

# KELLY RESIDENCE

## 428 LEE AVENUE SAN MATEO CA

NOTE:  
I agree to comply with the requirements of the water efficient landscape ordinance and submit a complete Landscape Documentation Package.

Sheet  
L TITLE

Revisions  
MAY 20 2020  
2017 FEB 2000

Date  
11-1-17

TITLE SHEET - 3010 ANALY 5/14

**WALLACE LABORATORIES, LLC**  
365 Coral Circle  
El Segundo, CA 90245  
phone (310) 615-0116 fax (310) 640-6863

October 23, 2019

Beau Kelly, kbeaukelly@gmail.com  
718 Sealcliff Drive  
Aptos, CA 95003-3575

RE: Soil Management Report  
Lee Ave, San Mateo County  
Our ID No. 19-298-19, 18", received October 21, 2019

Dear Beau,

The pH is moderately acidic at 6.01. The salinity or soluble salts is modest at 0.40 millimho/cm.

Nitrogen, zinc, boron and sulfur are low. Phosphorus, potassium, iron, manganese, copper and magnesium are high. The concentrations of common non-essential heavy metals are low.

Available sodium is modestly elevated. SAR (sodium adsorption ratio) is 2.8.

The texture is sandy loam. Based on the non-gravel fraction, it contains 63.4% sand, 20.1% silt and 16.5% clay. The gravel content is 17.0%.

Soil organic matter is good at 5.46% on a dry weight basis. The carbon:nitrogen ratio is 13.5.

The estimated rate of water percolation based on Soil Water Characteristics version 6.02.74 model developed by Keith Saxton of the USDA is moderate at 1.13 inches per hour for normal soil compaction. The model is based on the soil texture, percent gravel and percent soil organic matter.

**Recommendations**

General soil preparation on a square foot basis. Broadcast the following uniformly; rates are per 1,000 square feet for a 6-inch lift. Incorporate them homogeneously 6" deep.

Calcium nitrate (15.5-0-0) – 6 pounds  
Potassium sulfate (0-0-50) – 8 pounds  
agricultural gypsum - 40 pounds  
zinc sulfate (36.4% zinc) – 1/4 pound

**Soil Analyses Plant Analyses Water Analyses**

For the preparation on a volume basis, homogeneously blend the following materials into the soil. Rates are expressed per cubic yard:

Calcium nitrate (15.5-0-0) – 1/4 pound  
Potassium sulfate (0-0-50) – 1/3 pound  
agricultural gypsum – 2 pounds  
zinc sulfate (36.4% zinc) – 1/4 ounce

Normally irrigate deeply but not frequently. Balance soil moisture with soil aeration.

For site maintenance, apply calcium nitrate (15.5-0-0) at 6 pounds per 1,000 square feet about once per quarter.

Monitor the site with periodic soil testing. Adjust the maintenance program as needed.

Sincerely,

Garn A. Wallace, Ph. D.  
GAW:n

WALLACE LABS		SOILS REPORT	Print Date	Oct 22, 2019	Receive Date	10/21/19
365 Coral Circle El Segundo, CA 90245 (310) 615-0116		Location Lee Ave, San Mateo County Requester Beau Kelly graphic interpretation: * very low, ** low, *** moderate **** high, ***** very high	Sample ID Number 19-295-19	Sample Description 18"		
ammonium bicarbonate/DTPA extractable - mg/kg soil		Interpretation of data	low	medium	high	
0-7 8-15 over 15		phosphorus	12.84	****	graphic	
0-60 60-120 121-180		potassium	158.35	****		
0-4 4-10 over 10		iron	248.48	****		
0-0.5 0.6-1 over 1		manganese	1.31	****		
0-1 1-1.5 over 1.5		zinc	0.22	*		
0-0.2 0.3-0.5 over 0.5		copper	1.29	****		
0-0.2 0.2-0.5 over 1		boron	0.18	**		
		calcium	323.83	***		
		magnesium	152.24	****		
		sodium	392.30	****		
		sulfur	9.15	*		
		molybdenum	n.d.	*		
		nickel	1.36	**		
		aluminum	n.d.	*		
		arsenic	0.18	*		
		barium	0.96	*		
		cadmium	0.01	*		
		chromium	n.d.	*		
		cobalt	0.03	*		
		lead	0.54	*		
		lithium	0.17	*		
		mercury	n.d.	*		
		selenium	n.d.	*		
		silver	n.d.	*		
		strontium	1.08	*		
		titanium	n.d.	*		
		vanadium	0.32	*		
		calcium sum	4.1			
		chloride	22	0.6		
		nitrate as N	8	0.6		
		phosphorus as P	1.8	0.1		
		sulfate as S	28.0	1.8		
		anion sum	3.0			
		boron as B	0.33	**		
		SAR	2.8	**		
		est. gypsum requirement-lbs./1,000 square feet	67			
		infiltration rate inches/hour	1.13			
		soil texture	sandy loam	gravel > 2 mm		
		sand	63.4%	17.0%		
		silt	20.1%	gravel > 1/4 inch		
		clay	16.5%	0.6%		
		lime (calcium carbonate)	no	gravel > 1/2 inch		
		Total nitrogen	0.202%	0.0%		
		Total organic carbon	2.729%			
		carbon:nitrogen ratio	13.5			
		organic matter based on carbon	5.46%			
		moisture content of soil	10.2%			
		half saturation percentage	18.4%			

Elements are expressed as mg/kg dry soil or mg/l for saturation extract. pH and ECe are measured in a saturation paste extract. nd means not detected. Analytical data determined on soil fraction passing a 2 mm sieve.

**NOTES:**

- I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape design plans.
- A diagram of the irrigation plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.
- A Certificate of Completion shall be filled out by the landscape contractor for the project.
- An Irrigation Audit Report shall be completed the time of final inspection.

PROSUDIRIUM WYLLU  
428 Lee Avenue  
Application #: PLN2019-00467

PLS PHR REVIEW - SAN MATEO COUNTY  
4LEAF, INC. Job No. 705-20-005, ps-1  
Page 2 of 3

**INSTRUCTIONS:**

- Please resubmit two (2) complete sets of revised plans and/or two (2) copies of 8.5x11 documents to -  
County of San Mateo  
Building and Planning Department  
455 County Center  
Redwood City, CA 94063  
(650) 599-7311
- All new plans shall have a wet signature of the designer or the registration number, expiration date and wet signature of the responsible professional (architect, engineer, etc.) on all sheets. (Electronic signatures are not allowed.)
- Provide an itemized list which clearly indicates how each review comment(s) is addressed and the specific location on the plans, specifications or calculations where the correction(s) is provided. Include on the itemized list any changes to the plans or previously submitted documents that are not the result of the plan check correction process. Changes made to the plans not a result of responses to the plan review comments may result in additional comments on future rounds.

**GENERAL COMMENTS:**

- Upon resubmittal, if any changes have been made to the plan documents unrelated to those items identified in the comment lists, please list the changes on a separate sheet and include in your submittal documentation.

**LANDSCAPE ARCHITECTURAL COMMENTS:**

- Each licensed/registered design professional is to seal, sign and date each sheet of responsibility. The designer is to sign and date each sheet of responsibility. Please see instructions above.
- Please reconcile the index on sheet 1 of 5 as none of the sheets are labeled starting with "A." Sheet L-Title is not in the index. There is a sheet L3 in the set but not the index. The plan arrangement is not in order etc. Please reconcile page numbering and ordering with the index. Please move the index to the very first page in the plan set.
- The address on sheet L-Title is not for 428 Lee Avenue. Please reconcile.
- Sheet L2 and L3: Please express water flow in GPM. See redline notes.
- Sheet L1, L2, and L3: Please change the scale to only one conventional scale. See redline notes on each sheet.
- Sheet L1: See redline note for missing TRAJAZ. Please reconcile.
- Show location and size of all hose bibs.

ALL SHEETS  
SEE INDEX ON ARCH PLANS  
ALL SHEETS  
GPH APPROPRIATE FOR DRIP  
SHEET L1  
CHECK COUPLERS ALREADY IN WALL L1  
SEE ARCH PLANS FOR HISE PIPES



831-426-6845  
Ellen Cooper Landscape Architect  
Ca. Lic. #2937

KELLY RESIDENCE, 428 LEE AVENUE, SAN MATEO COUNTY, CA



FRONT-RIGHT SIDE VIEW, NORTH-WEST



REAR VIEW, SOUTH-EAST NORTH-WEST



REAR VIEW, SOUTH-WEST

FRAJKE ZAVUC  
BUILDING DESIGNER  
1261 PINE FLAT RD.  
SANTA CRUZ, CA 95060  
831-239-9666

A.P.N.: 048-093-020

NEW SINGLE FAMILY RESIDENCE  
KELLY RESIDENCE  
428 LEE AVE, COUNTY OF SAN MATEO

△ 2-3-21  
△ 6-5-20

**CONTACTS**

**OWNER:**  
 BEAU KELLY & LESLIE CRUZ  
 718 SEACLIFF DRIVE  
 APTOS, CA 95003  
 CELL: 831-420 7252  
 E-MAIL: kbeaukelly@gmail.com

**BUILDING DESIGNER:**  
 FRAUKE ZAJAC  
 1261 PINE FLAT ROAD  
 SANTA CRUZ, CA 95060  
 CELL: 831-239 9666  
 E-MAIL: frauke@cruzio.com

**CIVIL ENGINEER**  
 SIGMA PRIME  
 CHARLIE KISSICK  
 GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 PH: 650-728 3590  
 E-MAIL: sigmaprm@pacbell.net

**GEOTECHNICAL ENGINEER**  
 SIGMA PRIME  
 GEOSCIENCES, INC.  
 HALF MOON BAY, CA 94019  
 PH: 650-728 3590  
 E-MAIL: sigmaprm@pacbell.net

**PARCEL COVERAGE:**

FIRST FLOOR:	677 SF	
GARAGE:	682 SF	
BALCONY:	140 SF	
<b>TOTAL:</b>	<b>1499 SF</b>	<b>16% (MAX 35%)</b>

**BUILDING FLOOR AREA:**

FIRST FLOOR:	677 SF
SECOND FLOOR:	1288 SF
GARAGE:	682 SF
<b>TOTAL:</b>	<b>2647 SF</b>

**IMPERVIOUS FLOOR AREA**

PATIO	421 SF
LANDING	40 SF
WALKWAY	86 SF
<b>TOTAL</b>	<b>547 SF</b>

6% OF LOT AREA

**PROJECT DATA**

PARCEL SIZE: **9599 SF**  
 PROPOSED 1ST FLOOR: 677 SF  
 PROPOSED 2ND FLOOR: 1288 SF  
 TOTAL PROP. RESIDENCE: 1965 SF  
 PROPOSED GARAGE: 682 SF  
 PROPOSED PATIO: 421 SF  
 PROPOSED BALCONY: 140 SF

**SHEET INDEX**

- A 1 SITE PLAN, CONTACT INFO, SHEET INDEX, SCOPE OF PROJECT
- A 1.1 FIRE NOTES, FIRE TURN AROUND
- A 2 FIRST FLOOR PLAN
- A 3 SECOND FLOOR PLAN
- A 4 ELEVATIONS
- A 5 3D RENDERINGS
- C 1 GRADING & DRAINAGE PLAN, DRIVEWAY PROFILE
- C 2 EROSION 7 SEDIMENT CONTROL PLAN
- L 1 PLANTING PLAN
- L 2 IRRIGATION PLAN
- L DETAIL SHEET
- L IRRIGATION NOTES
- 1 TOPOGRAPHICAL SURVEY

**SCOPE OF PROJECT**

NEW 1965 SF TWO STORY, FOUR BEDROOM, THREE AND 1/2 BATHROOM, SINGLE FAMILY RESIDENCE WITH NEW 682 SF THREE CAR GARAGE, 421 SF PATIO AND 140SF BALCONY ON VACANT LOT.



**Construction Best Management Practices (BMPs)**

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

**Materials & Waste Management**

- Designate an area, lined with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform regular maintenance, repair jobs, and vehicle and equipment washing off-site.
- Use drip pans or other containment devices to catch leaks and spills.
- Use drip pans or other containment devices to catch leaks and spills.
- Use drip pans or other containment devices to catch leaks and spills.

**Equipment Management & Spill Control**

- Designate an area, lined with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform regular maintenance, repair jobs, and vehicle and equipment washing off-site.
- Use drip pans or other containment devices to catch leaks and spills.
- Use drip pans or other containment devices to catch leaks and spills.
- Use drip pans or other containment devices to catch leaks and spills.

**Earthmoving**

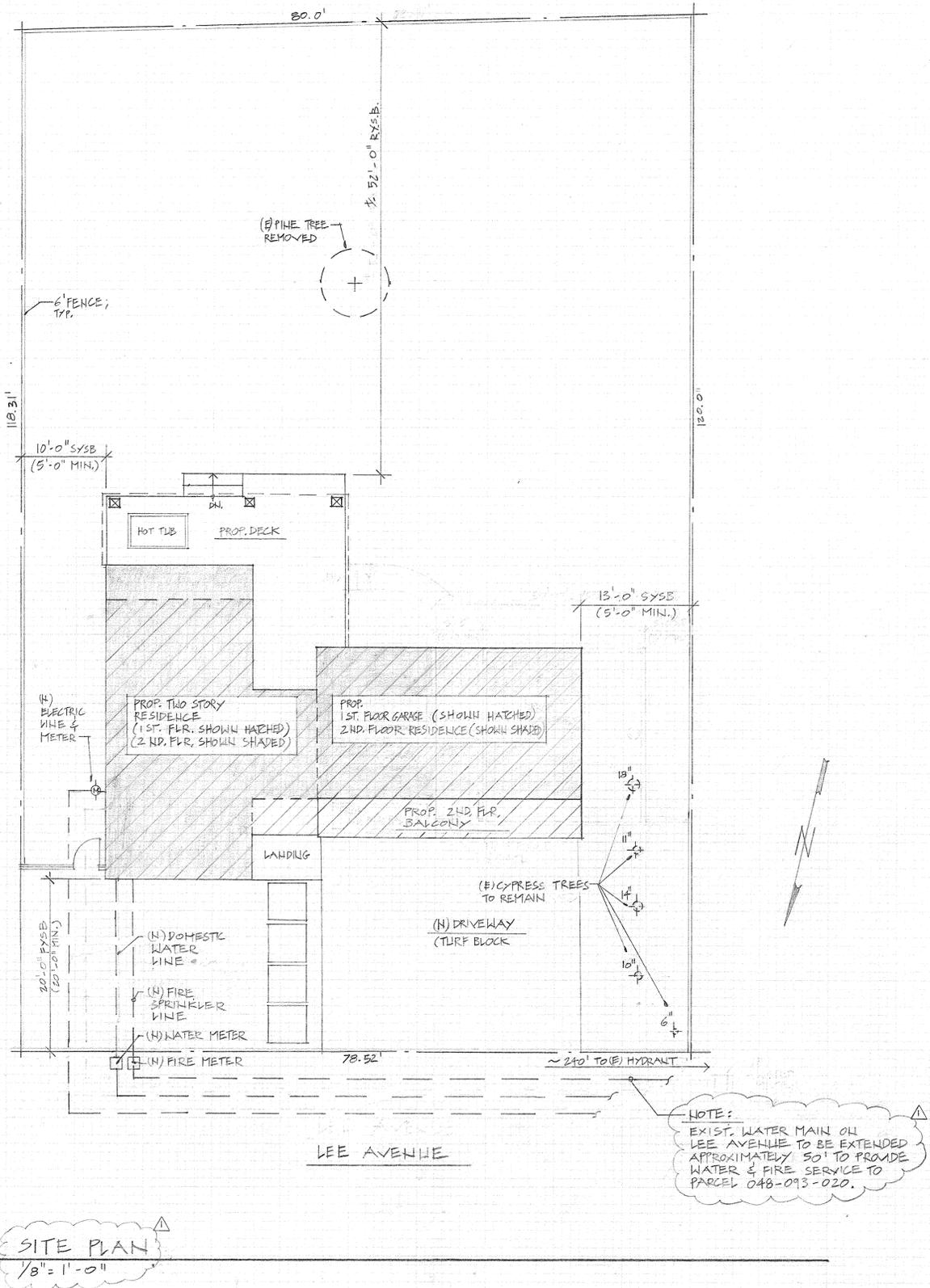
- Schedule grading and excavation work during dry weather.
- Minimize exposed earth and erosion areas.
- Use silt fences and other erosion control measures.
- Use silt fences and other erosion control measures.
- Use silt fences and other erosion control measures.

**Paving/Asphalt Work**

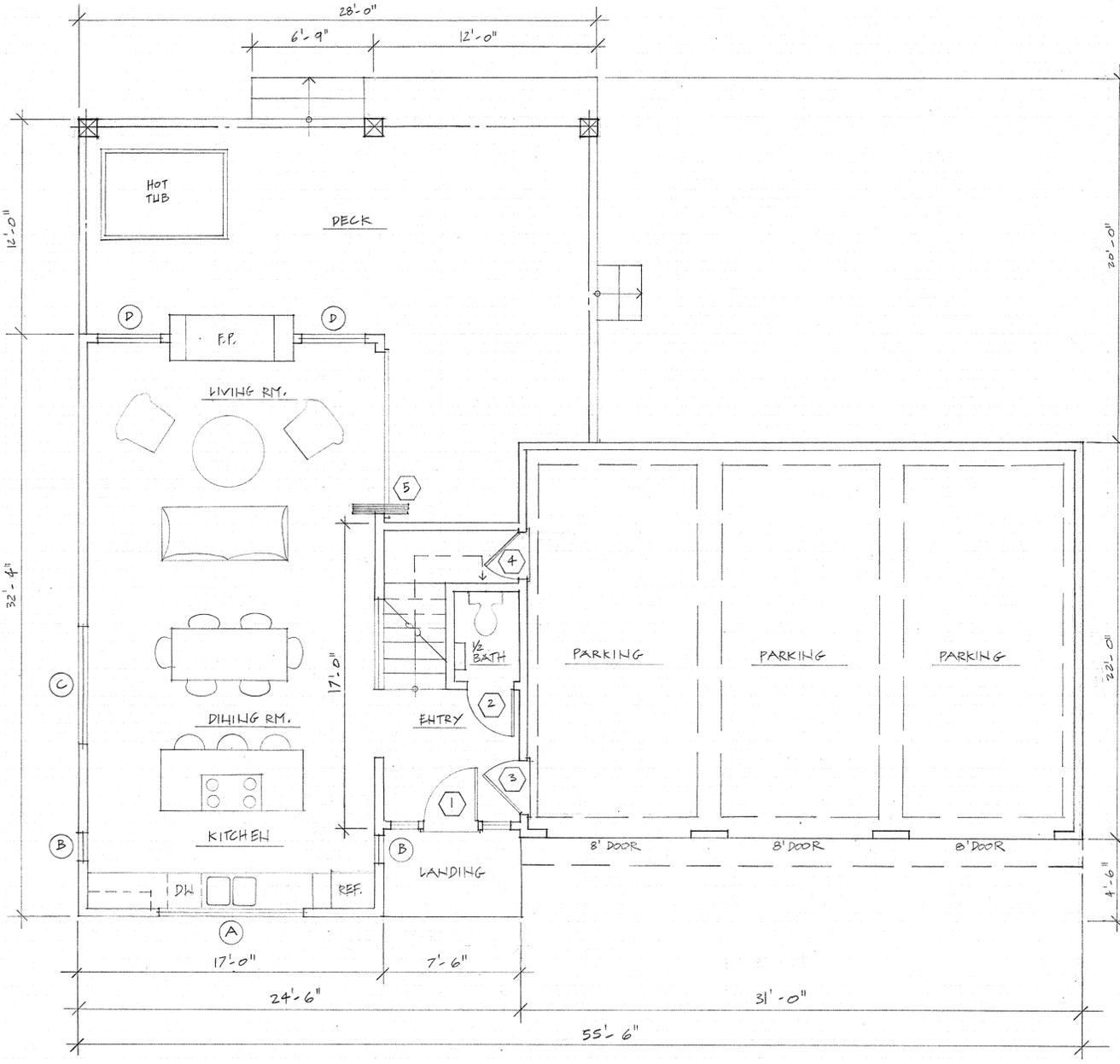
- Use silt fences and other erosion control measures.
- Use silt fences and other erosion control measures.
- Use silt fences and other erosion control measures.
- Use silt fences and other erosion control measures.
- Use silt fences and other erosion control measures.

**Concrete, Grout & Mortar Application**

- Use silt fences and other erosion control measures.
- Use silt fences and other erosion control measures.
- Use silt fences and other erosion control measures.
- Use silt fences and other erosion control measures.
- Use silt fences and other erosion control measures.



FRAUKE ZAJAC  
 BUILDING DESIGNER  
 1261 PINE FLAT RD  
 SANTA CRUZ, CA 95060  
 831-239-9666  
 A.P.N. 048-093-020  
 NEW SINGLE FAMILY RESIDENCE  
 KELLY RESIDENCE  
 LEE AVE, SAN MATEO COUNTY  
 2-3-20  
 6-5-20  
 11-12-19  
 1 OF 5




 FIRST FLOOR PLAN  
 1/4" = 1'-0"

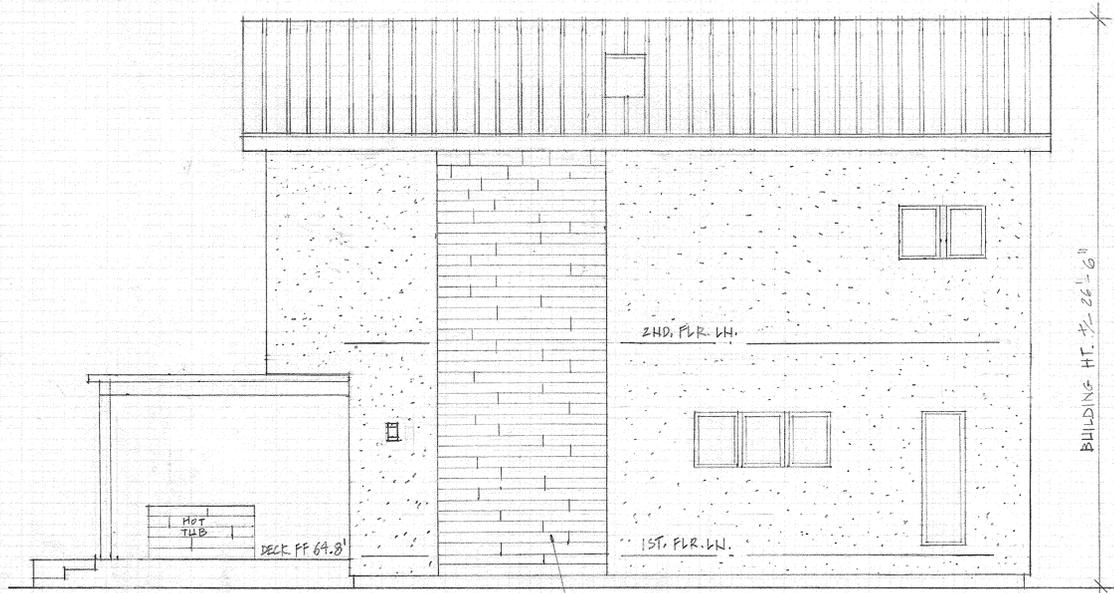
FRAUKE ZAJAC  
 BUILDING DESIGNER  
 1261 FINE FLAT ROAD  
 SANTA CRUZ, CA 95060  
 831-239-9666

A.P.N.: 048-093-020

NEW SINGLE FAMILY RESIDENCE  
 KELLY RESIDENCE  
 428 VEE AVE, SAN MATEO COUNTY

6-4-20

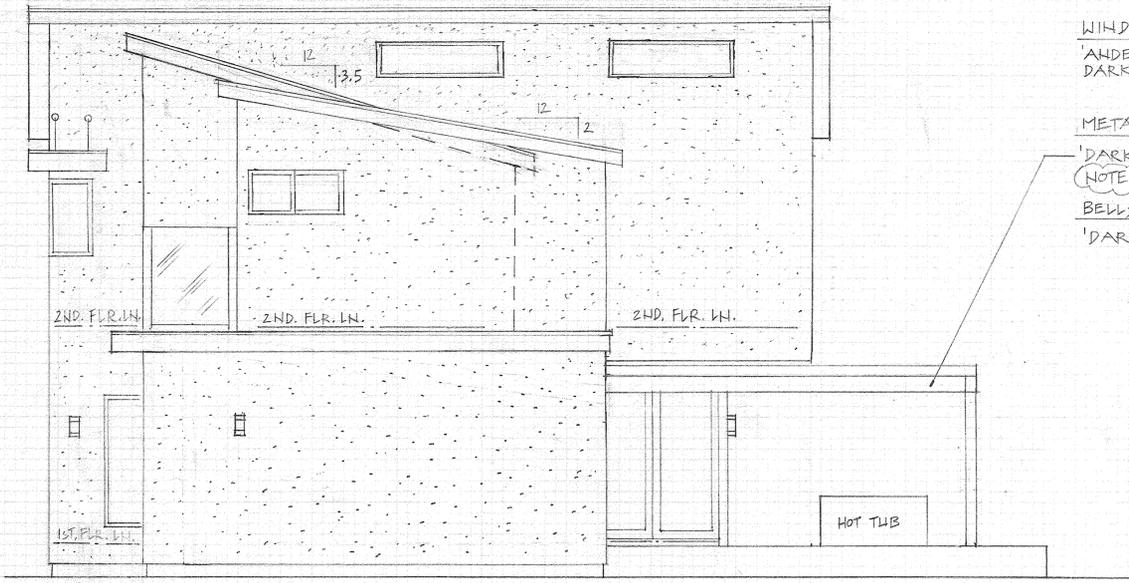




LEFT SIDE ELEVATION - EAST  
1/4" = 1'-0"



FRONT ELEVATION - NORTH  
1/4" = 1'-0"



RIGHT SIDE ELEVATION - WEST  
1/4" = 1'-0"

EXTERIOR MATERIALS

- METAL ROOF  
'DARK BRONZE'  
CLASS 'A' MIN.
- STUCCO  
BENJAMIN MOORE  
'WHITE DOVE' 06-17
- WINDOWS  
ANDERSEN 'FIBREX 100'  
DARK BRONZE
- METAL POSTS & BEAMS  
'DARK BRONZE'  
NOTE: DECK ROOF IS PERMEABLE
- BELLY BAND  
'DARK BRONZE'



REAR ELEVATION - SOUTH  
1/4" = 1'-0"

FRANKIE CAJAC  
BUILDING DESIGNER  
1261 PINE FLAT RD.  
SANTA CRUZ, CA 95060  
831-239-9866

A.P.N.: 248-093-020

NEW SINGLE FAMILY RESIDENCE  
KELLY RESIDENCE  
LEE AVE, SAN MATEO COUNTY

2-3-21  
6-5-20



DATE 12-29-16  
KEVIN M. SMITH, P.L.S. 8237

KEVIN SMITH  
LAND SURVEYING  
1420 MERRILL STREET  
SANTA CRUZ, CA 95062  
(831) 588-0154



TOPOGRAPHIC SURVEY  
FOR: BEAU & CAMERON KELLY  
LEE AVENUE, HALF MOON BAY, CA 94019  
APN 048-093-020

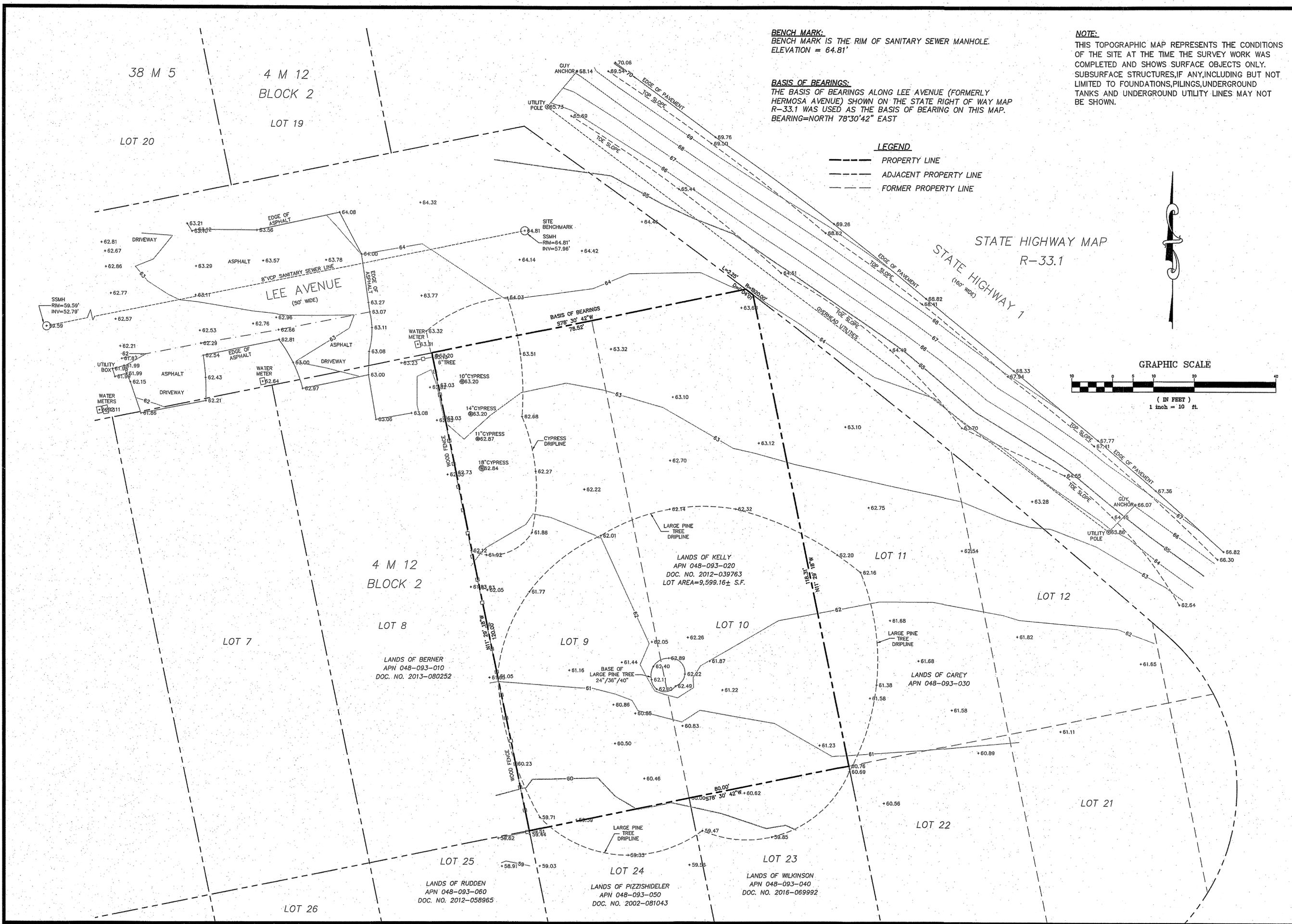
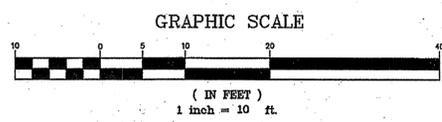
SHEET 1  
OF 1  
DATE DECEMBER 2016  
JOB NO. K16036

**BENCH MARK:**  
BENCH MARK IS THE RIM OF SANITARY SEWER MANHOLE.  
ELEVATION = 64.81'

**BASIS OF BEARINGS:**  
THE BASIS OF BEARINGS ALONG LEE AVENUE (FORMERLY HERMOSA AVENUE) SHOWN ON THE STATE RIGHT OF WAY MAP R-33.1 WAS USED AS THE BASIS OF BEARING ON THIS MAP.  
BEARING=NORTH 78°30'42" EAST

**NOTE:**  
THIS TOPOGRAPHIC MAP REPRESENTS THE CONDITIONS OF THE SITE AT THE TIME THE SURVEY WORK WAS COMPLETED AND SHOWS SURFACE OBJECTS ONLY. SUBSURFACE STRUCTURES, IF ANY, INCLUDING BUT NOT LIMITED TO FOUNDATIONS, PILINGS, UNDERGROUND TANKS AND UNDERGROUND UTILITY LINES MAY NOT BE SHOWN.

- LEGEND**
- PROPERTY LINE
  - - - ADJACENT PROPERTY LINE
  - FORMER PROPERTY LINE



38 M 5  
LOT 20

4 M 12  
BLOCK 2  
LOT 19

STATE HIGHWAY MAP  
R-33.1

STATE HIGHWAY 1  
(160' WIDE)

LEE AVENUE  
(50' WIDE)

4 M 12  
BLOCK 2

LOT 8  
LANDS OF BERNER  
APN 048-093-010  
DOC. NO. 2013-080252

LOT 9

LANDS OF KELLY  
APN 048-093-020  
DOC. NO. 2012-039763  
LOT AREA=9,599.16± S.F.

LOT 10

LOT 11

LOT 12

LANDS OF CAREY  
APN 048-093-030

LOT 21

LOT 25

LANDS OF RUDDEN  
APN 048-093-060  
DOC. NO. 2012-058965

LOT 24

LANDS OF PIZZISHIDELER  
APN 048-093-050  
DOC. NO. 2002-081043

LOT 23

LANDS OF WILKINSON  
APN 048-093-040  
DOC. NO. 2016-069992

LOT 26

"I agree to comply with the requirements of the WELO ordinance and applied them for the efficient use of water in the landscape design plans."

Date 9-29-20

Project Landscape Architect Ellen Cooper

Sheet **L3**

**Notes:**  
 A diagram of the Irrigation Plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.  
 A Certificate of Completion shall be filled out and certified by either the Landscape Architect or the Landscape Contractor.  
 An Irrigation Audit Report by a certified auditor shall be completed at the time of the final inspection and submitted to San Mateo in 8 1/2"x11" format to be checked.  
 Landscape Contractor shall follow all recommendations of the lab for soil preparation.

**Irrigation Notes**  
 "Irrigation system shall be inspected regularly for leaks, misaligned heads and bad valves."  
 "Broken equipment shall be repaired promptly with identical or equivalent equipment."  
 "The installed landscape shall be maintained free of invasive plants."  
 "Watering schedules shall be adjusted to reflect variations in water need based on season or plant maturity."

Existing Water Pressure = 115 PSI

Revisions  
 JULY 2017  
 APRIL 2020

Date  
 October 4th,  
 2018

Ca. Lic. #2937

Ellen Cooper Landscape Architect

Irrigation Plan  
 Hydrozone Plan

Kelly  
 428 Lee Avenue, San Mateo County, Ca.

**Irrigation Legend**

- Hunter Pro C Controller With Hunter 'Solar Sync' ET System With Automatic Rain Shut Off Device PC-400 WSS-SEN
- Point of Connection (Irrigation main to water main)
- Febco 825 Y Reduced Pressure Back Flow Preventer per Manufacturers Specifications
- Irrigation Main - Schedule 40 PVC min. 18" bury |<sup>1</sup>
- Watts Gate Valve |<sup>1</sup>
- Hunter PGV Angle Valve with a Senniger Pressure Regulator and an AG Products Wye Filter in Valve Box, Top of Box at Grade
- Irrigation Lateral - Schedule 40 PVC min. 12" bury,
- Schedule 40 PVC Sleeve (2x the diameter of the pipe), 1' PVC Conduit for Controller Wires
- Polyethylene Drip Tubing with 'In Line' Emitters
- Wilkens Series 600 Pressure Regulator After Water Meter

**Irrigation Notes**

The landscape contractor shall verify existing conditions, water pressure and the condition of the water meter and notify the landscape architect of any discrepancies.  
 The landscape contractor shall insure complete coverage and shall adjust all heads for optimum performance and minimize overspray.  
 The landscape contractor shall install the irrigation controller over the junction box and connect to electrical service. The controller shall be installed per manufacturer's specifications.  
 Backflow prevention device shall be installed per manufacturer's specifications.  
 Remote control valves shall be installed in plastic boxes 1" above finish grade with locking lids marked 'Irrigation Control Valve' located 12" minimum from walk ways or curbs where possible.  
 Piping and valve boxes shall be installed in planted, gravel or dirt areas whenever possible.  
 The piping diagram shall be considered diagrammatic only. All above ground piping and fittings shall be galvanized.  
 Drip pressure regulator and wye filter shall be installed in rectangular plastic boxes 1" above grade.  
 The entire drip system shall be flushed prior to the installation of emitters.  
 Install drip emitters in line (or on 1/4" tubing as necessary) at each plant a minimum of 3" from the trunk according to the following schedule. Drip lines shall be buried 2" below final grade. Stake drip tube with 'U' shaped stakes at 4'-0" oc. Install manual flush valves at circuit ends.  
 Emitter Schedule:  
 1 gallon plant      2 - 1/2 gallon emitters      5 gallon plant      2 - 1 gallon emitters  
 15 gallon plant    3 - 2 gallon emitters      24" box plant      4 - 2 gallon emitters

**WATER EFFICIENT LANDSCAPE WORKSHEET**

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Reference Evapotranspiration (Eto) 33.7

Hydrozone # (Planting Description)	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF/IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)*
<b>Regular Landscape Areas</b>							
ZONE 1 VALVE #1	0.9	DRIP	0.8	1.125	1070	1147	10,910
ZONE 2 VALVE #2	0.9	DRIP	0.8	1.125	1070	1147	10,910
ZONE 3 VALVE #3	0.9	DRIP	0.8	1.125	2124	2387	21,719
				Totals	4264	4681	43,539
<b>Special Landscape Areas</b>							
				1			
				1			
				1			
				Totals	(C)	(D)	φ
						ETWU Total	43,539
						Maximum Allowed Water Allowance (MAWA)	48,701

\*Hydrozone #/Planting Description  
 E.g.  
 1) front lawn  
 2) low water use plantings  
 3) medium water use planting

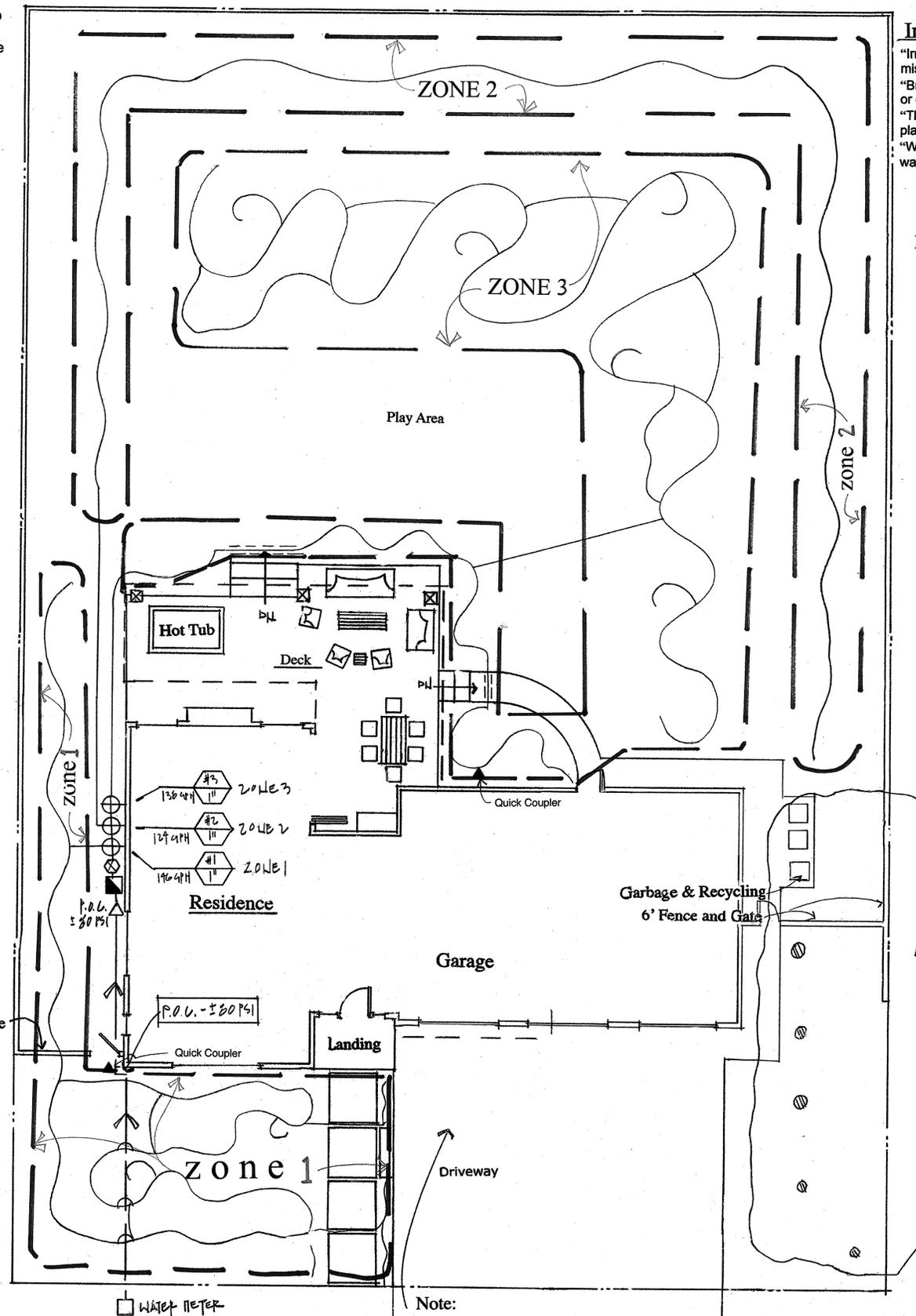
\*MAWA (Annual Gallons Allowed) = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]  
 where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total special landscape area in square feet. and ETAF is .55 for residential areas and 0.45 for non-residential areas.

**ETAF Calculations**

<b>Regular Landscape Areas</b>	
Total ETAF x Area	1075
Total Area	4264
Average ETAF	0.25

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

<b>All Landscape Areas</b>	
Total ETAF x Area	(B+D)
Total Area	(A+C)
Sitewide ETAF	(B+D) / (A+C)



**Irrigation Plan**  
 Hydrozone Plan

Note:  
 Change from polyethylene tube to PVC under paving

Use engineers scale 1"=60" 1"=6'-0"

"I agree to comply with the requirements of the WELO ordinance and applied them for the efficient use of water in the landscape design plans."

Date 4-29-20

Project Landscape Architect Ellen Cooper

Sheet  
L2

**Notes:**  
A diagram of the Irrigation Plan showing hydrozones shall be kept with the irrigation controller for subsequent management purposes.  
A Certificate of Completion shall be filled out and certified by either the Landscape Architect or the Landscape Contractor. An Irrigation Audit Report by a certified auditor shall be completed at the time of the final inspection and submitted to San Mateo in 8 1/2"x11" format to be checked.  
Landscape Contractor shall follow all recommendations of the lab for soil preparation.

**Irrigation Legend**

- Hunter Pro C Controller With Hunter 'Solar Sync' ET System With Automatic Rain Shut Off Device PC-400 WSS-SEN
- Point of Connection (Irrigation main to water main)
- Febcos 825 Y Reduced Pressure Back Flow Preventer per Manufacturers Specifications
- Irrigation Main - Schedule 40 PVC min. 18" bury 1"
- Watts Gate Valve 1"
- Hunter PGV Angle Valve with a Senniger Pressure Regulator and an AG Products Wye Filter in Valve Box, Top of Box at Grade
- Irrigation Lateral - Schedule 40 PVC min. 12" bury,
- Schedule 40 PVC Sleeve (2x the diameter of the pipe), 1" PVC Conduit for Controller Wires
- Polyethylene Drip Tubing with 'In Line' Emitters
- Wilkens Series 600 Pressure Regulator After Water Meter
- AVIC COMP

**Irrigation Notes**

The landscape contractor shall verify existing conditions, water pressure and the condition of the water meter and notify the landscape architect of any discrepancies.  
The landscape contractor shall insure complete coverage and shall adjust all heads for optimum performance and minimize overspray.  
The landscape contractor shall install the irrigation controller over the junction box and connect to electrical service. The controller shall be installed per manufacturer's specifications.  
Backflow prevention device shall be installed per manufacturer's specifications.  
Remote control valves shall be installed in plastic boxes 1" above finish grade with locking lids marked 'Irrigation Control Valve' located 12" minimum from walk ways or curbs where possible.  
Piping and valve boxes shall be installed in planted, gravel or dirt areas whenever possible.  
The piping diagram shall be considered diagrammatic only. All above ground piping and fittings shall be galvanized.  
Drip pressure regulator and wye filter shall be installed in rectangular plastic boxes 1" above grade.  
The entire drip system shall be flushed prior to the installation of emitters.  
Install drip emitters in line (or on 1/4" tubing as necessary) at each plant a minimum of 3" from the trunk according to the following schedule. Drip lines shall be buried 2" below final grade. Stake drip tube with 'U' shaped stakes at 4'-0" oc. Install manual flush valves at circuit ends.  
Emitter Schedule:  
1 gallon plant    2 - 1/2 gallon emitters    5 gallon plant    2 - 1 gallon emitters  
15 gallon plant    3 - 2 gallon emitters    24" box plant    4 - 2 gallon emitters

**Irrigation Notes**

- "Irrigation system shall be inspected regularly for leaks, misaligned heads and bad valves.
- "Broken equipment shall be repaired promptly with identical or equivalent equipment.
- "The installed landscape shall be maintained free of invasive plants.
- "Watering schedules shall be adjusted to reflect variations in water need based on season or plant maturity."

Existing Water Pressure = 115 PSI

Revisions  
JULY 2017  
APRIL 2020  
OCTOBER 2020

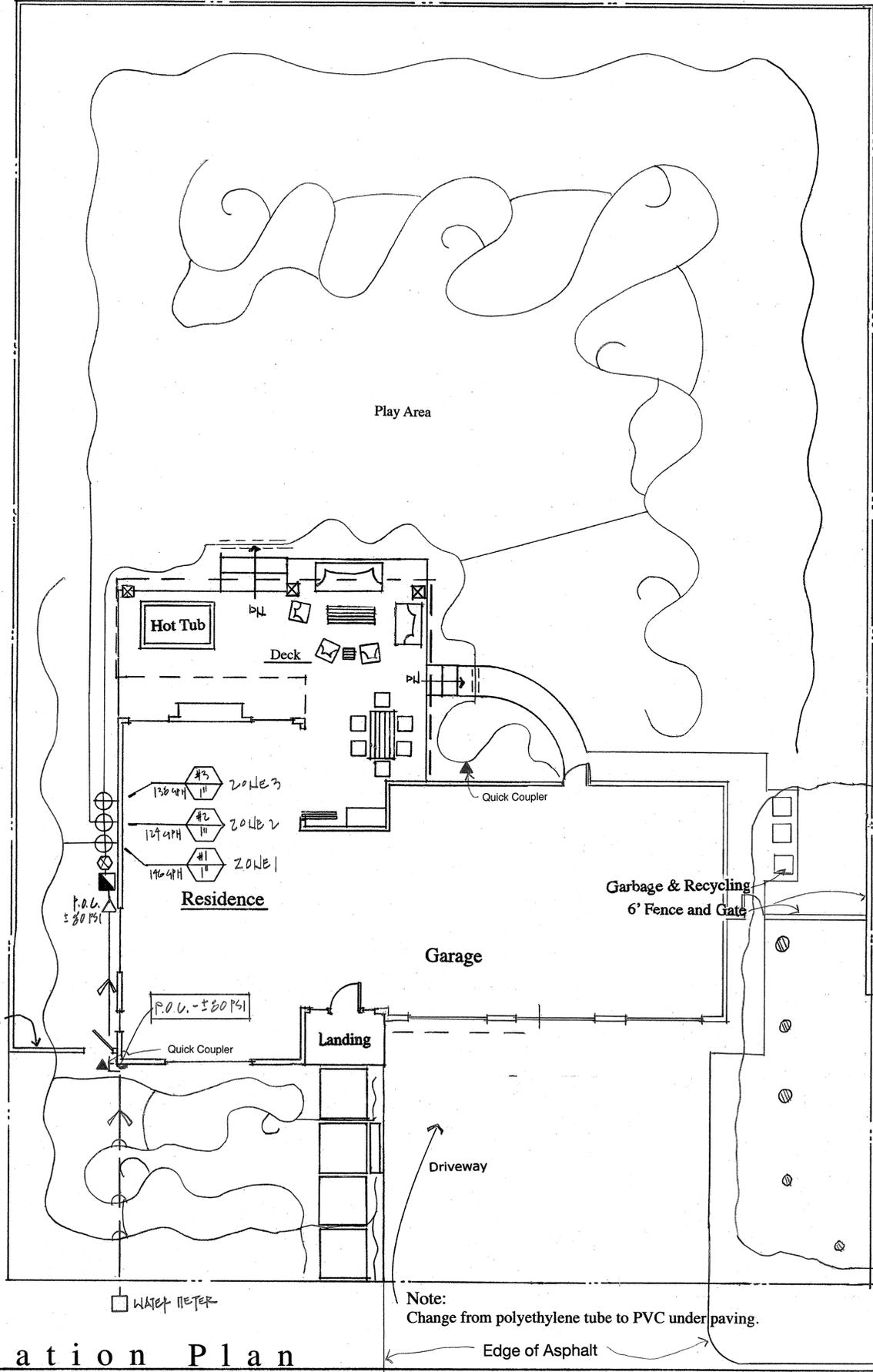
Date  
October 4th,  
2018

Ca. Lic. #2937

Ellen Cooper  
Landscape Architect

Irrigation Plan

Kelly  
425 Lee Avenue, San Mateo County, Ca.



North



Note:  
Change from polyethylene tube to PVC under paving.

Edge of Asphalt

Use engineers scale 1"=60" 1"=6'-0"

**WATER EFFICIENT LANDSCAPE WORKSHEET**

This worksheet is filled out by the project applicant and it is a required element of the Landscape Documentation Package.

Hydrozone # (Planting Description)	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency (IE)	ETAF (PF*IE)	Landscape Area (sq. ft.)	ETAF x Area	Estimated Total Water Use (ETWU)	
<b>Regular Landscape Areas</b>								
ZONE 1 VALVE #1	L	PPIP	.8	.99	1070	99	1070	
ZONE 2 VALVE #2	L	PPIP	.8	.99	1097	91	1097	
ZONE 3 VALVE #3	L	PPIP	.8	.99	2124	190	2124	
Totals						4295	2075	4333
<b>Special Landscape Areas</b>								
					1			
					1			
					1			
Totals						(C)	(D)	φ
ETWU Total							4333	
Maximum Allowed Water Allowance (MAWA)							43701	

**Hydrozone #/Planting Description**  
E.g.  
1) front lawn  
2) low water use plantings  
3) medium water use plantings

**Irrigation Method**  
overhead spray or drip

**Irrigation Efficiency**  
0.75 for spray head  
0.81 for drip

**ETWU (Annual Gallons Required) =**  
Eto x 0.62 x ETAF x Area  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year.

**MAWA (Annual Gallons Allowed) =**  
((1-ETAF) x SLA)  
where 0.62 is a conversion factor that converts acre-inches per acre per year to gallons per square foot per year. LA is the total landscape area in square feet. SLA is the total special landscape area in square feet. and ETAF is .55 for residential areas and 0.45 for non-residential areas.

**ETAF Calculations**

Regular Landscape Areas	
Total ETAF x Area	2075
Total Area	4295
Average ETAF	.49

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, and 0.45 or below for non-residential areas.

**All Landscape Areas**

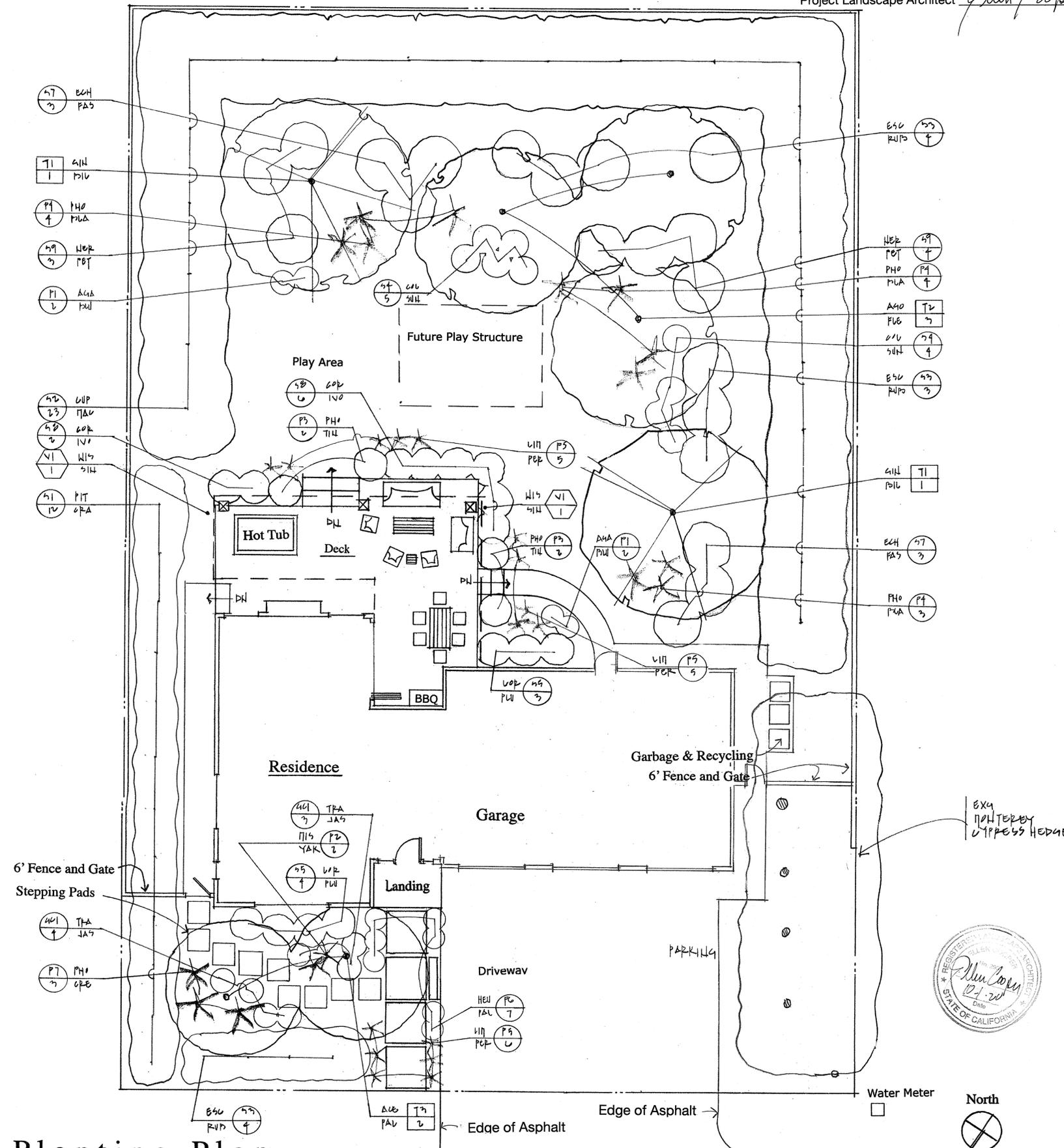
Total ETAF x Area	(B+D)
Total Area	(A+C)
Sitewide ETAF	(B+D) ÷ (A+C)

**Irrigation Plan**

Plant Legend

PF	Sym	Botanical Name	Common Name	Size	Quan
		Trees			
M	T1	Ginkgo biloba	Ginkgo	24"BX	2
L	T2	Agonis flexuosa	Peppermint Willow	24"BX	3
M	T3	Acer palmatum	Green-leafed Japanese Maple	24"BX	2
		Shrubs			
M	S1	Pittosporum crassifolium-Screen	Karo Seaside Pittosporum	15GC	12
M	S2	Cupressus macrocarpa	Monterey Cypress	15GC	23
M	S3	Escallonia rubrum	Red Escallonia	5GC	11
L	S4	Coleonema 'Sunset Gold'	Gold-leafed Breath of Heaven	5GC	9
L	S5	Loropetalum 'Plum Delight'	Red-leafed Magenta Fringe Flower	5GC	7
L	S6	Nandina domestica	Heavenly (False) Bamboo	5GC	9
L	S7	Echium fastuosum	Purple Pride of Madiera	5GC	6
L	S8	Correa 'Ivory Bells'	White Australian Fuchsia	1GC	8
L	S9	Nerium oleander 'Petite Salmon'	Semi-dwarf Salmon Oleander	5GC	7
		Perennials			
L	P1	Agave 'Blue Glow'	Agave	5GC	4
M	P2	Miscanthus sinensis 'Yakushima'	Deciduous Dwarf Maiden Grass	1GC	2
L	P3	Phormium 'Tiny Tiger'	Dwarf Variegated Flax	1GC	4
L	P4	Phormium 'Black Adder'	Deep Burgundy Flax	5GC	11
L	P5	Limonium perezii	Purple Sea Lavender	1GC	16
L	P6	Heuchera 'Palace Purple'	Red-leafed Heuchera	1GC	7
L	P7	Phormium 'Cream Delight'	Cream/Green Flax	5GC	3
		Vines			
M	V1	Wisteria sinensis	Purple Wisteria	5GC	2
		Groundcovers			
M	GC1	Trachelospermum jasminoides	White Star Jasmine	1GC	7

Replacement Trees



W.E.L.O. Notes

- Plant material shall comply with all of the following:
  - For residential areas, install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water; For non-residential areas, install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 100% of the plant area excluding edibles and areas using recycled water;
  - A minimum three inch (3) layer of mulch shall be applied on all exposed soil surfaces of planting areas except in turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.
- Turf shall comply with all of the following:
  - Turf shall not exceed 25% of the landscape area in residential areas, and there shall be no turf in non-residential areas;
  - Turf shall not be planted on sloped areas which exceed a slope of 1 foot vertical elevation change for every 4 feet of horizontal length;
  - Turf is prohibited in parkways less than 10 feet wide, unless the parkway is adjacent to a parking strip and used to enter and exit vehicles. Any turf in parkways must be irrigated by sub-surface irrigation or by other technology that creates no overspray.
- Irrigation systems shall comply with the following:
  - Automatic irrigation controllers are required and must use evapotranspiration or soil moisture sensor data and utilize a rain sensor.
  - Irrigation controllers shall be of a type which does not lose programming data in the event the primary power source is interrupted.
  - Pressure regulators shall be installed on the irrigation system to ensure the dynamic pressure of the system is within the manufacturers recommended pressure range.
  - Manual shut-off valves (such as a gate valve, ball valve, or butterfly valve) shall be installed as close as possible to the point of connection of the water supply.
  - All irrigation emission devices must meet the requirements set in the ANSI standard, ASABE/ICC 802-2014, "Landscape Irrigation Sprinkler and Emitter Standard," All sprinkler heads installed in the landscape must document a distribution uniformity low quarter of 0.65 or higher using the protocol defined in ASABE/ICC 802-2014.
  - Areas less than ten (10) feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray.
  - For non-residential projects with landscape areas of 1,000 sq. ft. or more, a private submeter(s) to measure landscape water use shall be installed.
  - At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule and a schedule of landscape and irrigation maintenance.

Planting Plan

Use engineers scale 1"=60" 1"=6'-0"

Sheet L1

Revisions  
JULY 2017  
APRIL 2018  
001/002/003

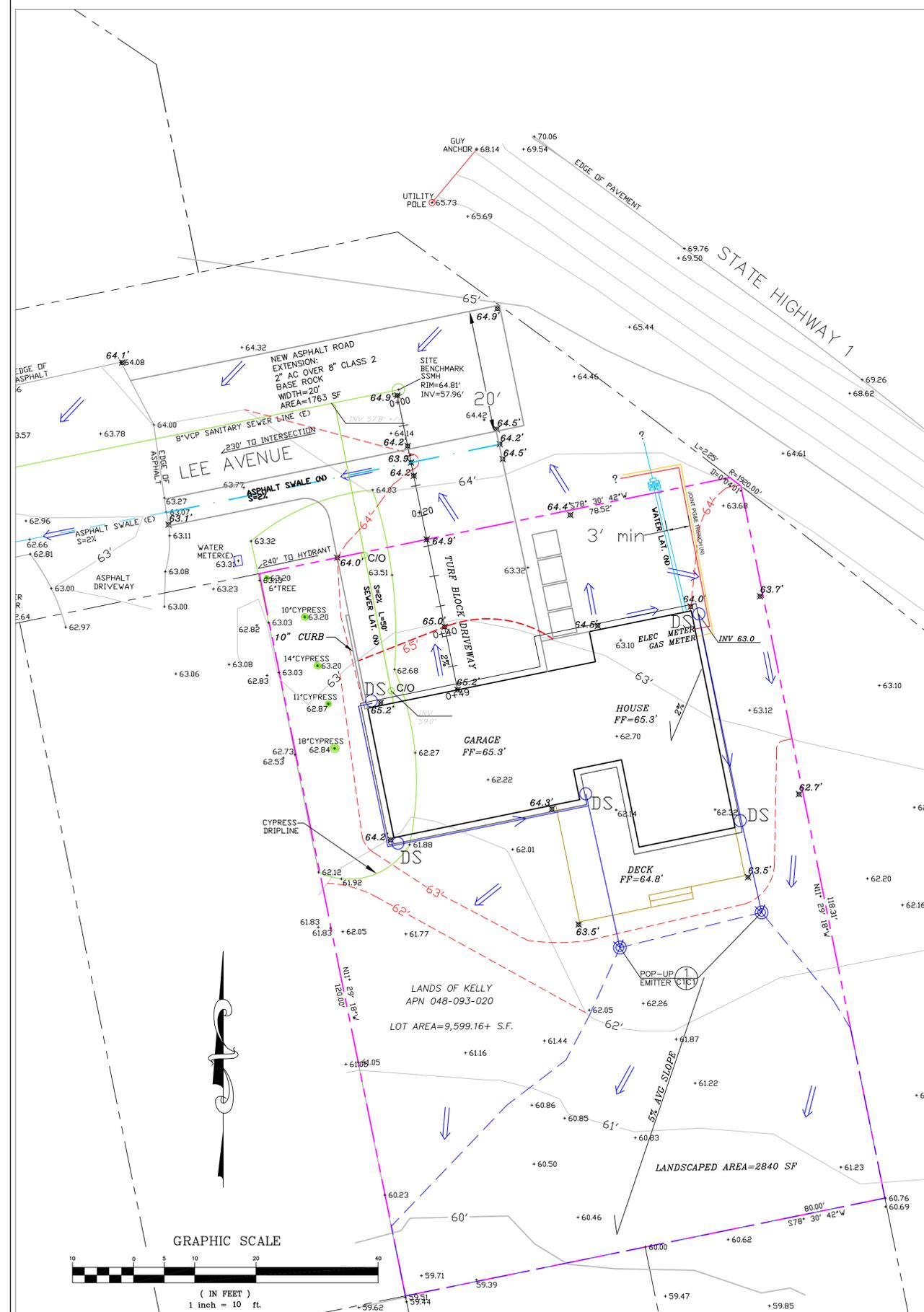
Date  
October 4th,  
2018

Ca. Lic. #2937

Ellen Cooper  
Landscape Architect

Planting Plan

Kelly  
428 Lee Avenue, San Mateo County, Ca.



**LEGEND**

- EXISTING 5' CONTOUR
- EXISTING 1' CONTOUR
- - - PROPOSED CONTOUR
- + 64.46 EXISTING SPOT ELEVATION
- + 65.0 PROPOSED SPOT ELEVATION
- DS DOWNSPOUT
- 4" MIN SOLID DRAIN PIPE

**GENERAL NOTES**

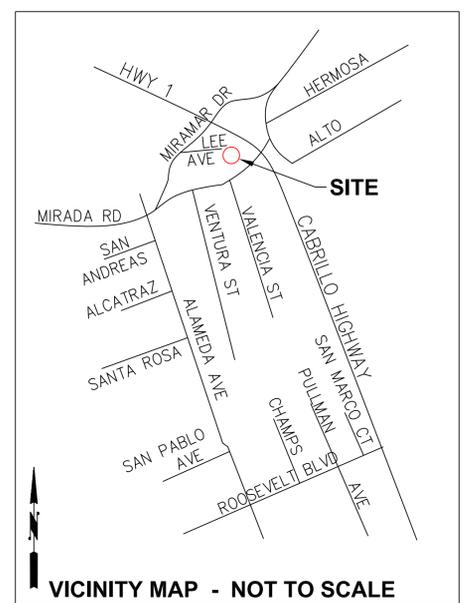
1. PLANS PREPARED AT THE REQUEST OF: BEAU KELLY, OWNER
2. TOPOGRAPHY BY KEVIN SMITH LAND SURVEYING, SURVEYED DECEMBER 2016.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM ASSUMED.
5. THE GEOTECHNICAL REPORT: **GEOLOGIC AND GEOTECHNICAL INVESTIGATION FOR KELLY RESIDENCE LEE AVENUE (APN: 048-093-020) MIRAMAR CALIFORNIA.** DATED: MARCH 4 2019, BY SIGMA PRIME GEOSCIENCES, INC. PROJECT NO. 18-136. SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, INC., WITH THE CONTACT NUMBER (650) 728-3590 (SIGMAPRM@GMAIL.COM). THE CONTRACTOR MUST NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
6. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUG-BGRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650-306-8405 EXT 181) TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

**DRAINAGE NOTES**

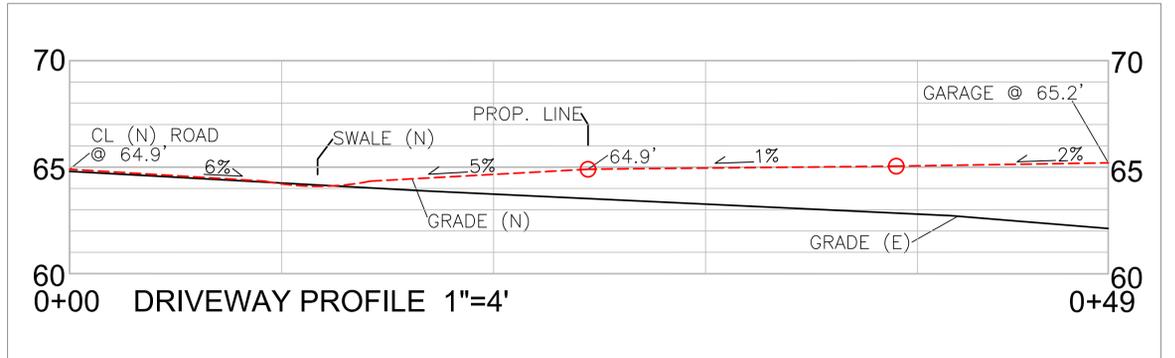
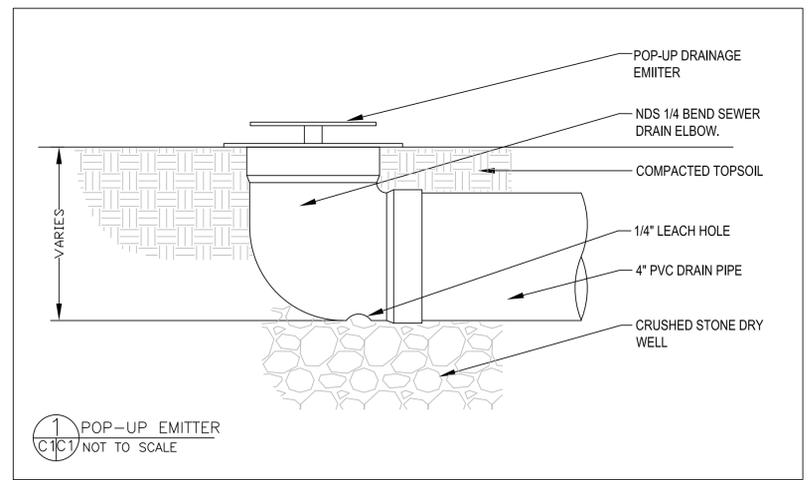
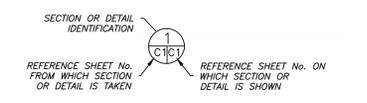
1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. SLOPE ALL IMPERVIOUS SURFACES A MINIMUM OF 2% AWAY FROM BUILDING. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO POP-UP EMITTERS, AS SHOWN.
3. RUNOFF FROM THE POP-UP EMITTERS WILL CROSS AN AREA OF ABOUT 2840 SQUARE FEET, EXCEEDING THE MINIMUM ALLOWED AREA OF 2000 SQUARE FEET. THE AVERAGE SLOPE IN THE LANDSCAPED AREA IS 5 PERCENT.
4. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
5. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS AND DOWNSPOUT LINES TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

**GRADING NOTES**

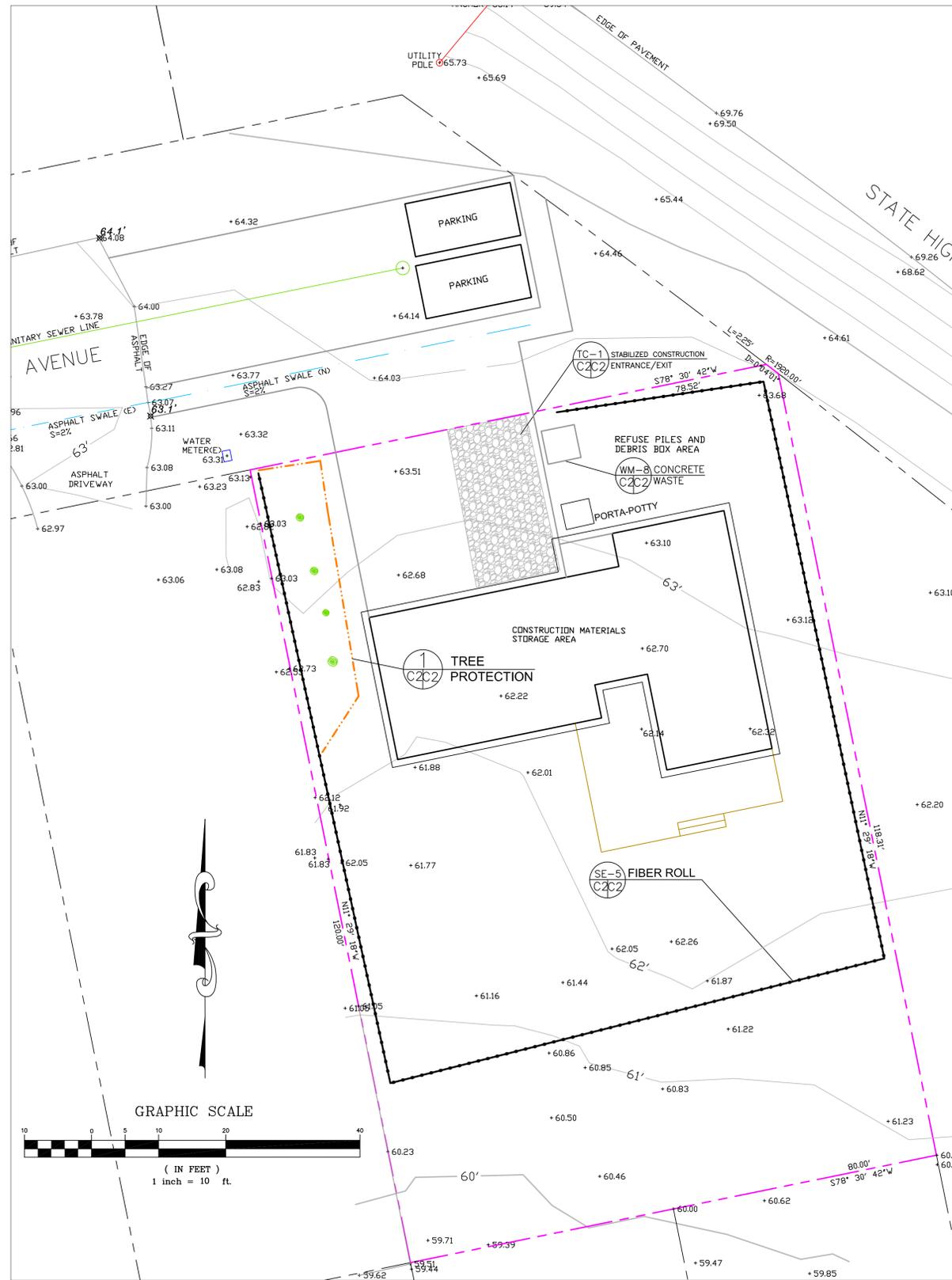
- CUT VOLUME : 30 CY (FOR FOUNDATION)
- FILL VOLUME: 30 CY
- VOLUMES ABOVE ARE APPROXIMATE.
- THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.



**SECTION AND DETAIL CONVENTION**



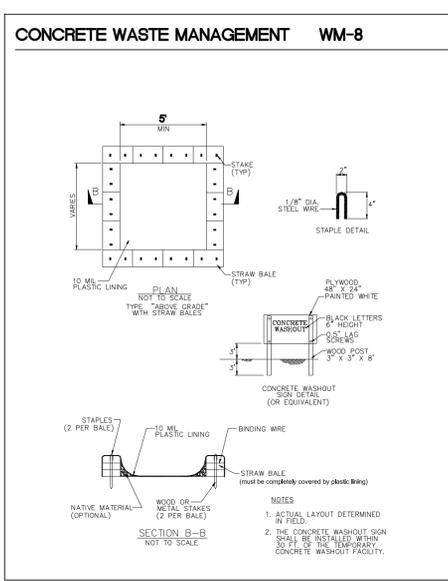
GRADING AND DRAINAGE PLAN KELLY PROPERTY LEE AVENUE MIRAMAR APN 048-093-020	DATE: 4-2-20 DRAWN BY: CMK CHECKED BY: AZG REV. DATE: 5-28-20 REV. DATE: 12-12-23	SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593
	SHEET <b>C-1</b>	REV. DATE:



**EROSION CONTROL NOTES**

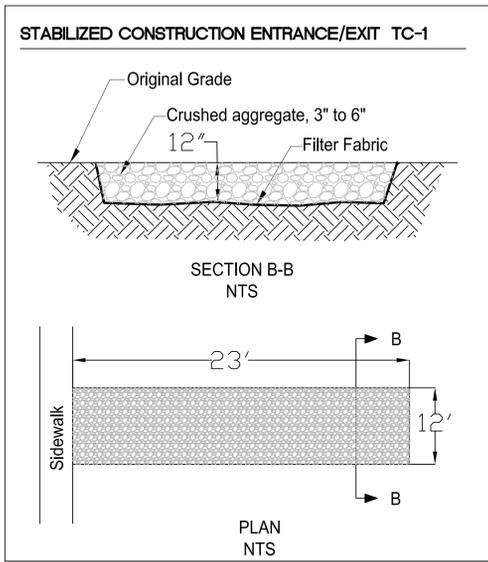
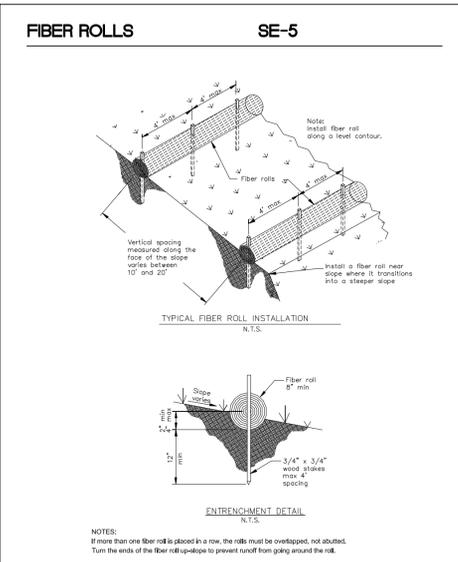
FIBER ROLL  
INSTALL AT LOCATIONS SHOWN.  
AFIX AS SHOWN IN DETAIL SE-5

1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
6. ROCKED CONSTRUCTION ENTRANCE SHALL BE 32 FEET LONG BY 12 FEET WIDE AND CONFORM TO THE FOLLOWING:
  - A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE.
  - B. PAD SHALL BE NOT LESS THAN 12" THICK.
  - C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
  - D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
7. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)



**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site
- The tree protection shall be in place before any grading, excavating or grubbing is started.



**EROSION CONTROL POINT OF CONTACT**

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

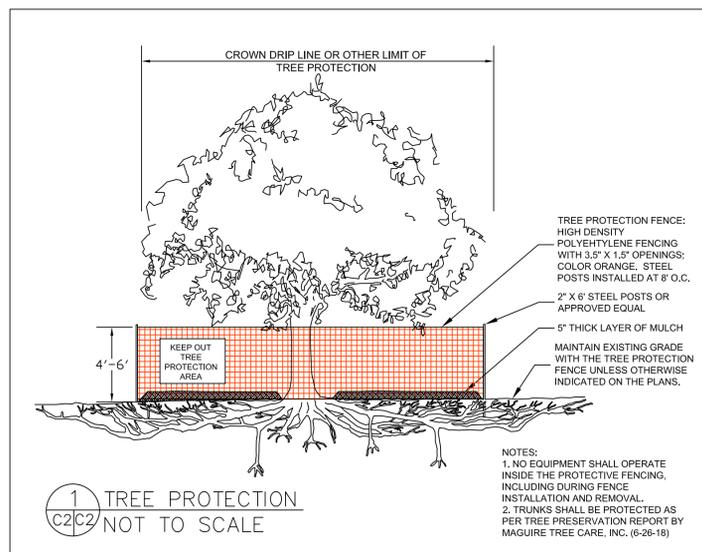
NAME: BEAU KELLY

TITLE/QUALIFICATION: OWNER

PHONE: 831-420-7252

PHONE: \_\_\_\_\_

E-MAIL: \_\_\_\_\_



**TREE PROTECTION NOTES**

1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.

EROSION AND SEDIMENT CONTROL PLAN	DATE: 4-2-20	DRAWN BY: CHK	CHECKED BY: AZG	REV. DATE: 5-28-20	REV. DATE: 12-12-23	REV. DATE:
	Sigma Prime Geosciences, Inc.			SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593		
KELLY PROPERTY LEE AVENUE MIRAMAR		APN 048-093-020				
SHEET C-2						

**CONTACTS**

**OWNER:**  
 BEAU KELLY & LESLIE CRUZ  
 718 SEACLIFF DRIVE  
 APTOS, CA 95003  
 CELL: 831-420 7252  
 E-MAIL: kbeaukelly@gmail.com

**BUILDING DESIGNER:**  
 FRAUKE ZAJAC  
 1261 PINE FLAT ROAD  
 SANTA CRUZ, CA 95060  
 CELL: 831-239 9666  
 E-MAIL: frauke@cruzio.com

**CIVIL ENGINEER:**  
 SIGMA PRIME  
 CHARLIE KISSICK  
 GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 PH: 650-728 3590  
 E-MAIL: sigmaprm@pacbell.net

**GEOTECHNICAL ENGINEER:**  
 SIGMA PRIME  
 GEOSCIENCES, INC.  
 HALF MOON BAY, CA 94019  
 PH: 650-728 3590  
 E-MAIL: sigmaprm@pacbell.net

**PARCEL COVERAGE:**

FIRST FLOOR:	677 SF
GARAGE:	682 SF
BALCONY:	140 SF
<b>TOTAL:</b>	<b>1499 SF 16% (MAX 35%)</b>

**BUILDING FLOOR AREA:**

FIRST FLOOR:	677 SF
SECOND FLOOR:	1288 SF
GARAGE:	682 SF
<b>TOTAL:</b>	<b>2647 SF 28% (MAX 53%)</b>

**IMPERVIOUS FLOOR AREA**

PATIO	421 SF
LANDING	40 SF
WALKWAY	86 SF
<b>TOTAL</b>	<b>547 SF</b>
6% OF LOT AREA	



**Materials & Waste Management**

**Household Materials**

- Disposal of household materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and auto fluids) is prohibited with this, except when authorized by the local agency.
- Use of the (not due to) increased water for dust control.

**Household Appliances**

- Label all household materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and auto fluids) to accordance with this, except when authorized by the local agency.
- Use of the (not due to) increased water for dust control.

**Waste Management**

- Household materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and auto fluids) are prohibited with this, except when authorized by the local agency.
- Use of the (not due to) increased water for dust control.

**Construction Best Management Practices (BMPs)**  
 Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

**Painting & Paint Removal**

**Concrete, Grout & Mortar Application**

**Landscaping**

**Driveway**

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

**PROJECT DATA**

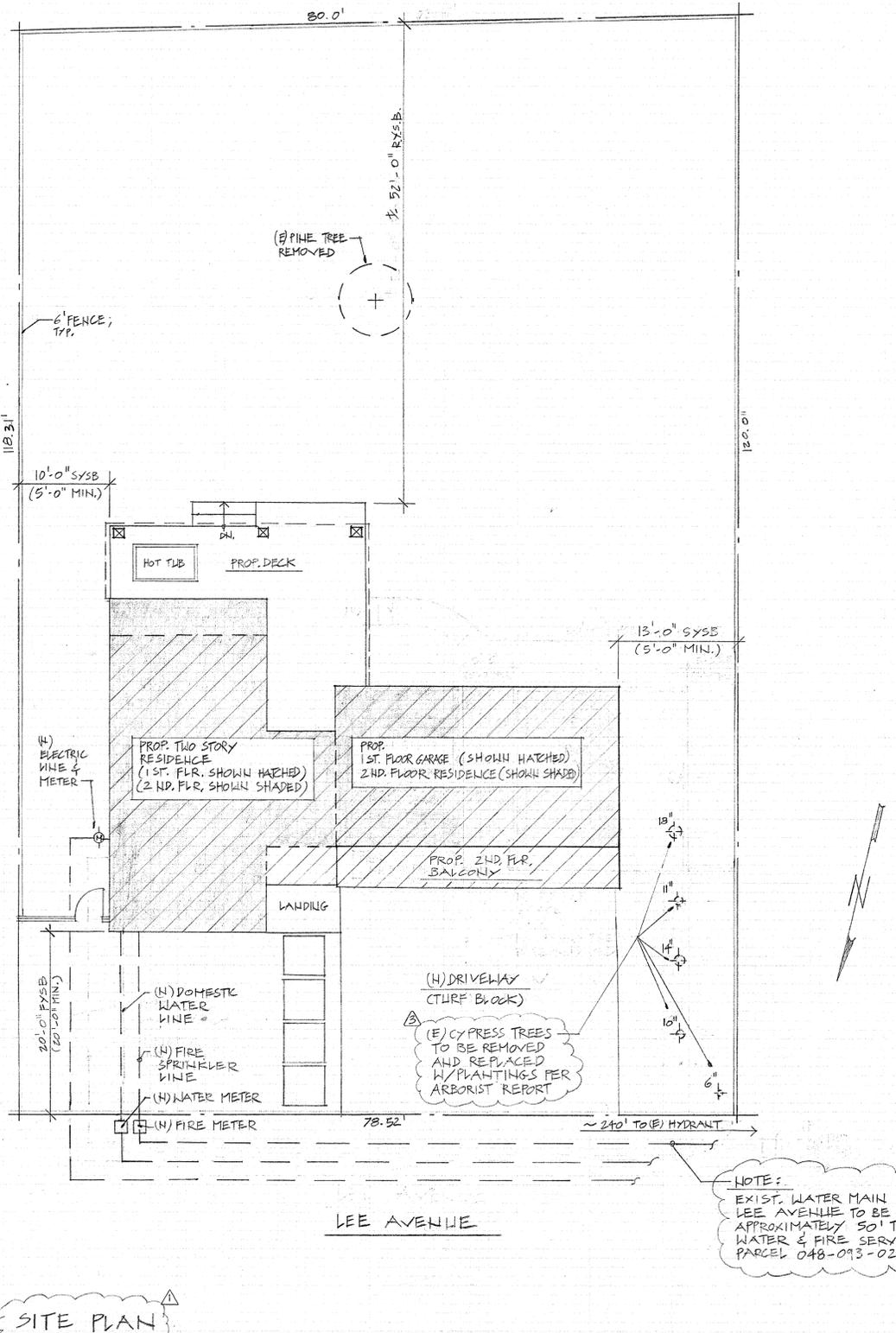
PARCEL SIZE: 9599 SF  
 PROPOSED 1ST FLOOR: 677 SF  
 PROPOSED 2ND FLOOR: 1288 SF  
 TOTAL PROP. RESIDENCE: 1965 SF  
 PROPOSED GARAGE: 682 SF  
 PROPOSED PATIO: 421 SF  
 PROPOSED BALCONY: 140 SF

**SHEET INDEX**

- A 1 SITE PLAN, CONTACT INFO, SHEET INDEX, SCOPE OF PROJECT
- A 1.1 FIRE NOTES, FIRE TURN AROUND
- A 2 FIRST FLOOR PLAN
- A 3 SECOND FLOOR PLAN
- A 4 ELEVATIONS
- A 5 3D RENDERINGS
- C 1 GRADING & DRAINAGE PLAN, DRIVEWAY PROFILE
- C 2 EROSION & SEDIMENT CONTROL PLAN
- L TITLE SHEET
- L 1 PLANTING PLAN
- L 2 IRRIGATION PLAN
- L 3 DETAIL SHEET - IRRIGATION PLAN/HYDROZONE PLAN
- L IRRIGATION NOTES
- 1 TOPOGRAPHICAL SURVEY

**SCOPE OF PROJECT**

NEW 1965 SF TWO STORY, FOUR BEDROOM, THREE AND 1/2 BATHROOM, SINGLE FAMILY RESIDENCE WITH NEW 682 SF THREE CAR GARAGE, 421 SF PATIO AND 140SF BALCONY ON VACANT LOT.



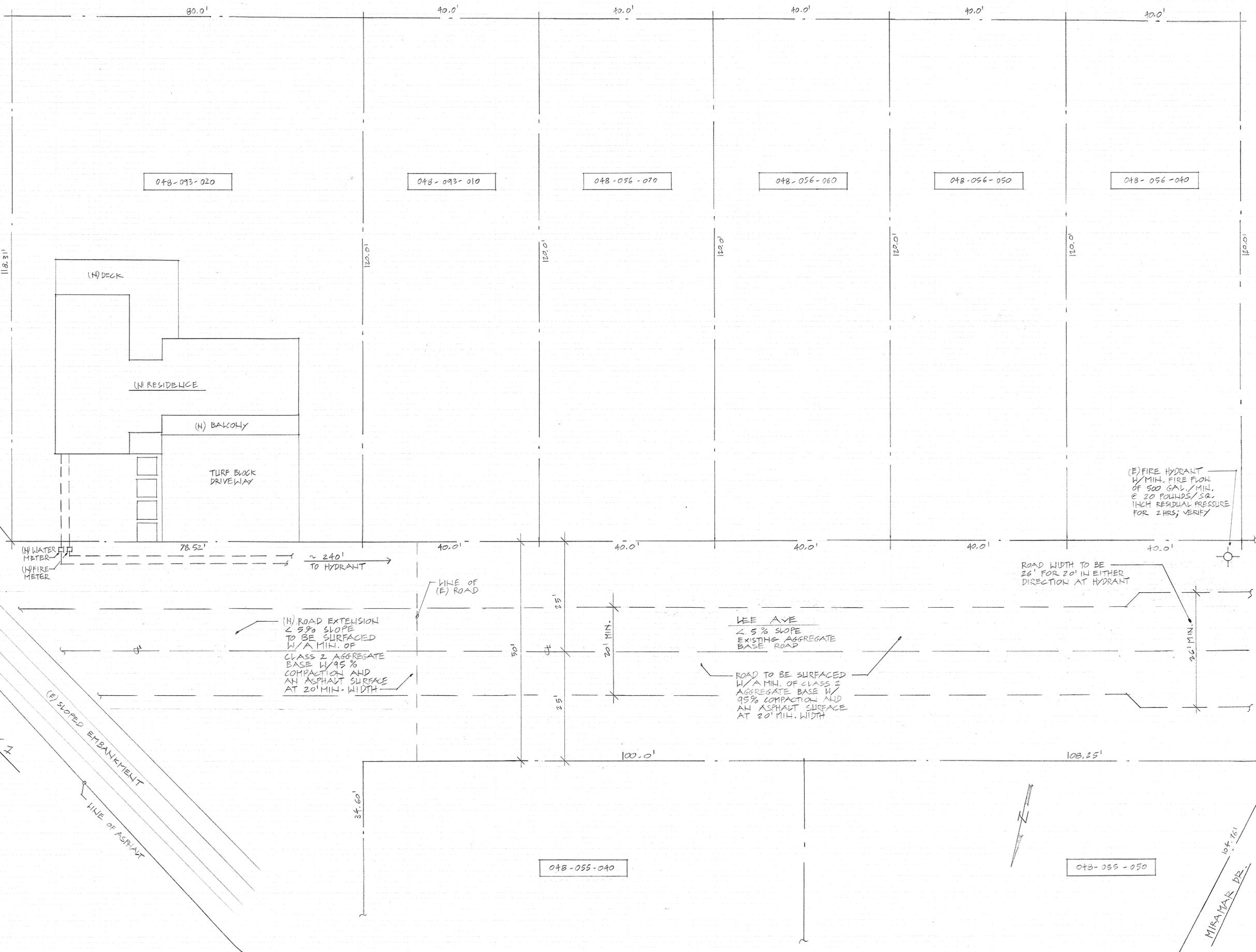
**SITE PLAN**  
 1/8" = 1'-0"

FRAUKE ZAJAC  
 BUILDING DESIGNER  
 1261 PINE FLAT RD  
 SANTA CRUZ, CA 95060  
 831-239 9666

A.P.N.: 048-093-020

NEW SINGLE FAMILY RESIDENCE  
 KELLY RESIDENCE  
 LEE AVE, SAN MATEO COUNTY

- 10-24-23
- 9-2-21
- 2-3-20
- 6-5-20
- 11-12-19



SITE / FIRE ACCESS ROAD PLAN  
1" = 10'

FRANKIE ZAJAC  
BUILDING DESIGNER  
1261 PINE FLAT RD.  
SANTA CRUZ, CA 95060  
831-239-9666

A.P.N.: 048-093-020

NEW SINGLE FAMILY RESIDENCE  
KELLY RESIDENCE  
428 LEE AVE, SAN MATEO COUNTY

10-24-23



COASTSIDE FIRE PROTECTION DISTRICT

1191 MAIN ST. HALF MOON BAY, CA 94019 TEL: (650) 726-5213 FAX: (650) 726-1122

November 25, 2019

Beau Kelly & Leslie Cruz  
718 Seaciff Drive  
Aptos, CA 95003

SUBJECT: File Number: PLN2019-00467 **Hemesee-Lee Ave.**  
Planning SFD

This is a preliminary design review of your planning case for fire department requirements at time of submittal. When this design is submitted for a building permit, there may be additional requirements according to the actual design submitted and the current codes at time of building permit submittal. This review is neither permission nor approval for final plan check for a permit. Submit the following information to the planner with the Planning & Building Division of San Mateo County / City of Half Moon Bay under the above permit. I offer the following comments/conditions, which will be applied to this project.

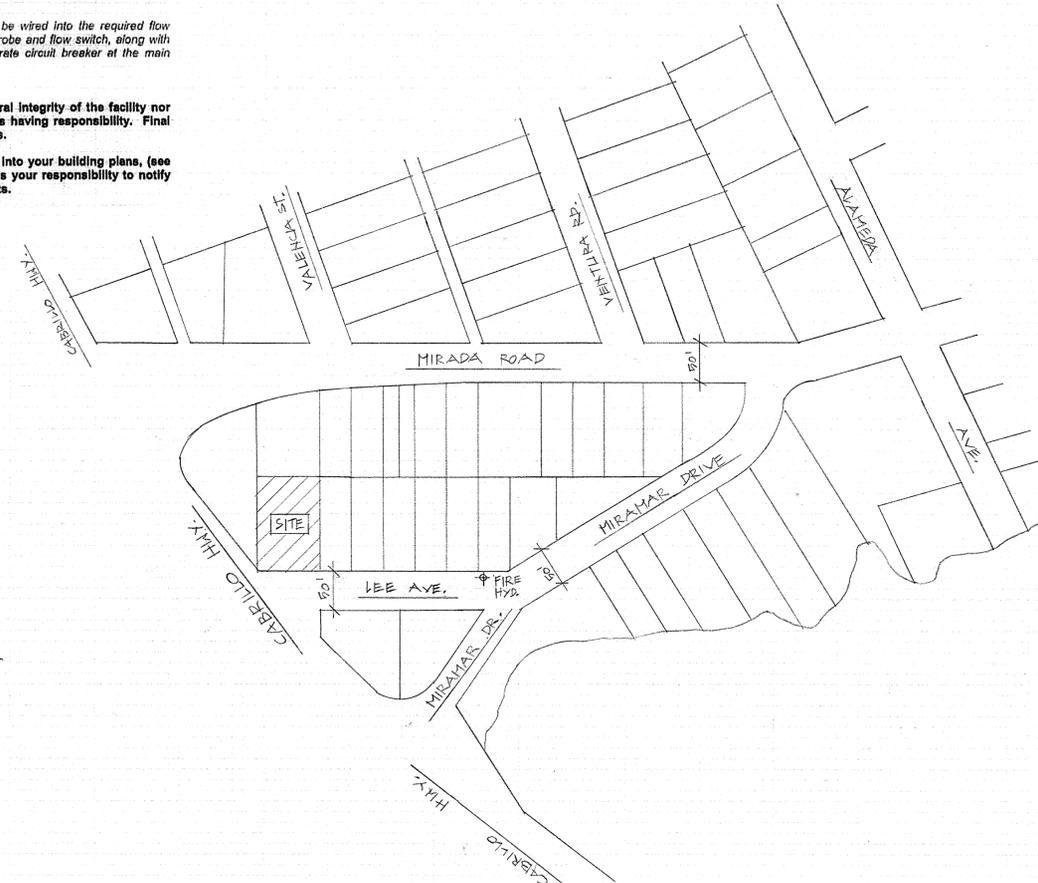
- ADD Note to plans: *Smoke Detectors which are hard wired: As per the California Building Code, State Fire Marshal regulations, and Coastside Fire District Ordinance 2016-01, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and recondition sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. Date of installation must be added to exterior of the smoke alarm and will be checked at final.*
- ADD Note to plans: *Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet, 6.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor. (CFC 1030).*
- Identify rescue windows in each bedroom and verify that they meet all requirements. Add this to plans.
- ADD Note to plans: *New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 1/8-inch stroke. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire District. This remote signage shall consist of a 6 inch by 18 inch green reflective metal sign with 3 inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent. TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE.*
- ADD Note to plans: *The building is in a Very High Fire Hazard Severity Zone and will require a Class A roof.*
- ADD Note to plans: *As per Coastside Fire District Ordinance 2016-01, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.*
- Vegetation Management (LRA) - Add note to plans: *The Coastside Fire District Ordinance 2016-01, the 2016 California Fire Code 304.1.2 A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10' to adjacent trees when fully grown or at maturity. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5' of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.*
- Fire Access Roads - Add note to plans: *The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The City of Half Moon Bay Department of Public Works, San Mateo County Department of Public Works, the Coastside Fire District Ordinance 2016-01, and the California Fire Code shall set road standards. As per the 2016 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Coastside Fire District specifications. As per the 2016 CFC, Section Appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20 foot road) and on-street parking is desired, an additional improved area shall be developed for that use.*
- ADD Note to plans: *As per 2016 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2016 CFC, Appendix B the hydrant must produce a minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.*
- ADD Note to plans: *Fire apparatus roads to be a minimum of 20 ft. wide with minimum of 35 ft. centerline radius and a vertical clearance of 15 ft. CFC603, D103, T-14 1273*
- A plan and profile of the driveway/roadway will be needed. Add to the plans.
- ADD Note to plans: *Dead end emergency access exceeding 150 feet shall be provided with width and turnaround provisions meeting California Fire Code appendix D.*
- "No Parking - Fire Lane" signs shall be provided on both sides of roads 20 to 26 ft. wide and on one side of roads 26 to 32 ft. wide. CFC D103.6
- ADD Note to plans: *Fire Hydrant: As per 2016 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2016 CFC, Appendix B the hydrant must produce a minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.*
- ADD Note to plans: *Fire Hydrant: There is a hydrant within the required 500 feet but it is a dry barrel hydrant or non-compliant hydrant. Applicant shall change it to the required (Clow 960) hydrant. As per 2016 CFC, Appendix B the hydrant must produce a minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.*
- Show location of fire hydrant on a site plan. A fire hydrant is required within 500 feet of the building and flow a minimum of 500 gpm at 20 psi. This information is to be verified by the water purveyor in a letter initiated by the applicant and sent to San Mateo County Fire/CAL Fire or Coastside Fire District. If there is not a hydrant within 500 feet with the required flow, one will have to be installed at the applicant's expense.

ADD Note to plans: *Automatic Fire Sprinkler System: (Fire Sprinkler plans will require a separate permit). As per San Mateo County Building Standards and Coastside Fire District Ordinance Number 2016-01, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. Sprinkler coverage shall be provided throughout the residence to include all bedrooms, garages, and any area used for storage. The only exception is small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Division or The City of HMB. A building permit will not be issued until plans are received, reviewed and approved. Upon submission of plans, the County or City will forward a complete set to the Coastside Fire District for review.*

- Installation of underground sprinkler pipe shall be flushed and visually inspected by Fire District prior to hook-up to riser. Any soldered fittings must be pressure tested with trench open. Please call Coastside Fire District to schedule an inspection. Fees shall be paid prior to plan review.
- Exterior bell and interior horn/strobe are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled.

Our review is not construed as encompassing the structural integrity of the facility nor abrogating more restrictive requirements by other agencies having responsibility. Final acceptance is subject to field inspection and necessary tests.

All fire conditions and requirements must be incorporated into your building plans, (see attached conditions) prior to building permit issuance. It is your responsibility to notify your contractor, architect and engineer of these requirements.



AREA MAP  
1" = 100'

FRANK ZAJAC  
BUILDING DESIGNER  
1261 PINE FLAT RD.  
SANTA CRUZ, CA 95060  
631-239-9666

A.P.N. = 048-093-020

NEW SINGLE FAMILY RESIDENCE  
KENY RESIDENCE  
428 LEE AVE, SAN MATEO COUNTY

10-24-23

112  
OF