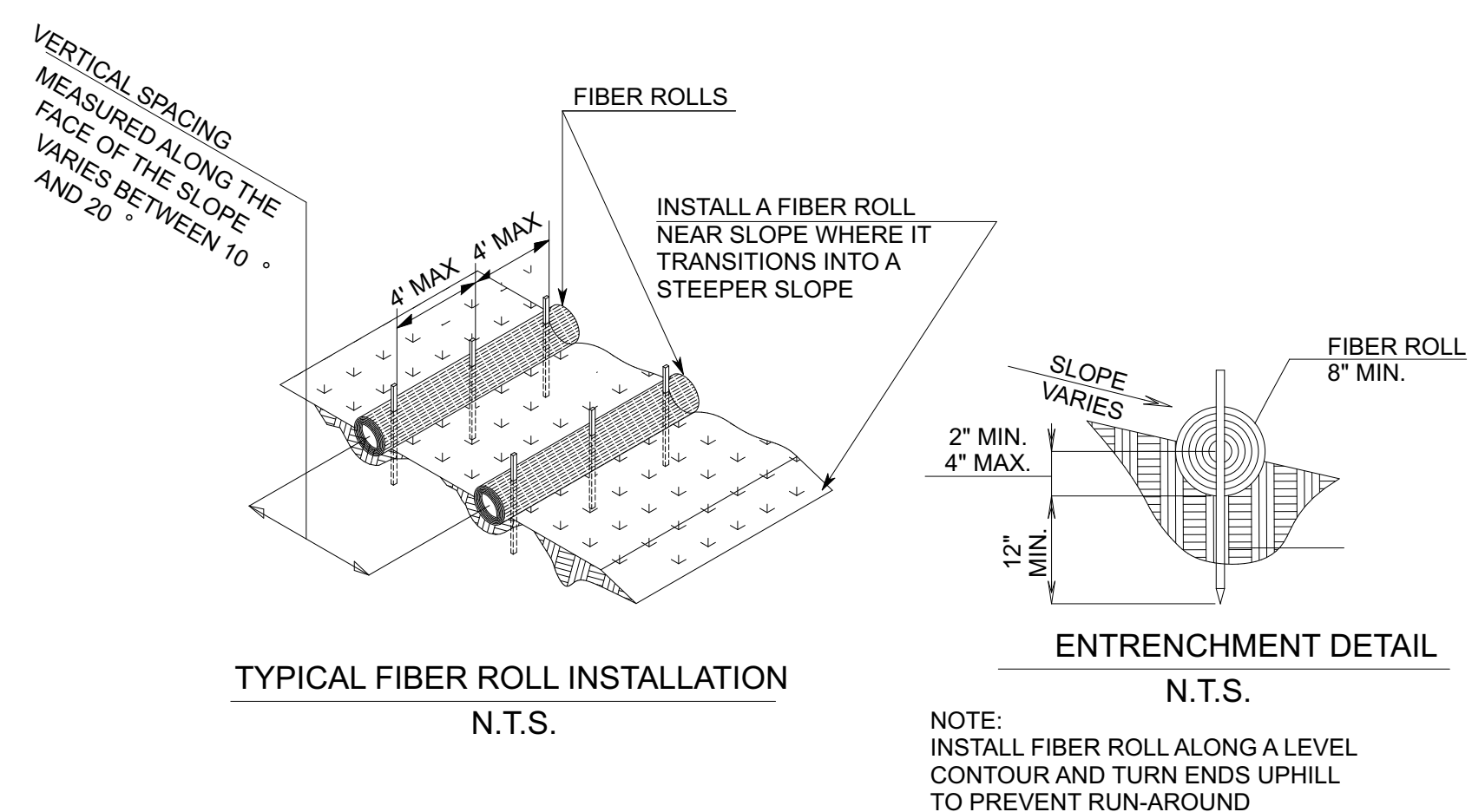
E STABILIZED CONSTRUCTION ENTRANCE DETAIL
 NO SCALE



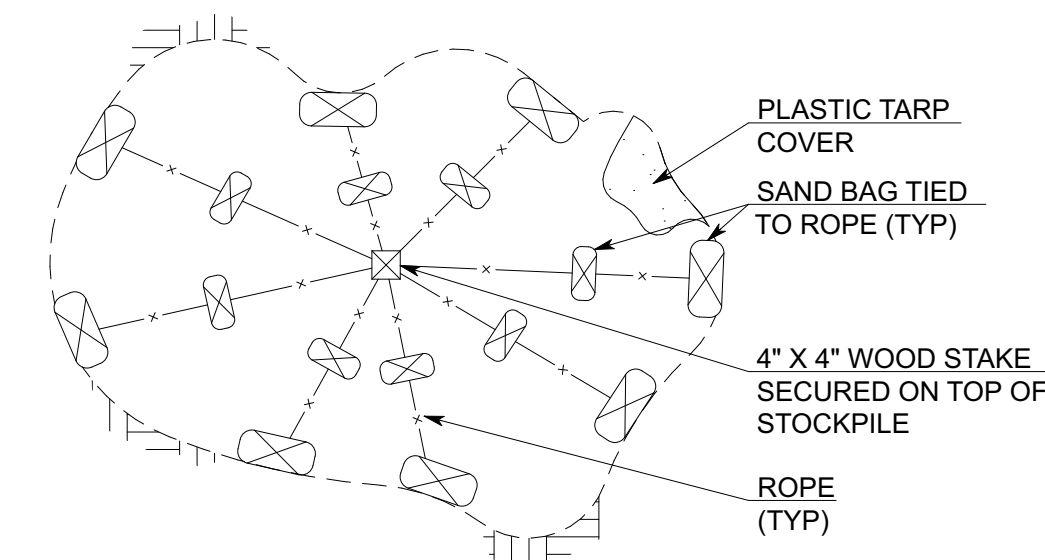
C FIBER ROLL AREA DRAIN DETAIL
 NO SCALE



D CONCRETE WASHOUT
 NO SCALE

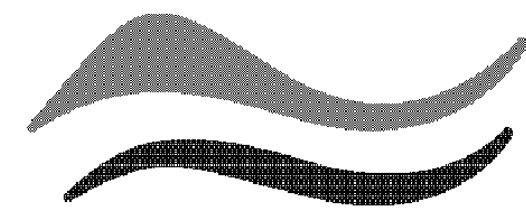


B FIBER ROLL DETAIL
 NO SCALE



A STOCKPILE COVER DETAIL
 NO SCALE

1

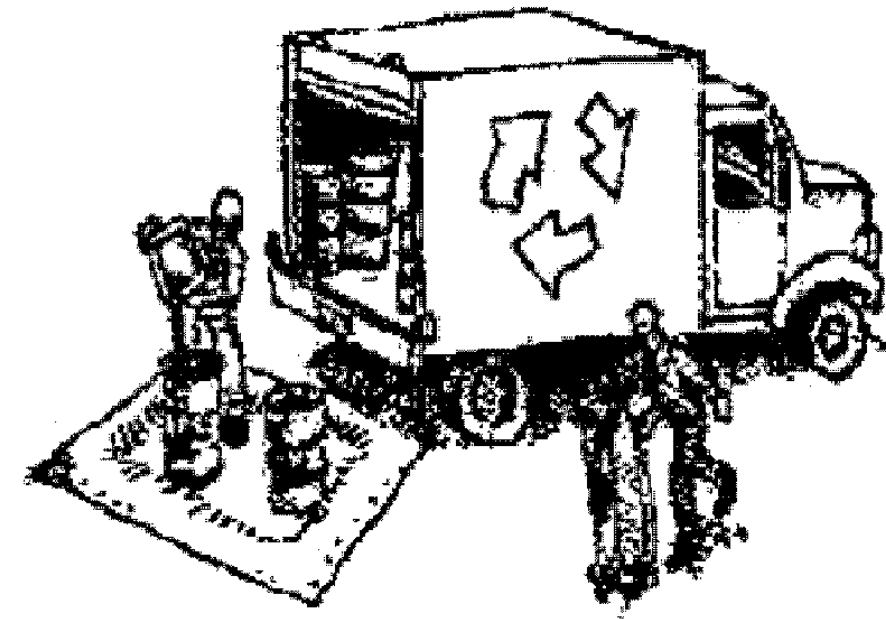


SAN MATEO COUNTYWIDE
**Water Pollution
Prevention Program**
Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

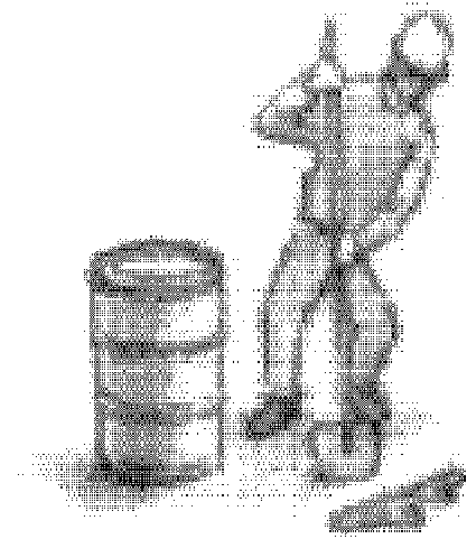
Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

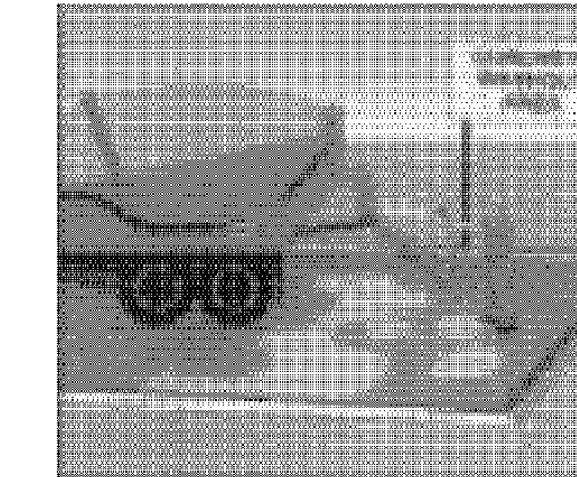


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



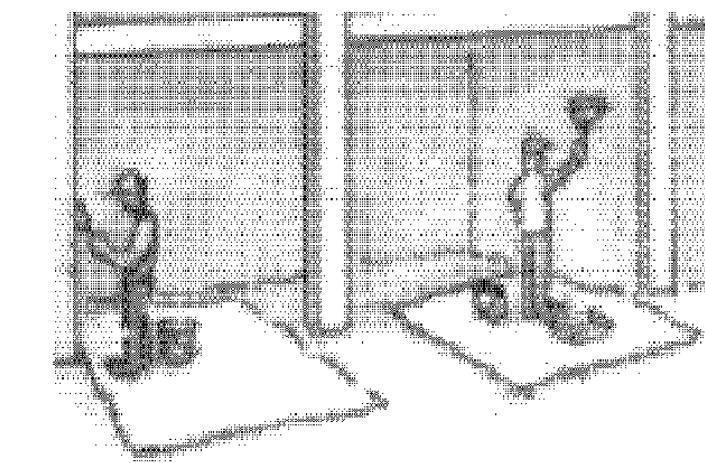
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

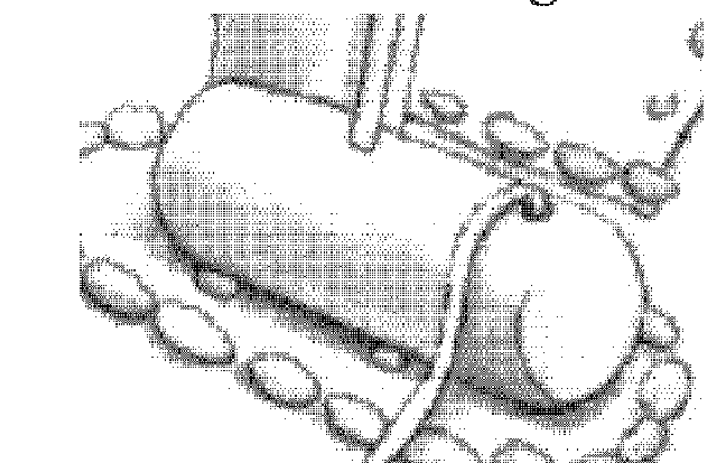
Painting & Paint Removal



Painting Cleanup and Removal

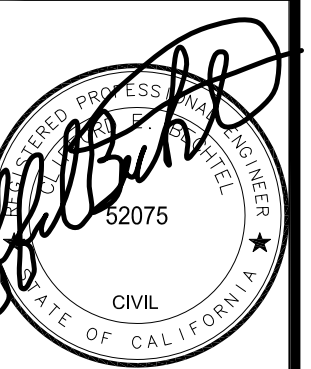
- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

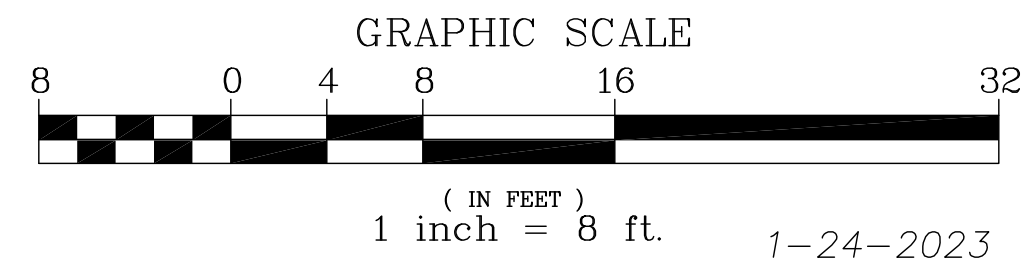
Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!





LEGEND

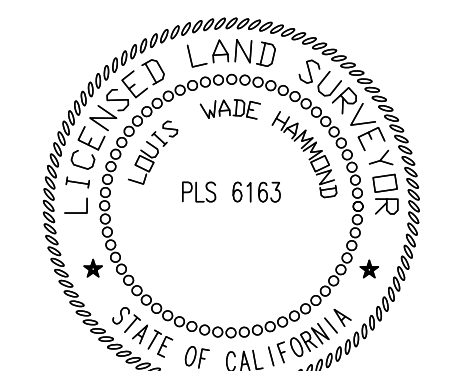
- FOUND POINT IN MONUMENT CASTING (AS NOTED)
- SET 3/4" IP "PLS 6163" (OR SET POINT AS NOTED)
- FOUND POINT AS NOTED
- () RECORD DATA / REFERENCE
- WM WATER METER OR WATER VALVE BOX
- ⊕ FIRE HYDRANT
- ⊕ 16 12 8 OAK TREE - TRUNK DIAMETER IN INCHES
TREE SPECIES IDENTIFICATION: BEST EFFORT,
WE ARE NOT ARBORISTS OR DENDROLOGISTS
- ⊕ 16 12 8 OAK TREE WITH MULTIPLE TRUNKS
- TRUNK ↑ TREE DRIP LINE POINTS TOWARDS TREE
TRUNKS. TREE DRIP LINES ABOVE
PROPERTY LOCATED AS SHOWN.
- x—x— FENCE
- oe—oe— OVERHEAD WIRES
- _{PP} POWER POLE
- + 12.34 SPOT ELEVATION
- SSOO 8.14 SANITARY SEWER CLEAN OUT
- ELEC [] UTILITY BOX-TYPE AS NOTED SIZE AS DRAWN
- [] IRRIGATION VALVE BOX
- +— SIGN
- +— EDGE OF AC PAVING

NOTES

- ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.
- BOUNDARY CONTROL: SEE CONCURRENT RECORD OF SURVEY MAP
- UNDERGROUND UTILITY - LOCATION IS BASED ON SURFACE EVIDENCE.
- BUILDING LOCATION DIMENSIONS ARE MEASURED PERPENDICULAR OR RADIAL TO THE PROPERTY LINES.
- DIMENSIONS TO THE BUILDING ARE TAKEN AT THE EXTERIOR FINISHED SURFACE. THE BUILDING EXTERIOR FINISHED SURFACE IS WOOD SIDING AND VARIES APPROXIMATELY 0.04'-0.10' IN THICKNESS.
- FINISH FLOOR ELEVATION TAKEN AT DOOR THRESHOLD (EXTERIOR).
- BENCHMARK: ASSUMED DATUM, POINT AS SHOWN
- A BOUNDARY SURVEY WAS PERFORMED TO ACCURATELY LOCATE THE LEGAL PROPERTY LINES IN RELATION TO THE EXISTING IMPROVEMENTS (BUILDING)
- A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY L. WADE HAMMOND LAND SURVEYOR. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
- CONTOURS SHOWN UNDER BUILDINGS ARE FOR SLOPE CALCULATIONS ONLY
- TREE SPECIES IDENTIFICATION: BEST EFFORT, WE ARE NOT ARBORISTS OR DENDROLOGISTS.
- TREES SHOWN ARE 6" TRUNK DIAMETER OR LARGER, MEASURED 5' ABOVE GRADE

ABBREVIATIONS

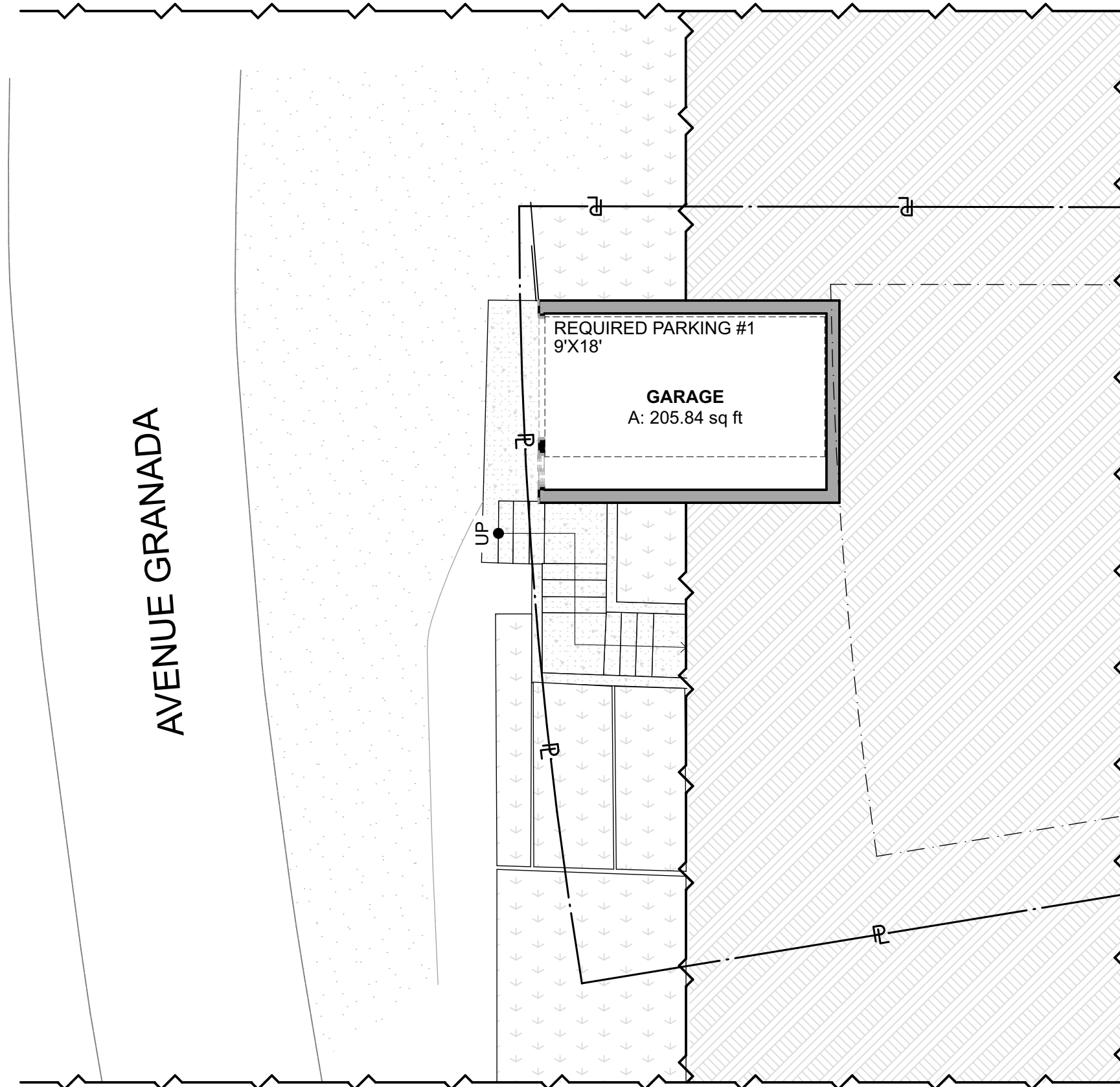
- | | |
|--------|------------------------|
| AC | ASPHALT |
| CONC. | CONCRETE |
| FL | FLOW LINE |
| T.O.W. | TOP OF WALL |
| SDMH | STORM DRAIN MANHOLE |
| SSMH | SANITARY SEWER MANHOLE |



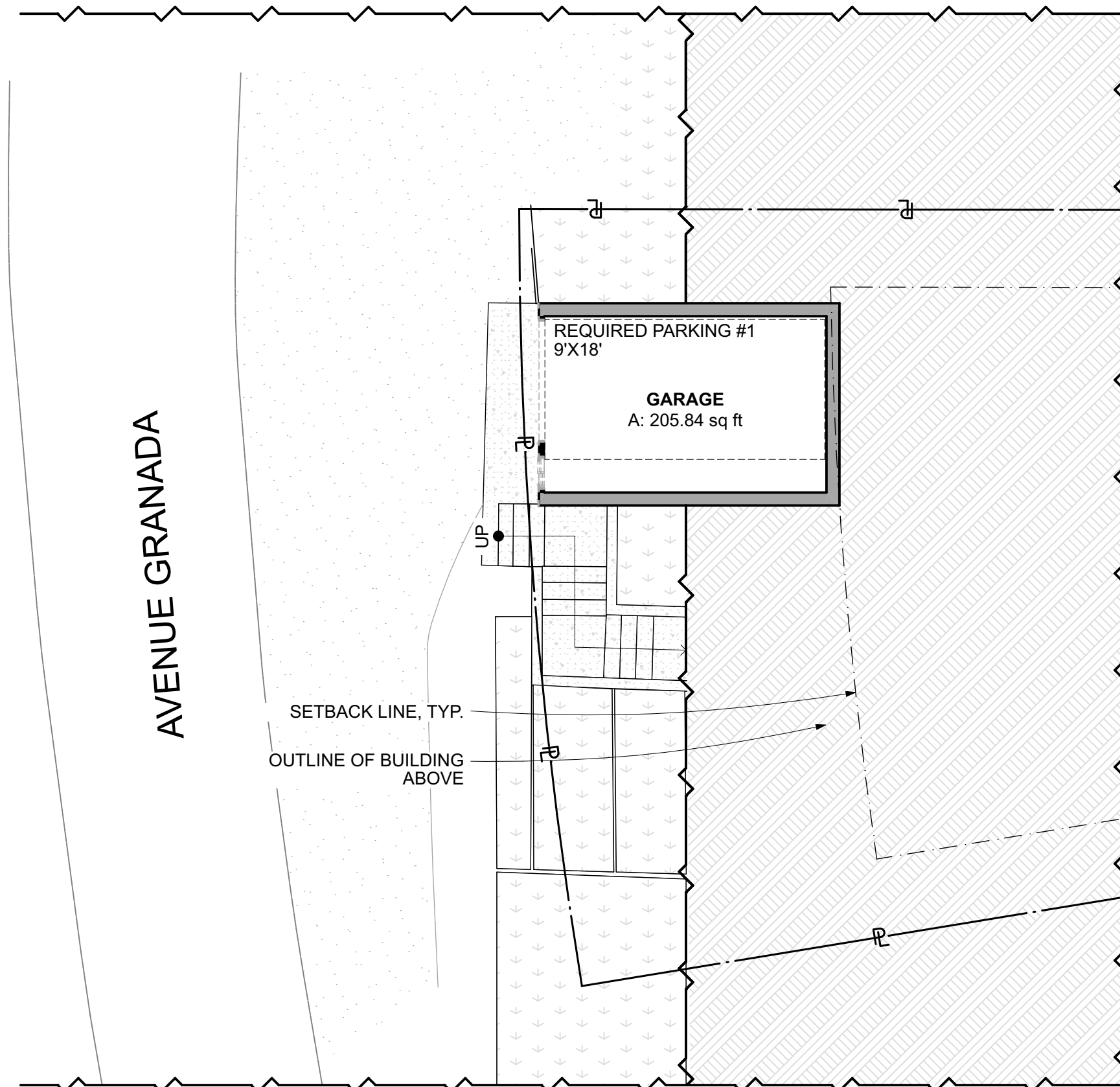
Louis Wade Hammond

BOUNDARY AND TOPOGRAPHIC SURVEY
378 AVENUE GRANADA
HALF MOON BAY
APN: 047-075-110
LOT 3, BLOCK 85, 6 MAPS 65
LOT AREA: 3,594 SQ. FT.

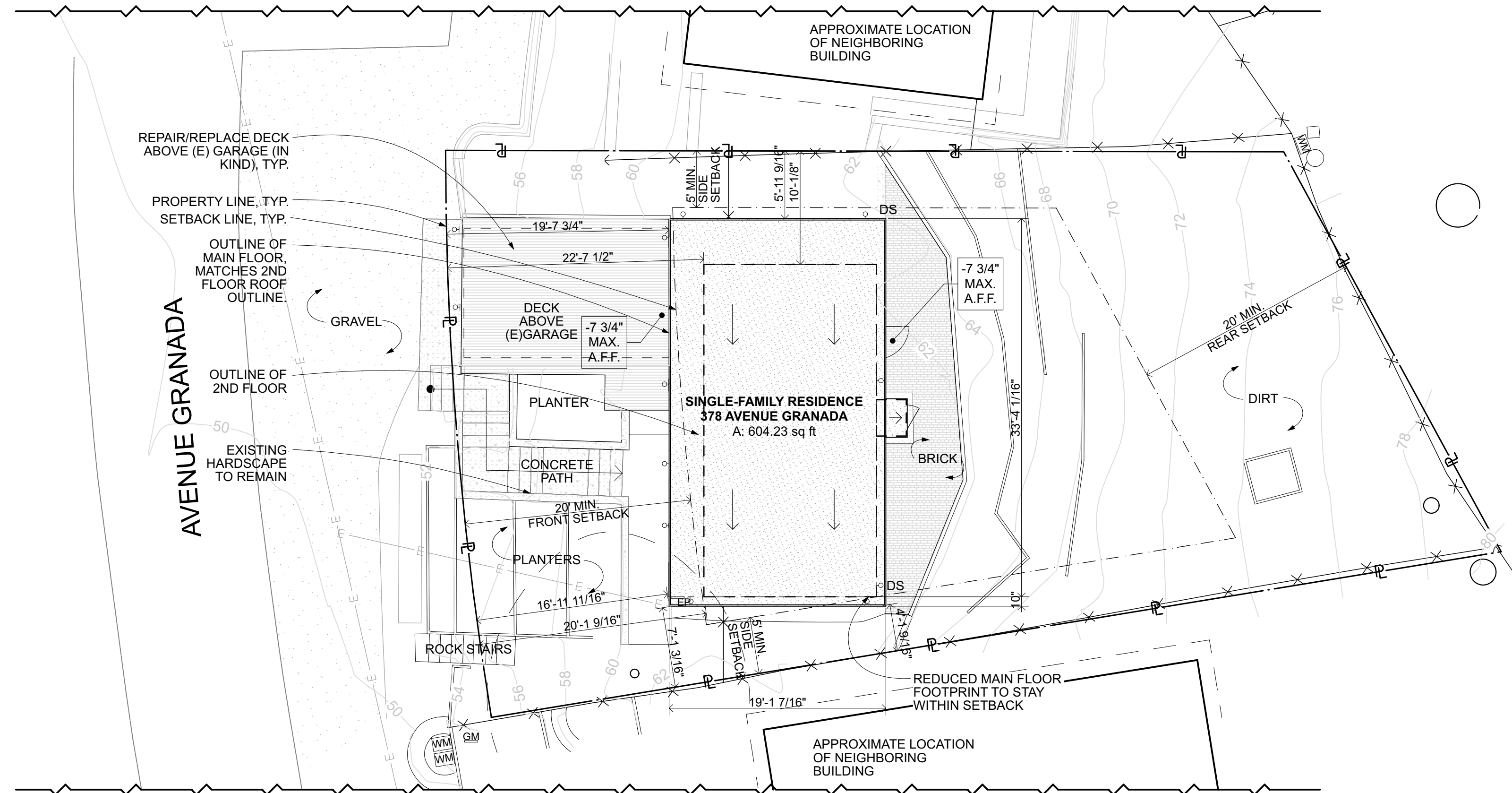
L. Wade Hammond
Land Surveying
Civil Engineering
36660 Newark Blvd. Suite C
Newark, California 94560
Tel: (510) 579-6112
wade@whlandsurveyor.com www.wadehammondpls.com



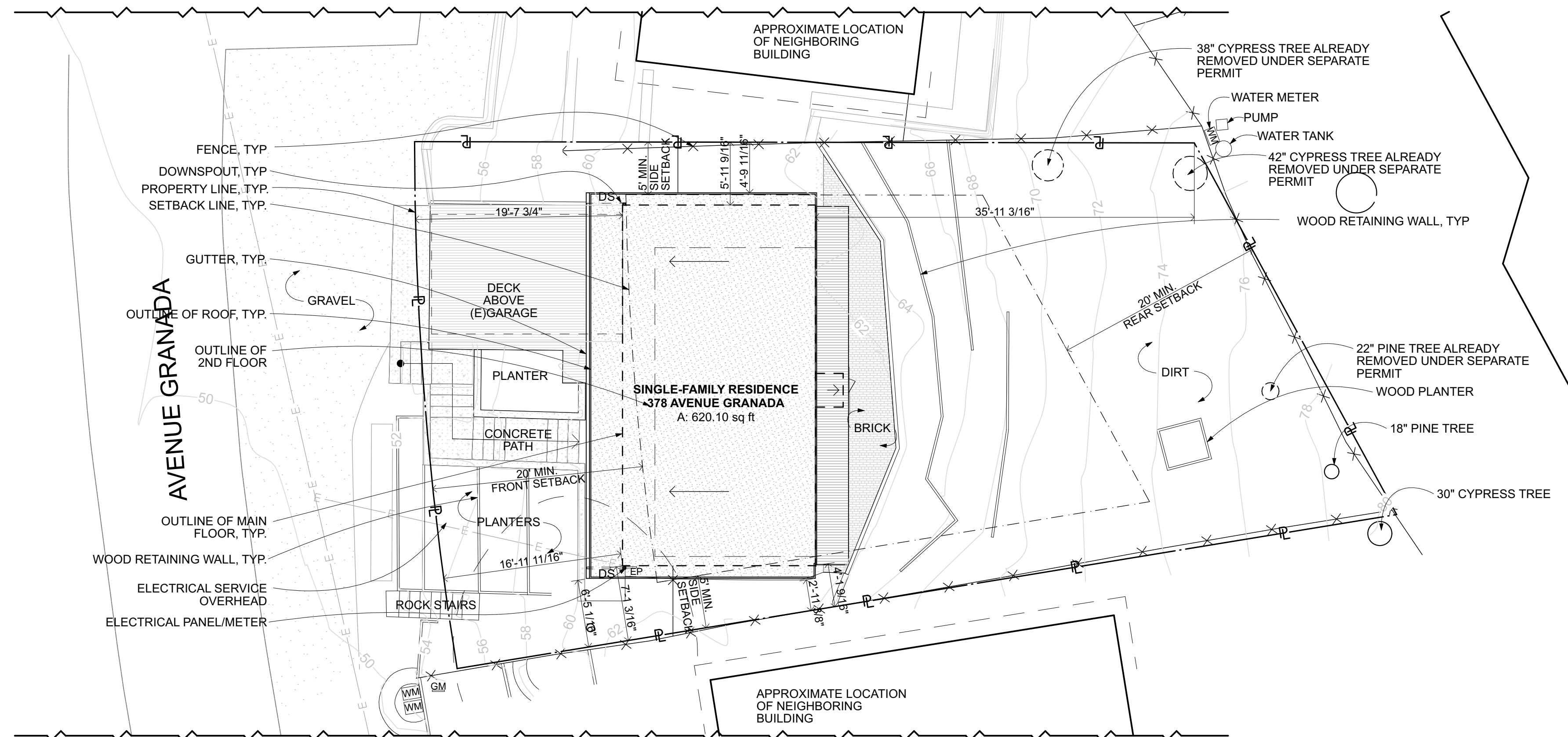
4
A0.0 ALTERED GARAGE LEVEL SITE PLAN (NO CHANGE)
SCALE: 1/8" = 1'-0"



3
A0.0 EXISTING GARAGE LEVEL SITE PLAN
SCALE: 1/8" = 1'-0"



2
A0.0 ALTERED SITE PLAN
SCALE: 1/8" = 1'-0"



1
A0.0 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"

DIMENSIONING LEGEND	
	FACE OF FRAMING
	CENTERLINE
	FACE OF FINISH, CLEAR DIMENSION
	ALIGN FACE OF FRAMING
	ALIGN FACE OF FINISH

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REMODEL**
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**EXISTING &
ALTERED SITE
PLAN**
A0.0



4
A0.1
ALTERED FRONT VIEW
SCALE: 1:0.91



3
A0.1
EXISTING FRONT VIEW
SCALE: 1:4.16

WHITE MEMBRANE LOW SLOPE ROOF
IB ROOFING - 50 MIL PVC MEMBRANE
PAINTED WOOD FASCIA



NATURAL WOOD T&G DECKING AT UNDERSIDE OF ROOF/EAVE TO MATCH SIDING BELOW (NO MANUFACTURER)

VERTICAL CEDAR/OAK "SLAT" TYPE SIDING WITH CLEAR STAIN (NO MANUFACTURER)
DARK BRONZE ALUMINUM WINDOW/SLIDING DOOR (WINDOWS), MILGARD A250 ALUMINUM (SLIDING DOORS), FLEETWOOD 3000-T ALUMINUM



GREY STAINED NATURAL HORIZONTAL WOOD SIDING (NO MANUFACTURER)



WOOD GUARDRAIL TO MATCH NATURAL SIDING (NO MANUFACTURER)



(E) CONCRETE WALL

Wedding Veil 2125-70	Deep Space 2125-20
INTERIOR COLOR BENJAMIN MOORE - AURA	EXTERIOR/FASCIA COLOR
PAINTED WOOD BEAM	

PAINTED WOOD FRAMED WINDOW

PAINTED WOOD SIDING

CONCRETE WALL



EXTERIOR LIGHT FIXTURE AND CUT SHEET BEGA 7 1/2" WALL LUMIERE (SEE CUTSHEET)



2
A0.1
ALTERED REAR VIEW
SCALE: 1:1.17



1
A0.1
EXISTING REAR VIEW
SCALE: 1:3.20



Wall lumiere

With light emission on one or two sides

A series of wall-mounted luminaires with light emission on one or two sides. Downward directed light distribution is ideal for general illumination of surfaces and corners. Luminaires provided with upward directed light suitable in narrow or very narrow distributions and are ideal for highlighting surface architectural features.

Die cast aluminum - Safety glass

Reflector made of pure anodized aluminum

LED color temperatures: 2700K, 3000K, 3500K, 4000K

BEGA luminaires offer a minimum service life of 60,000 hours, with suitable LED management includes guarantee for up to 20 years after date of purchase. Further LED technical data including luminaire file, CRI, dimming and electrical characteristics are provided on the individual luminaire specification sheets, available at www.bega.com.

All BEGA standard finishes are made, finished powder coat with minimum 300 microns. BEGA's CRISTAL® finish, a revolutionary technology, provides superior light protection in black, bronze, and other BEGA standard finishes, as well as optional available 70% and custom colors, in a polyester powder.

NOTE: Based on North American standards. Suitable for wet locations. Protection class IP 64.

Wall lumiere (standard)		Metric (standard)	
Code	Dimensions	Code	Dimensions
2100	2100 x 100 x 100	2100	2100 x 100 x 100
2100	2100 x 100 x 100	2100	2100 x 100 x 100
2100	2100 x 100 x 100	2100	2100 x 100 x 100
2100	2100 x 100 x 100	2100	2100 x 100 x 100

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**PHOTOS/
MATERIALS/
RENDERINGS**

A0.1

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**EXISTING MAIN
 FLOOR PLAN &
 GARAGE**

A1.0

NOTES

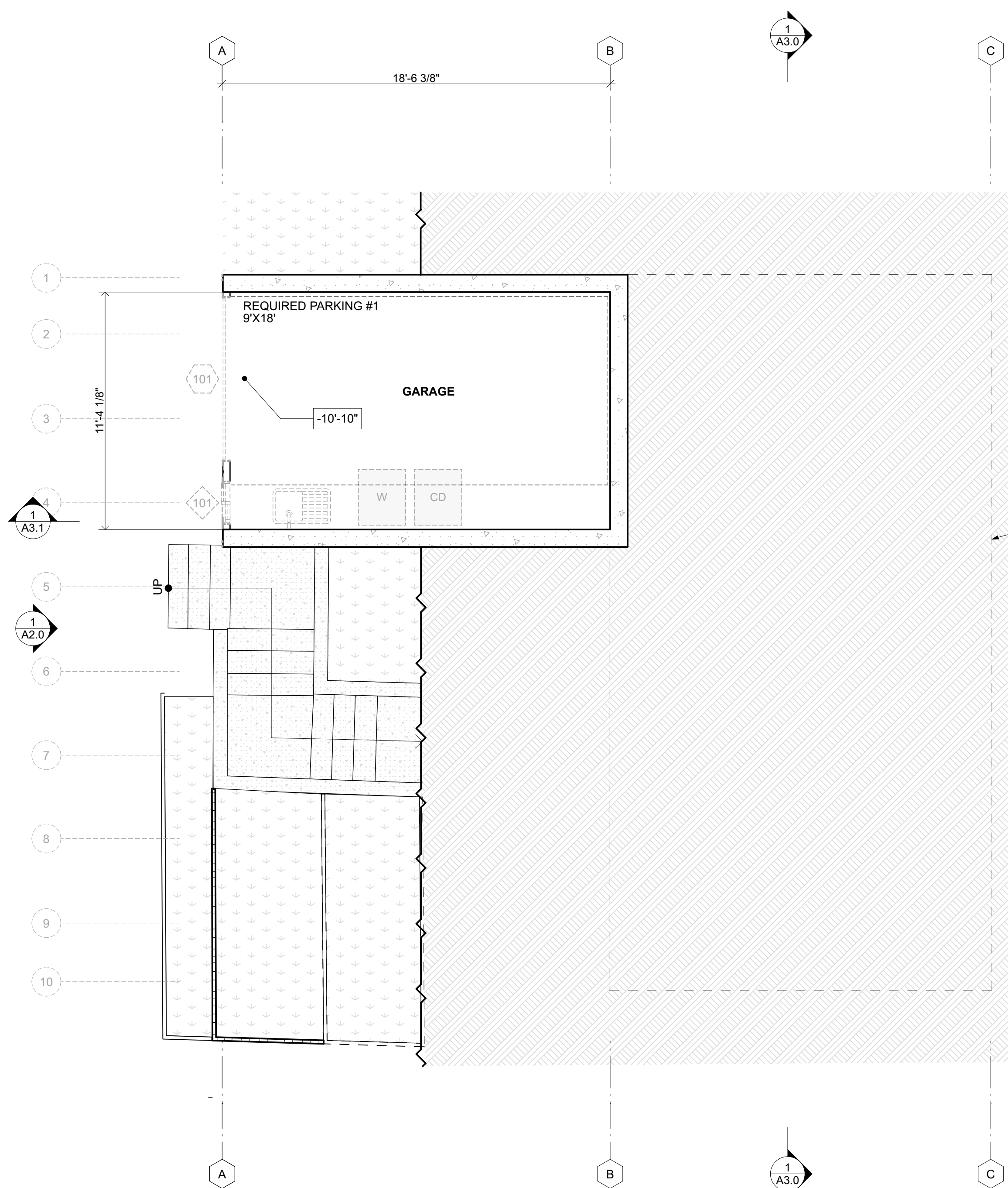
- SEE M.E.P. PLAN, NOTES & SCHEDULES, R.C.P. PLAN & INTERIOR ELEVATIONS FOR ADD'L DIMENSIONS & LOCATION INFORMATION FOR ITEMS INCLUDING BUT NOT LIMITED TO BATHROOM ACCESSORIES, LIGHT FIXTURES, RECEPTACLES, SWITCHES & CABINETY.
- SEE SCHEDULES FOR WORK SCOPE THAT MAY NOT BE SHOWN ON PLANS OR OTHER DRAWINGS.

DIMENSIONING LEGEND

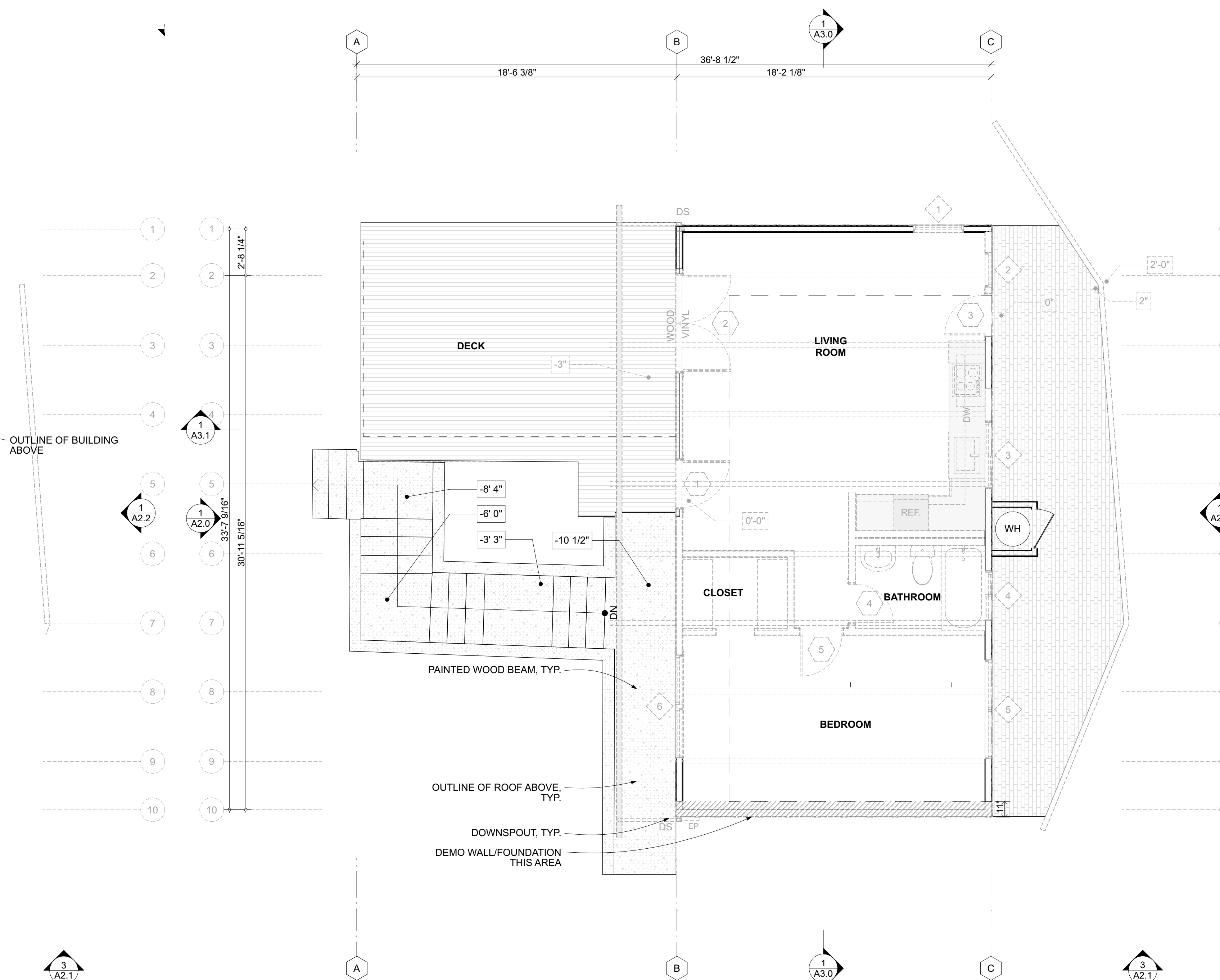
	FACE OF FRAMING
	CENTERLINE
	FACE OF FINISH, CLEAR DIMENSION
	ALIGN FACE OF FRAMING
	ALIGN FACE OF FINISH

WALL LEGEND

	NEW WALLS
	WALLS / ELEMENTS TO BE DEMOLISHED
	EXISTING WALLS
	STRUCTURE ABOVE



2
A1.0 EXISTING BASEMENT PLAN (NO CHANGE)
 SCALE: 1/4" = 1'-0"



1
A1.0 EXISTING MAIN LEVEL PLAN
 SCALE: 1/4" = 1'-0"

DIMENSIONING LEGEND	
	FACE OF FRAMING
	CENTERLINE
	FACE OF FINISH, CLEAR DIMENSION
	ALIGN FACE OF FRAMING
	ALIGN FACE OF FINISH

ROOF PLAN LEGEND	
	4" RIGID INSUL. O/ DECKING
	CLASS 'C' OR BETTER APPLIED FOAM ROOFING & ELASTOMERIC COATING

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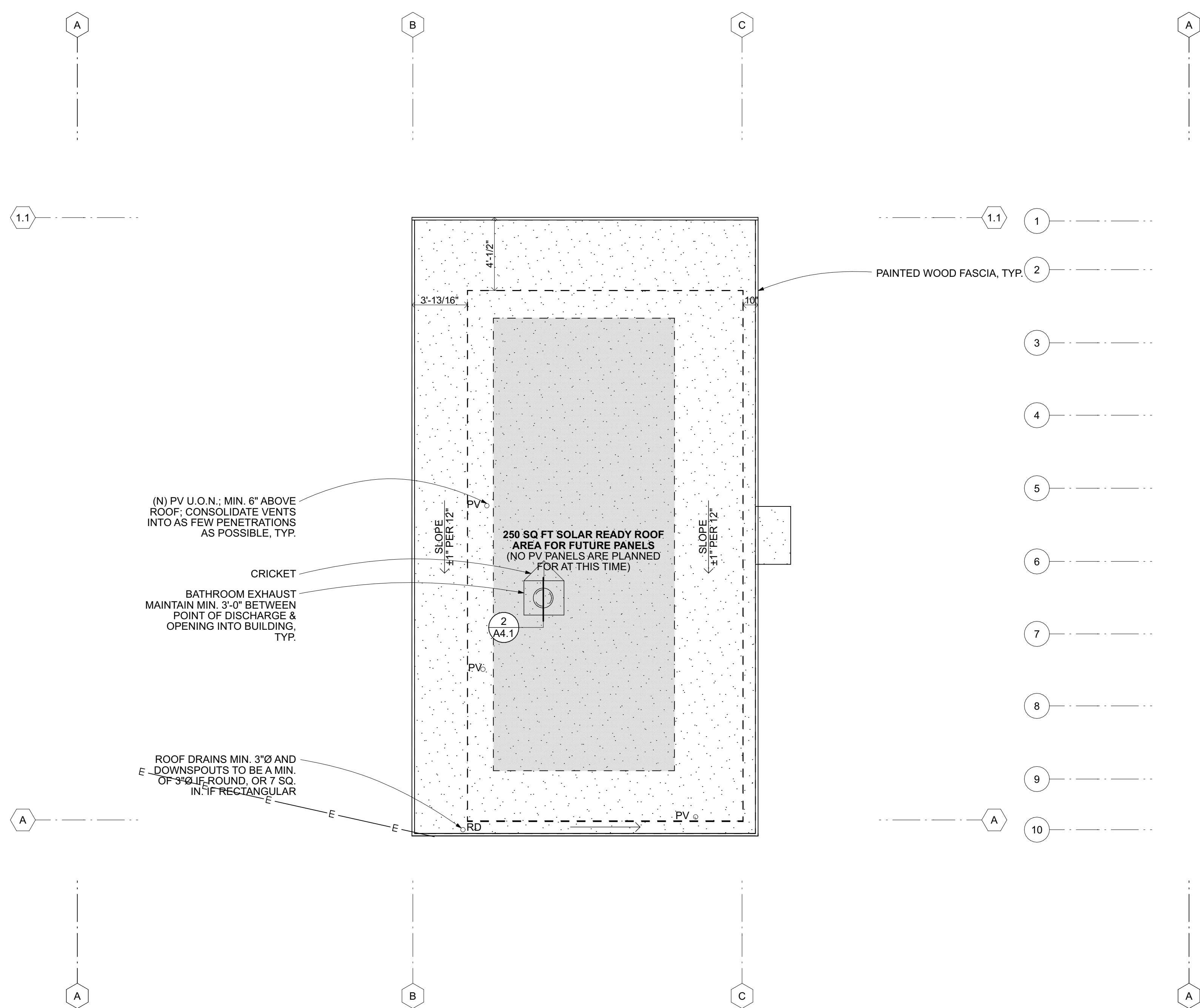
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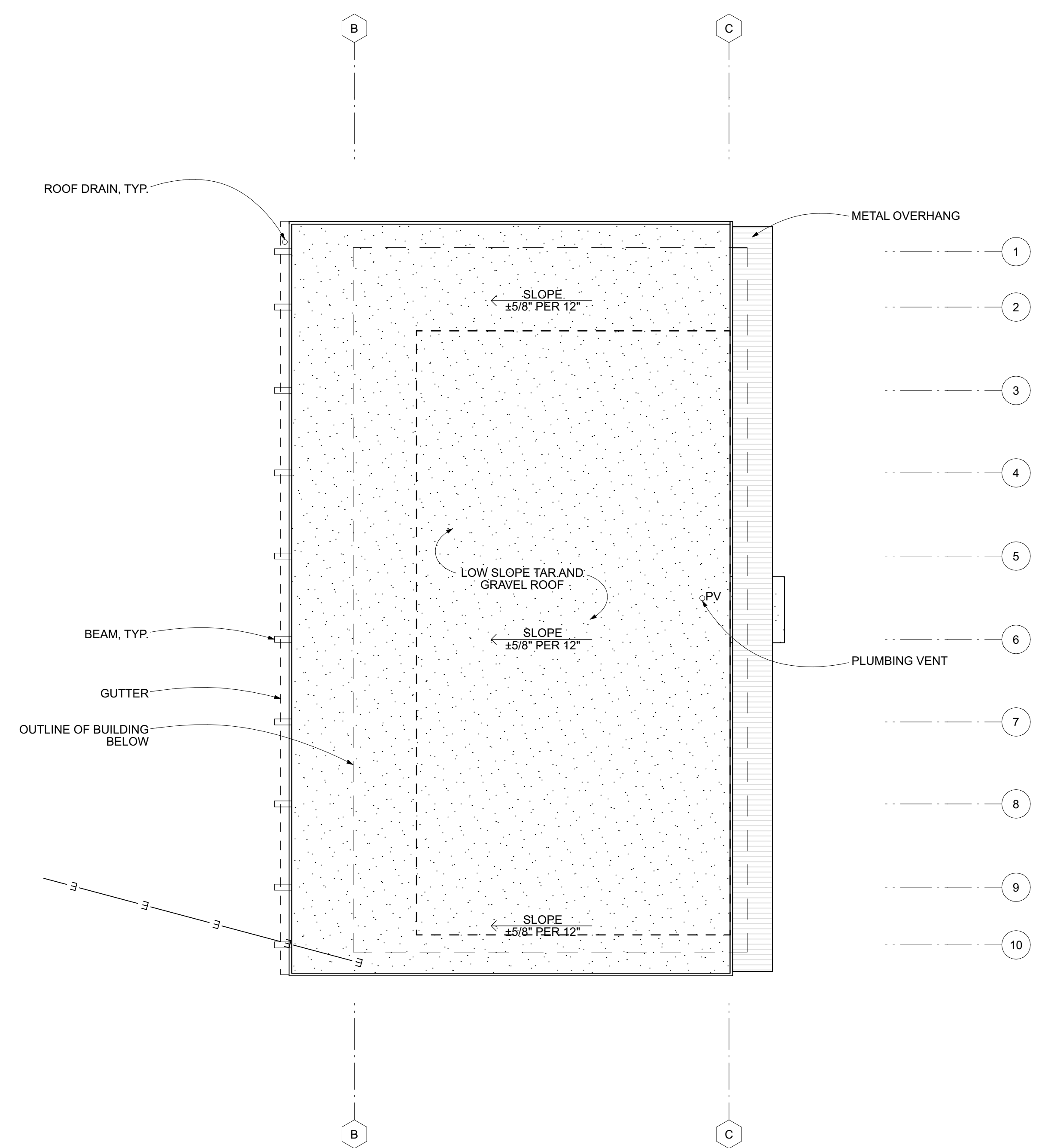
Checked by: _____ Drawn by: _____
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**EXISTING &
 ALTERED ROOF PLAN**

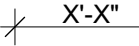
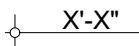
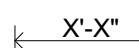


A1.3

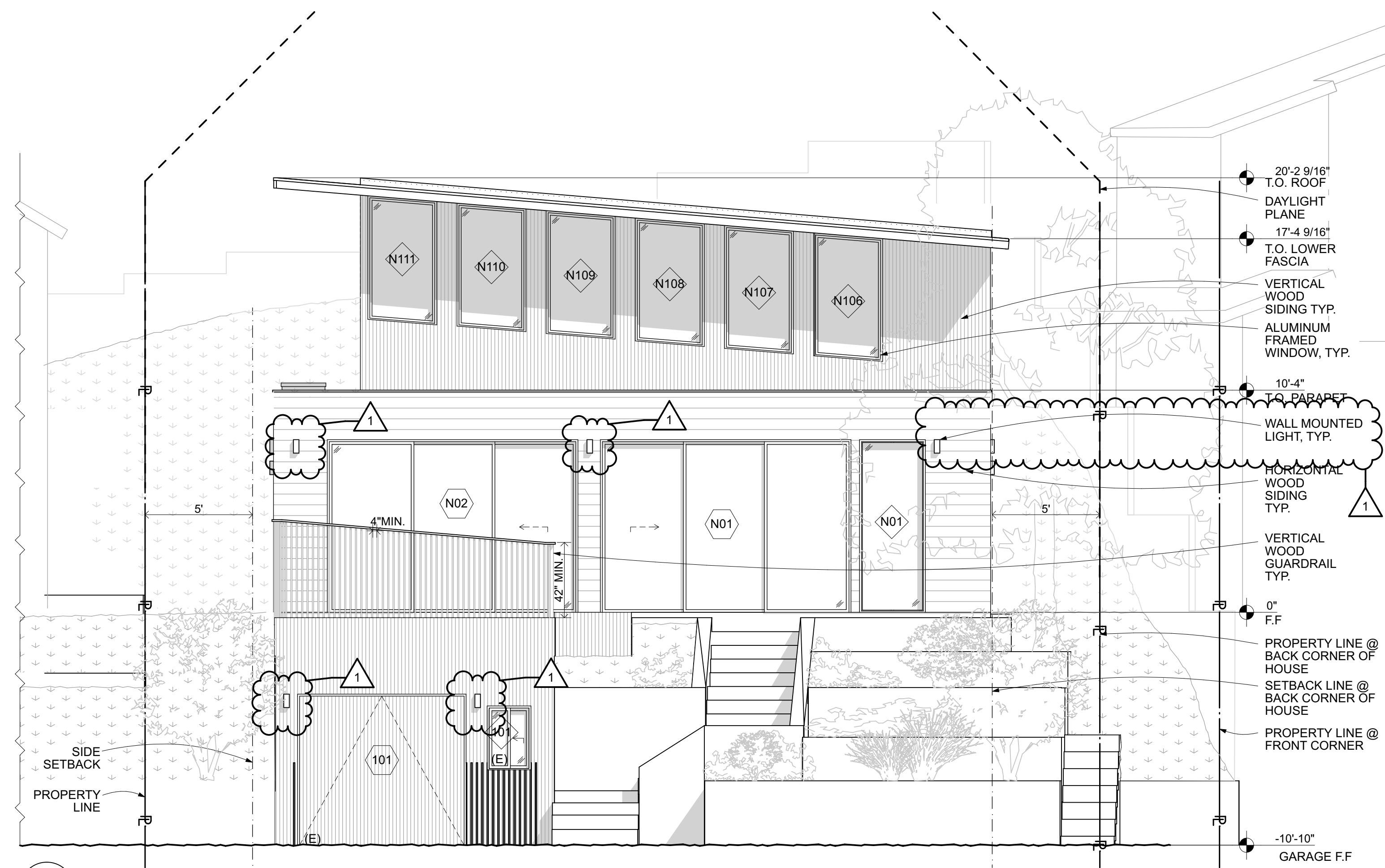


2
 A1.3 ALTERED ROOF PLAN
 SCALE: 1/4" = 1'-0"



1
 A1.3 EXISTING ROOF PLAN
 SCALE: 1/4" = 1'-0"

DIMENSIONING LEGEND	
	FACE OF FRAMING
	CENTERLINE
	FACE OF FINISH, CLEAR DIMENSION
	ALIGN FACE OF FRAMING
	ALIGN FACE OF FINISH



2
A2.0
ALTERED WEST SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1
A2.0
EXISTING WEST SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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A.P.N. 047-075-110

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**EXISTING &
ALTERED
EXTERIOR
ELEVATIONS**

A2.0

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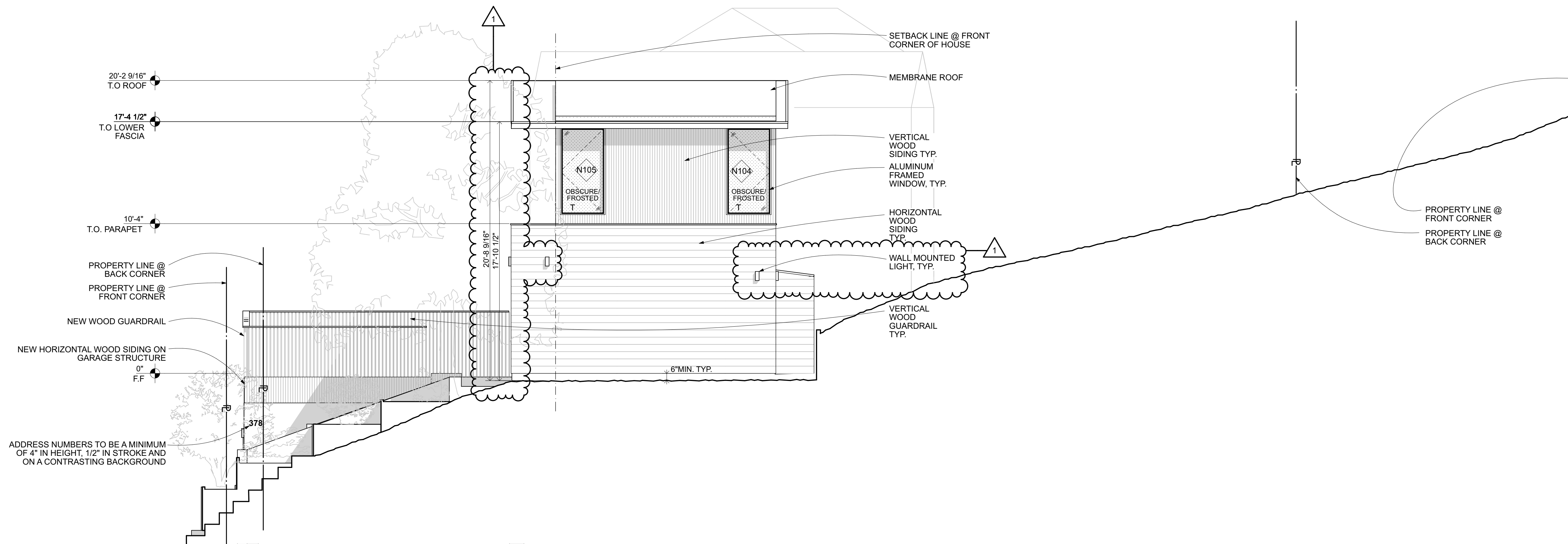
Checked by: JCK, GH, LD | Drawn by: LD

Project No: 2239 | Issue Date: 12/10/23

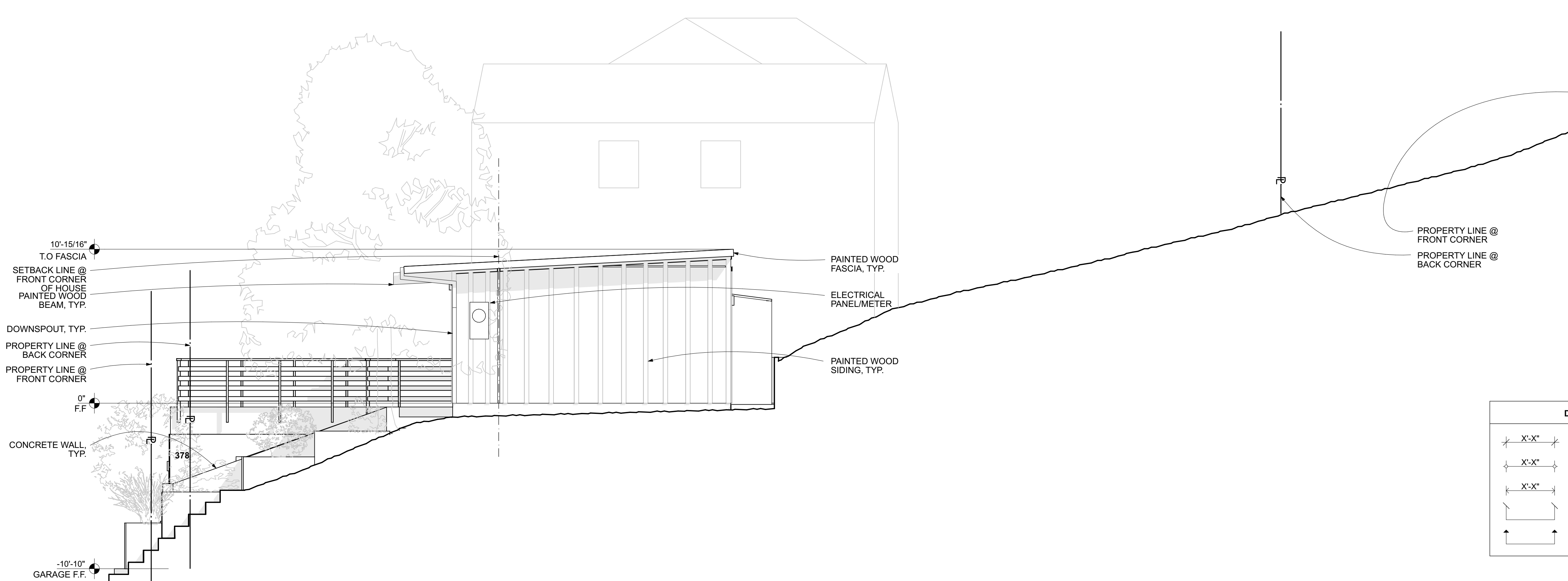
2239 12/10/23

**EXISTING &
 ALTERED
 EXTERIOR
 ELEVATIONS**

A2.1



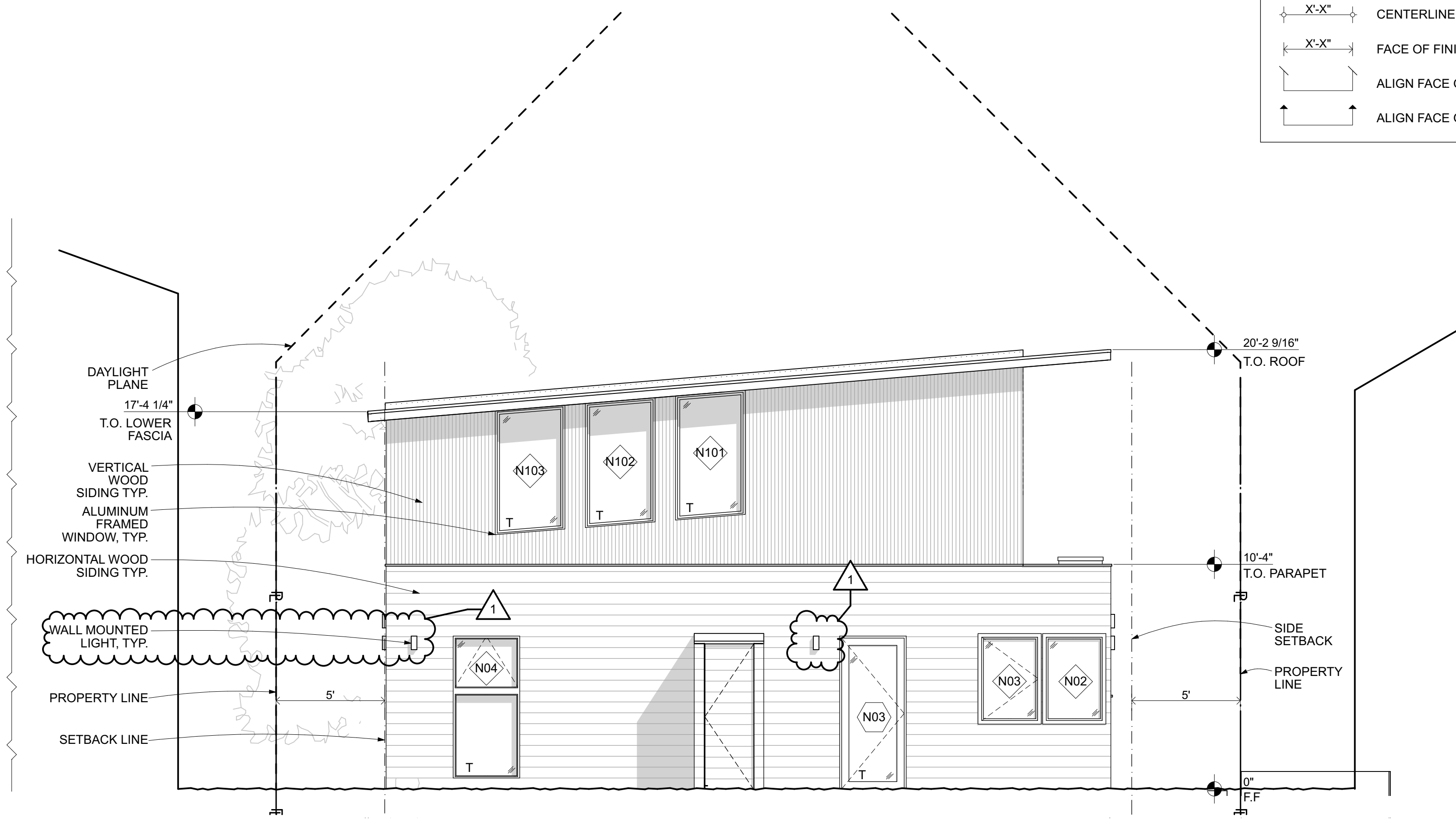
4
 A2.1 ALTERED SOUTH SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



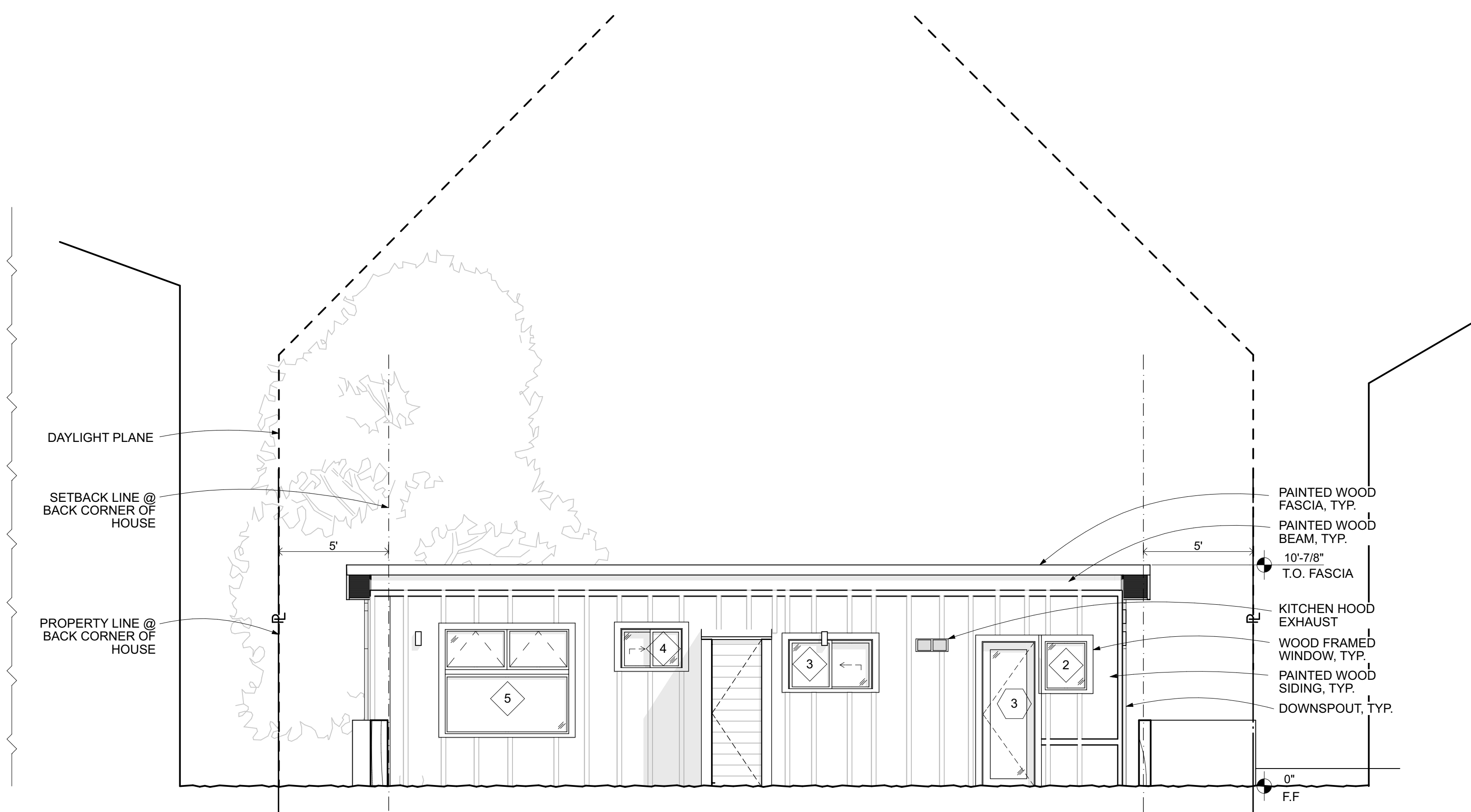
3
 A2.1 EXISTING SOUTH SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

DIMENSIONING LEGEND	
	FACE OF FRAMING
	CENTERLINE
	FACE OF FINISH, CLEAR DIMENSION
	ALIGN FACE OF FRAMING
	ALIGN FACE OF FINISH

DIMENSIONING LEGEND	
	FACE OF FRAMING
	CENTERLINE
	FACE OF FINISH, CLEAR DIMENSION
	ALIGN FACE OF FRAMING
	ALIGN FACE OF FINISH



2
A2.2 ALTERED EAST SIDE ELEVATION
SCALE: 1/4" = 1'-0"



1
A2.2 EXISTING EAST SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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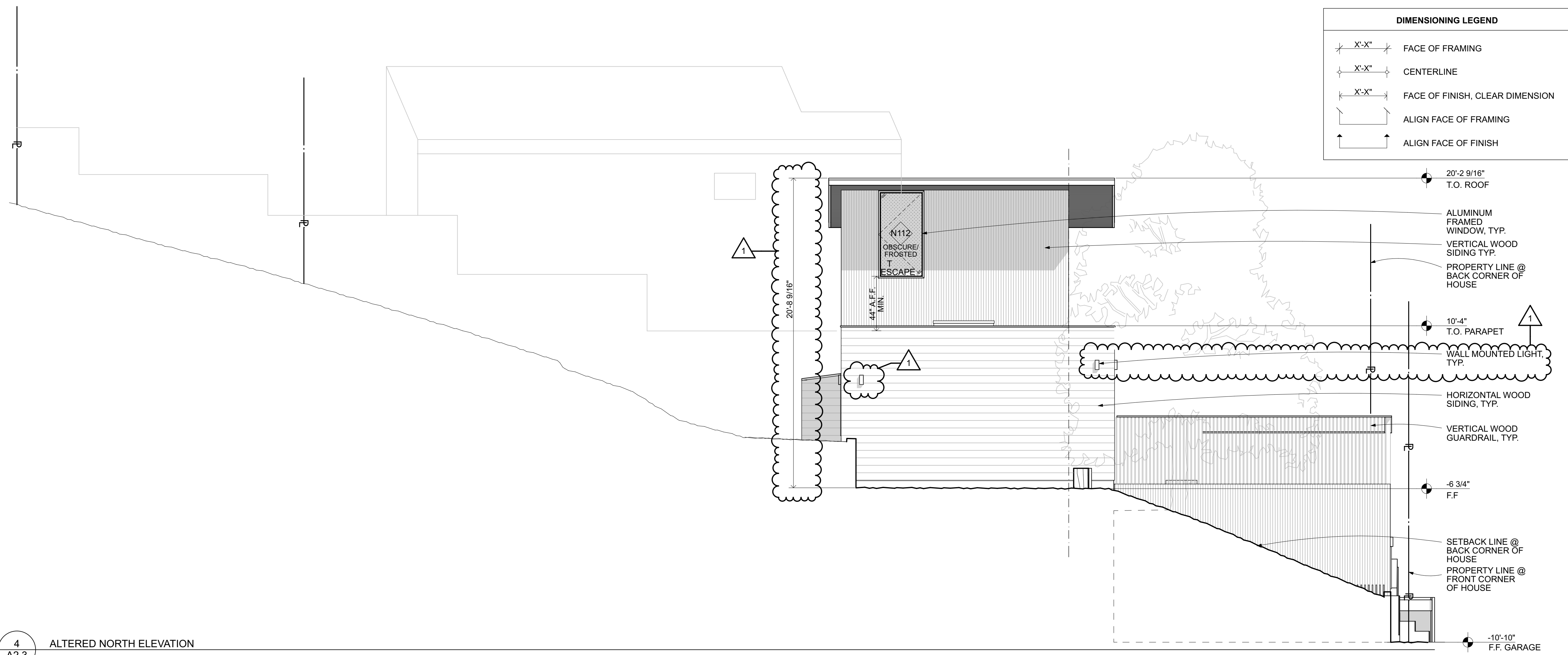
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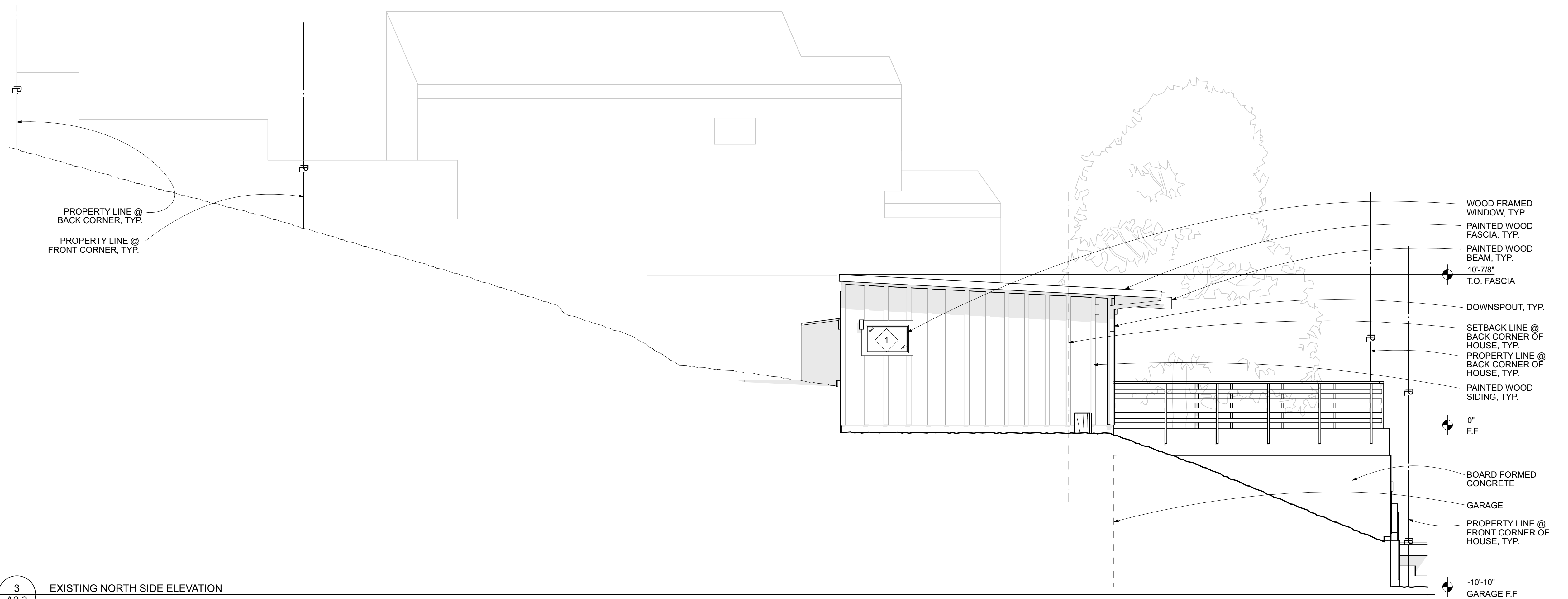
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Project No: 2239 Issue Date: 12/10/23

**EXISTING &
ALTERED
EXTERIOR
ELEVATIONS**

A2.2



4
A2.3 ALTERED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



3
A2.3 EXISTING NORTH SIDE ELEVATION
SCALE: 1/4" = 1'-0"

DIMENSIONING LEGEND

	X'-X"	FACE OF FRAMING
	X'-X"	CENTERLINE
	X'-X"	FACE OF FINISH, CLEAR DIMENSION
		ALIGN FACE OF FRAMING
		ALIGN FACE OF FINISH

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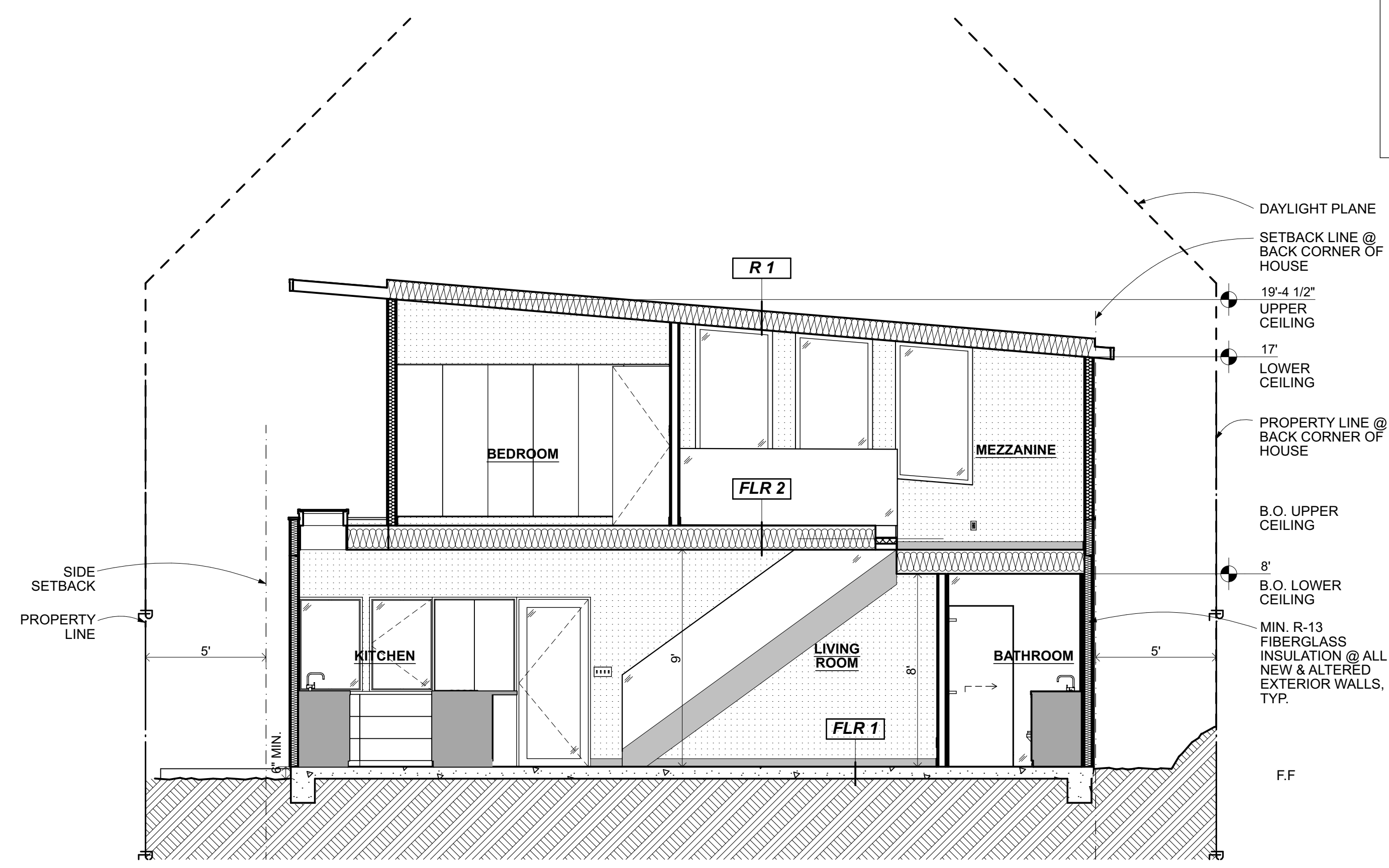
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JCK, GHC, LDI RD
Project No: _____ Issue Date: _____
2239 12/10/23

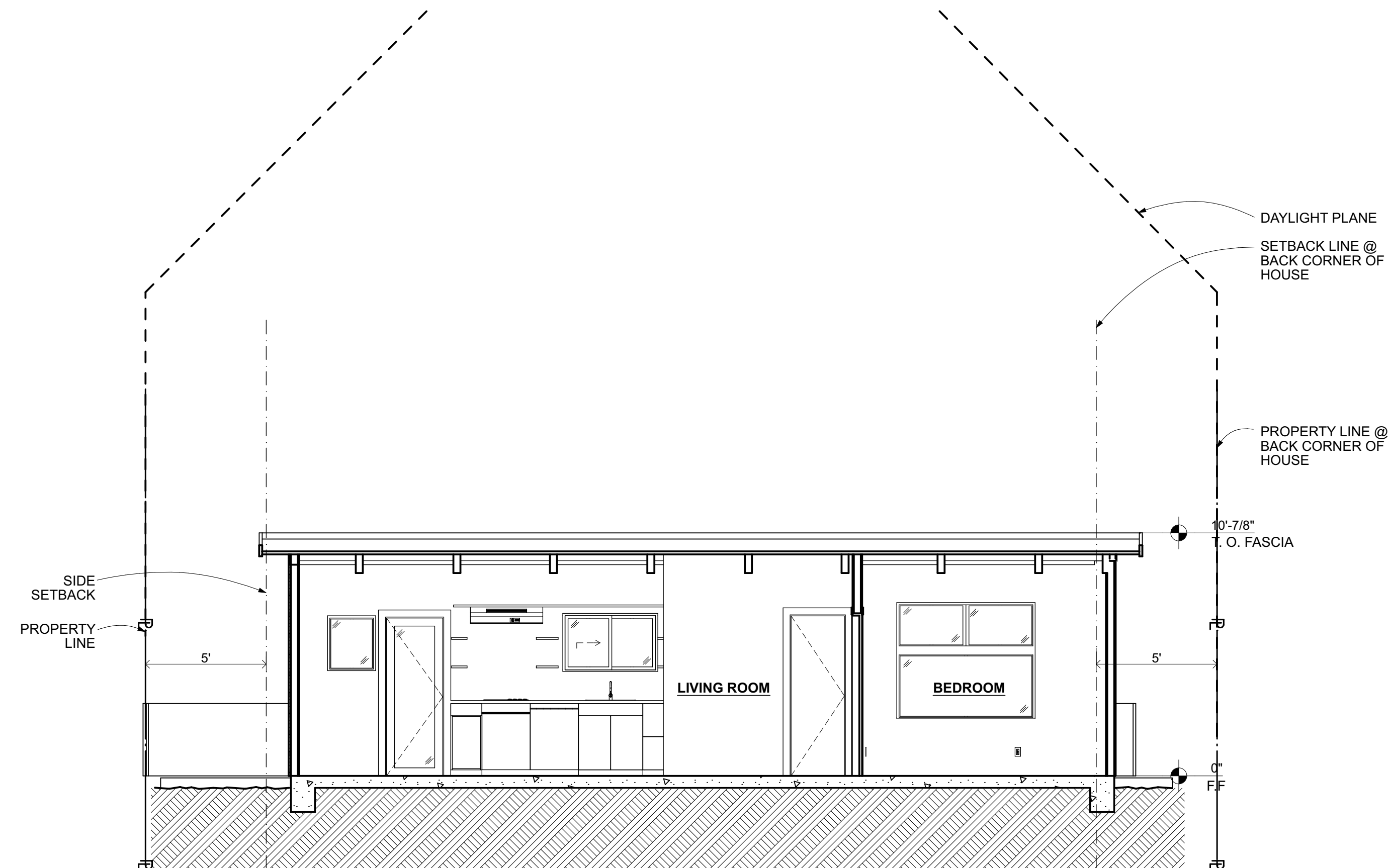
**EXISTING &
ALTERED
EXTERIOR
ELEVATIONS**

A2.3

DIMENSIONING LEGEND	
	FACE OF FRAMING
	CENTERLINE
	FACE OF FINISH, CLEAR DIMENSION
	ALIGN FACE OF FRAMING
	ALIGN FACE OF FINISH



2 ALTERED SECTION
SCALE: 1/4" = 1'-0"



1 EXISTING CROSS SECTION
SCALE: 1/4" = 1'-0"

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REMODEL**

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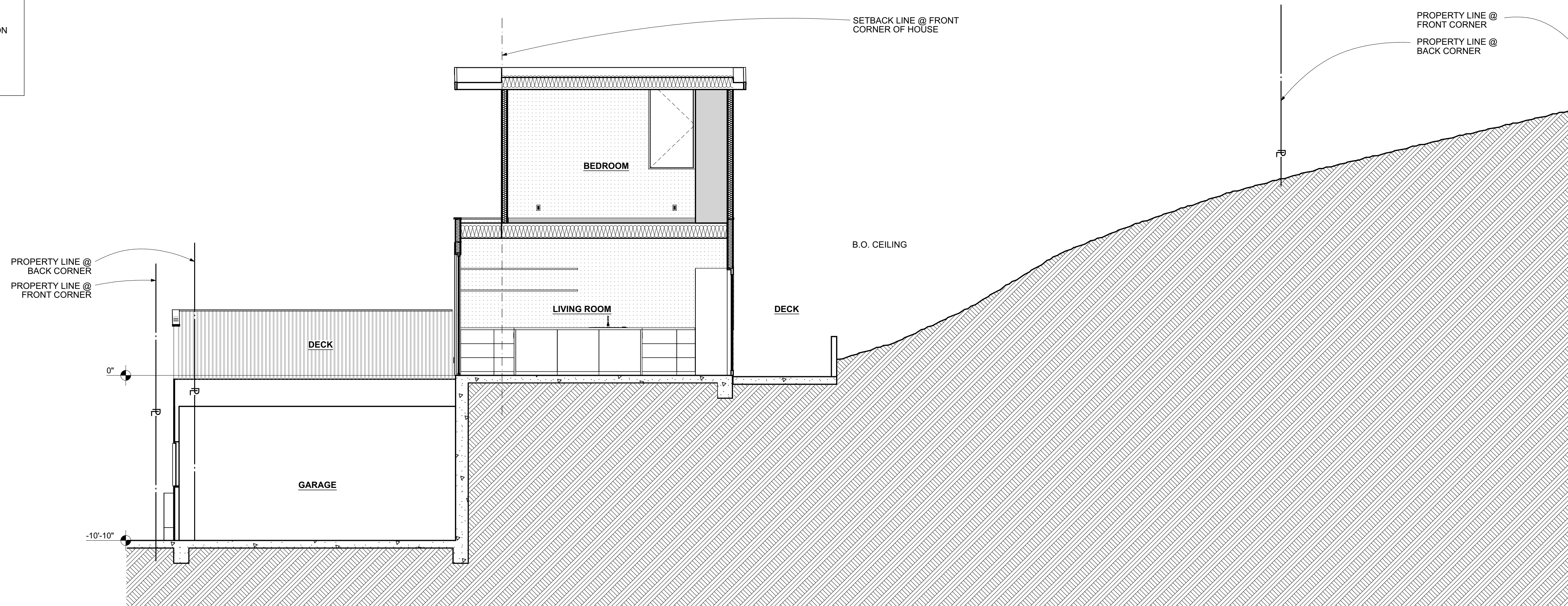
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JCK, GHC, LD / RD
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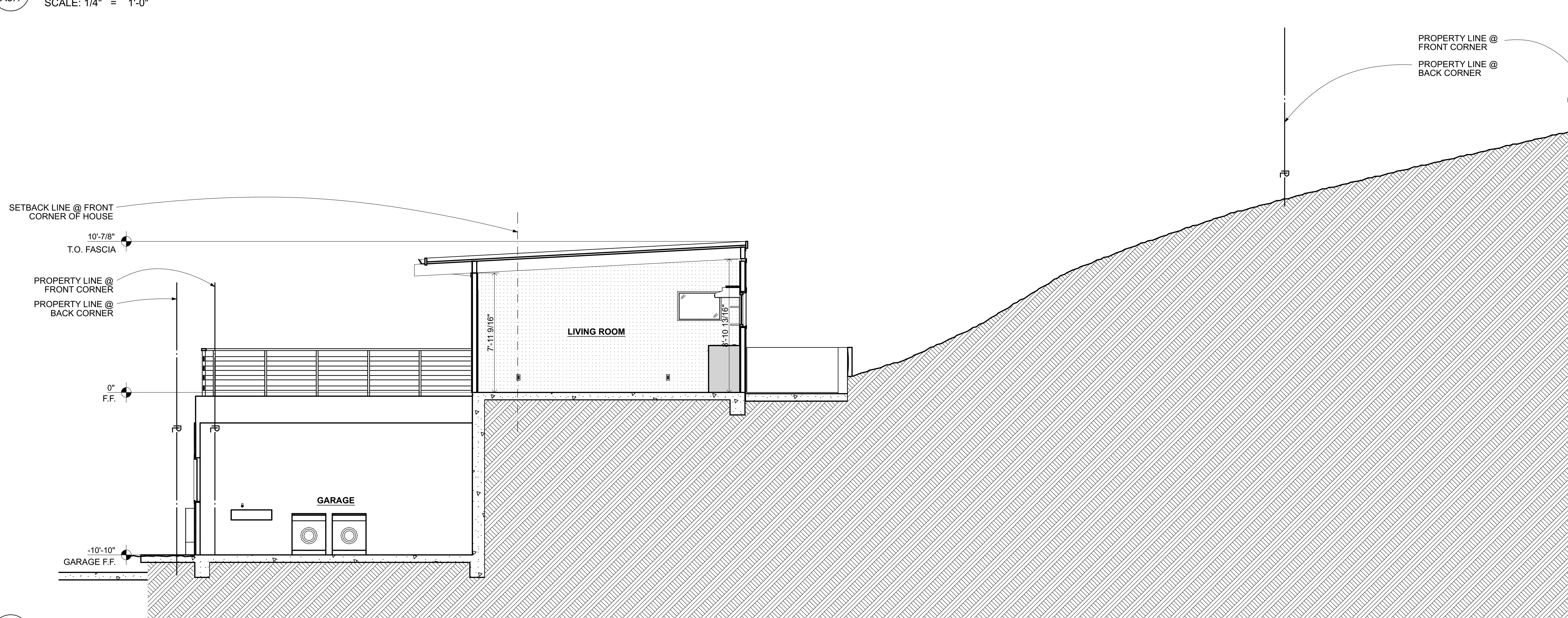
**EXISTING &
ALTERED
BUILDING
SECTIONS**

A3.0

DIMENSIONING LEGEND	
	FACE OF FRAMING
	CENTERLINE
	FACE OF FINISH, CLEAR DIMENSION
	ALIGN FACE OF FRAMING
	ALIGN FACE OF FINISH



2
A3.1 ALTERED CROSS SECTION
SCALE: 1/4" = 1'-0"



1
A3.1 EXISTING CROSS SECTION
SCALE: 1/4" = 1'-0"

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Drawing Record / Revisions	
#	DATE DESCRIPTION
1	12/10/23
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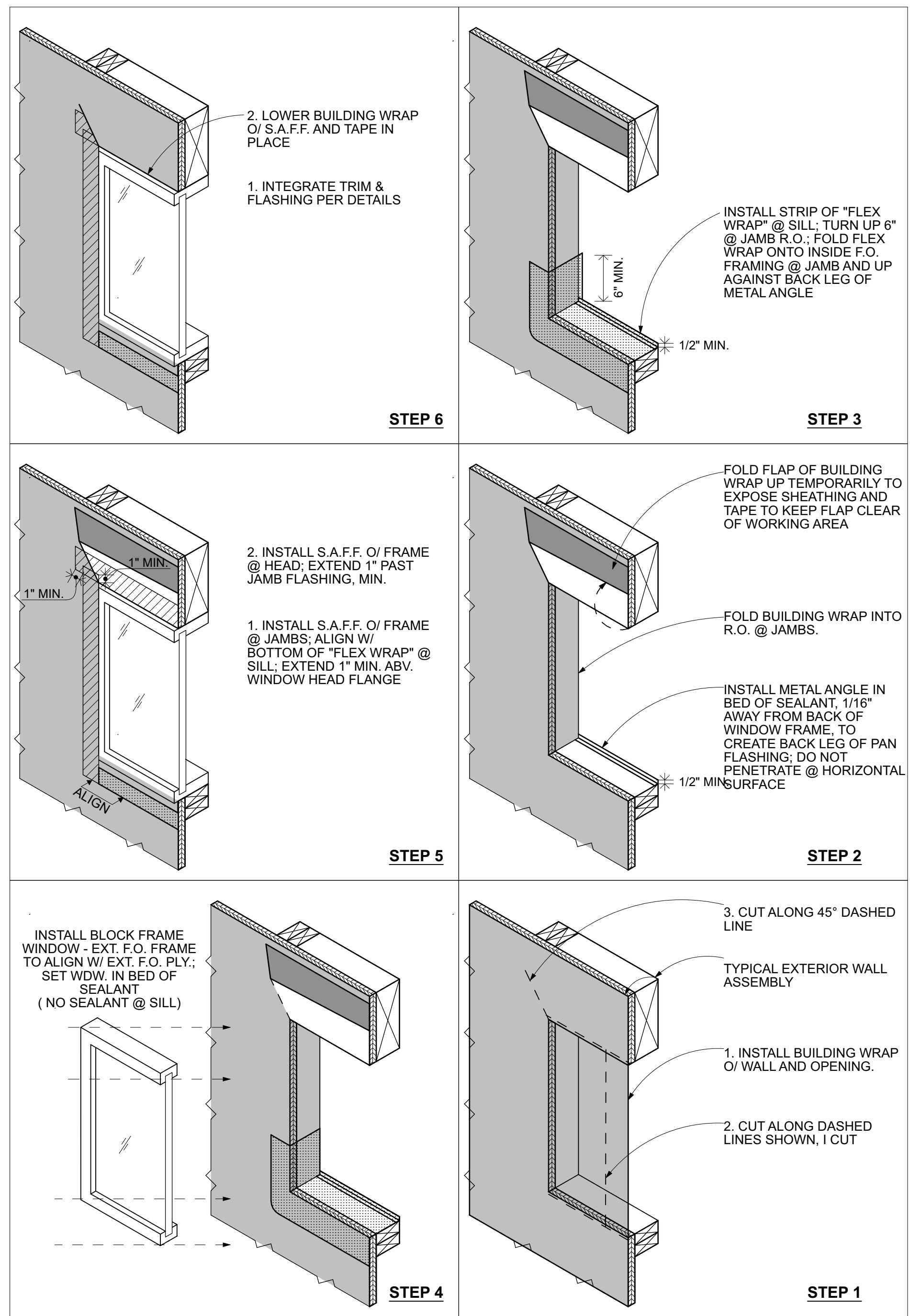
Checked by: JCK, GHC, LDI, RD

Project No: 2239 Issue Date: 12/10/23

Drawn by:

**EXISTING &
ALTERED
BUILDING
SECTIONS**

A3.1



1
A5.0 TYP. BLOCK FRAME WINDOW / DOOR FLASHING SEQUENCE
SCALE: 1" = 1'-0"

EXISTING DOOR SCHEDULE												
MARK	NOM. SIZE		INT/ EXT	FRM. MAT'L	TYPE	THK.	CORE	GLS.	DEMOLITION, IF ANY		NOTES	
	W	H							ELIMINATE	REPLACE		
1	2'-10"	6'-6 7/8"	EXT	P	S	1 3/8"	GL	I	Y			
2	5'-8 1/4"	6'-6 7/8"	EXT	P	D	1 1/4"	GL	I	Y			
3	2'-5 1/2"	6'-7 1/4"	EXT	P	S	1 3/8"	GL	I	Y			
4	2'-4"	6'-8 3/8"	INT	PG	S	1 3/8"	HC		Y			
5	2'-6"	6'-8 1/2"	INT	PG	S	1 3/8"	HC		Y			
101	7'-9 1/4"	7'	EXT	PG	G	1 1/4"	HM		Y			

NEW DOOR SCHEDULE - BEFORE ORDERING, SEE FLOOR PLANS & EXT. ELVES. FOR MORE INFORMATION												
MARK	SIZE - SEE NOTE 12		INT/ EXT	FRM. MAT'L	TYPE	THK.	CORE	MAT'L	GLS.	HARDWARE GROUP	BUG SCR.	NOTES
	W	H										

EXISTING WINDOW SCHEDULE												
MARK	NOM. SIZE		ASSM.	FRM.	GLS.	ELIMINATE	REPLACE	DEMOLITION, IF ANY		NOTES		
	W	H						ELIMINATE	REPLACE			
1	2'-10 5/8"	1'-11"	F	P	I	Y						
2	1'-11 1/8"	2'-3"	F	P	I	Y						
3	3'-10 1/2"	2'-4 1/2"	HS	P	I	Y						
4	2'-10 1/8"	1'-11"	HS	AL	I,F	Y						
5	5'-8"	4'-9 1/2"	A/A/F	P	I	Y						
6	5'-10 1/2"	1'-4 1/4"	A/A	P	I	Y						
101	1'-11 3/4"	2'-11 1/4"	HS	AL	S,F	Y						

NEW WINDOW SCHEDULE - BEFORE ORDERING, SEE FLOOR PLANS & EXT. ELVES. FOR MORE INFO.												
MARK	SIZE - SEE NOTE 13		ASSM.	MATERIALS			BUG SCR.	NOTES				
	W	H		FRM.	SASH	GLS.						
N01	3'	8'	F	AL	AL	I,E,T						
N02	2'-7 3/8"	3'-10 1/2"	F	AL	AL	I,E						
N03	2'-7 3/8"	3'-10 1/2"	C	AL	AL	I,E						
N04	3'	6'-6"	F	AL	AL	I,E,T						
N101	3'-1 3/4"	5'-8 5/8"	F	AL	AL	I,E,T						
N102	3'-1 3/4"	5'-8 5/8"	F	AL	AL	I,E,T						
N103	3'-1 3/4"	5'-8 5/8"	F	AL	AL	I,E,T						
N104	3'-1/2"	5'-11 3/4"	C	AL	AL	I,E,T						
N105	3'-1/2"	5'-11 3/4"	C	AL	AL	I,E,T						
N106	3'-1 3/4"	5'-8 5/8"	F	AL	AL	I,E,T						
N107	3'-1 3/4"	5'-8 5/8"	F	AL	AL	I,E,T						
N108	3'-1 3/4"	5'-8 5/8"	F	AL	AL	I,E,T						
N109	3'-1 3/4"	5'-8 5/8"	F	AL	AL	I,E,T						
N110	3'-1 3/4"	5'-8 5/8"	F	AL	AL	I,E,T						
N111	3'-1 3/4"	5'-9 1/8"	F	AL	AL	I,E,T						
N112	3'	5'-9 1/2"	C	AL	AL	I,E,T		ESCAPE, SEE NOTE #9; VERIFY SILL HEIGHT PRIOR TO ORDERING WINDOW				

NEW SKYLIGHT SCHEDULE - BEFORE ORDERING, SEE FLOOR/ROOF PLANS FOR MORE INFO.												
MARK	NOM. SIZE		ASSM.	FRM.	GLS.	DEMOLITION, IF ANY		NOTES				
	W	H				ELIMINATE	REPLACE					

WINDOW, DOOR AND SKYLIGHT NOTES

- ALL PREFAB WINDOWS AND DOORS SHALL BE SIZED FOR 2X4 CONSTRUCTION.
- SEE 1/A5.0 FOR TYPICAL WINDOW FLASHING PROCEDURE. 1/A5.0 SHALL ALSO APPLY TO DOOR HEAD AND JAMB FLASHING.
- CONTRACTOR SHALL VERIFY ALL WINDOW AND DOOR DIMENSIONS TWO WEEKS PRIOR TO ORDERING/MANUFACTURING WINDOW AND/OR DOOR ASSEMBLIES. NOTIFY ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.
- CONTRACTOR SHALL VERIFY QUANTITIES PRIOR TO ORDERING/MANUFACTURING WINDOW AND/OR DOOR ASSEMBLIES.
- FOR HARDWARE ORIENTATION SEE DRAWINGS. FOR HARDWARE SEE SPECIFICATIONS.
- INSULATE ALL GAPS BETWEEN ROUGH FRAMING AND WINDOW/DOOR FRAMES.
- DIMENSIONS OF (E) WINDOWS AND DOORS ARE APPROXIMATE AND BASED ON NOMINAL SIZES AS OBSERVED BY ARCHITECT.
- CONTRACTOR SHALL NOTE REQUIRED MINIMUM U-VALUES OF WINDOWS AND DOORS ON FORM CF-1R OF TITLE 24 ENERGY.
- SLEEPING ROOMS SHALL HAVE AT LEAST ONE WINDOW WITH THE SILL BELOW 44" A.F.F. AND THAT MEETS OR EXCEEDS THE FOLLOWING DIMENSIONS: CLEAR OPENABLE AREA OF 5.7 S.F. (OR 5 S.F. FOR ESCAPE WINDOWS AT GRADE OR IN BASEMENTS), CLEAR OPENABLE WIDTH OF 20", AND CLEAR OPENABLE HEIGHT OF 24". BOTTOM OF CLEAR OPENING SHALL NOT BE GREATER THAN 44" MEASURED FROM FINISHED FLOOR.
- DOORS FROM GARAGE TO HOUSE SHALL BE 20-MINUTE FIRE-RATED SELF-CLOSING, SELF-LATCHING DOORS WITH SMOKE GASKET SEAL.
- SKYLIGHT MANUFACTURER & MODEL TO BE VELUX FCM (FIXED CURB MOUNT) AND VCM (VENTING CURB MOUNT); SIZE VARIES; IAPMO-ES EVALUATION REPORT #0199.
- EXTERIOR DOOR DIMENSIONS LISTED ARE UNIT SIZES, ASSUME 3/8" SHIM @ HEAD & JAMBS. INTERIOR DOOR DIMENSIONS LISTED ARE NOMINAL SIZES.
- WINDOW DIMENSIONS LISTED ARE UNIT SIZES, ASSUME 3/8" @ ALL SIDES.

KEY FOR INTERPRETING WINDOW & SKYLIGHT ASSEMBLIES (ASSM.): A - AWNING B - PREFAB POP-OUT/BAY C - CASEMENT DH - DOUBLE HUNG F - FIXED FS - FIXED FIELD STOP HS - HORIZONTAL SLIDER H - HOPPER J - JALOUSIE O - OPERABLE SH - SINGLE HUNG TT - TILT TURN	KEY FOR INTERPRETING DOOR CORES (CORE): GL - GLASS DOOR HC - HOLLOW CORE HM - HOLLOW METAL L - LOUVER SC - SOLID CORE S/R - STILE AND RAIL	KEY FOR INTERPRETING DOOR TYPES (TYPE): B - BYPASS DOOR BF - BIFOLD DOOR BR - BARN DOOR D - DOUBLE DOOR G - GARAGE DOOR P - POCKET DOOR PV - PIVOT DOOR S - SWING DOOR SD - SLIDING DOOR	KEY FOR INTERPRETING WINDOW, DOOR, FRAME & CASING MATERIALS (MAT'L.): AL - ALUMINUM CS - COMPOSITE DF - DOUGLAS FIR FI - FIBERGLASS GL - GLASS M - MAHOGANY O - OAK P - PINE PG - PAINT GRADE S - STEEL V - VINYL SG - STAIN GRADE WC - SOLID WOOD W/ CLADDING	KEY FOR INTERPRETING GLASS TYPES (GLS.): E - LOW E FR - 3/4-HOUR FIRE RATED CLEAR WITH NO MUNTINS OR WIRES H - HIGH PERFORMANCE (INSULATED, LOW E) I - DOUBLE-GLAZED INSULATED LS - LAMINATED SAFETY OB - OBSCURED S - SINGLE PANE T - TEMPERED
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JCK, GHC, LDI RD
Project No: _____ Issue Date: _____
2239 12/10/23

**DOOR/WINDOW/
SKYLIGHT
SCHEDULES,
NOTES, &
DETAILS**

A5.0