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SEP 16 2015

# Planning Permit Application Form

455 County Center, 2nd Floor • Redwood City CA 94063  
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849  
www.co.sanmateo.ca.us/planning

San Mateo County Planning Division  
2015-00411  
BLD:

### Applicant/Owner Information

Applicant: **TOBY LONG AIA**  
Mailing Address: **6114 LA SALLE AVE #552**  
**OAKLAND CA 94611** Zip:  
Phone, W: **510 333 3447** H:  
E-mail Address: **toby@tobylongdesign.com** FAX:

Name of Owner (1): **DAVID & REBECCA JACKSON** Name of Owner (2):  
Mailing Address: **755 PAGE MILL RD** Mailing Address:  
**# B-7**  
**PALO ALTO CA** Zip: **94304** Zip:  
Phone, W: **801 306 0234** Phone, W:  
H: H:  
E-mail Address: **RED. RAD. JACK@gmail.com** E-mail Address:

### Project Information

Project Location (address):  
**0 BUENA VISTA ST.**  
**MISS BEACH, CA**  
Zoning: **R-1/S-17/DR/CD**  
Assessor's Parcel Numbers: **037-061-060**  
Parcel/lot size: **6916** SF (Square Feet)

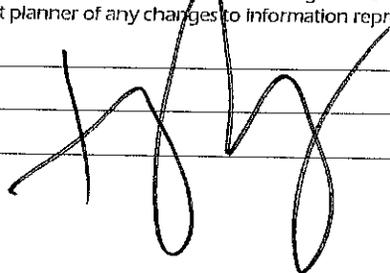
List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)  
**NEW SINGLE FAMILY HOME AND**  
**DETACHED GARAGE**

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):  
**VACANT LOT**

Describe Existing Structures and/or Development:  
**N/A**

### Declaration

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature:  
Owner's signature:  
Applicant's signature:  **091615**

Application for Design Review by the County Coastsides Design Review Committee

SEP 16 2015

County Government Center • 455 County Center • Redwood City CA 94063  
Mail Drop PLN 122 • 650 • 363 • 4161 • FAX 650 • 363 • 4849

San Mateo County Planning Division

Permit #: PLN 2015-00411

Other Permit #: PRE2015-00049

Applicant:

Name: TOBY LONG AIA  
Address: 6114 LA SALLE AVE #552  
OAKLAND CA Zip: 94611  
Phone, W: 510 333 3447  
Email: toby@tobylongdesign.com

Owner: (if different from Applicant):

Name: DAVID & REBECCA JACKSON  
Address: 755 PINE MILL RD #B-7  
PALO ALTO CA Zip: 94304  
Phone, W: 001-386-0234  
Email: RED.PALO.JACK@gmail.com

Architect or Designer (if different from Applicant):

Name: (SAME AS APPLICANT)  
Address: (SAME AS APPLICANT)  
Phone, W: H: Email:

Project location:

APN: 037-061-060  
Address: 0 BUENA VISTA ST  
MOSS BEACH CA Zip: 94038  
Zoning: R-1/S-17/DR/CD  
Parcel/lot size: 6916 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe):

Project:

- New Single Family Residence: 3,067 sq. ft
- Addition to Residence: sq. ft
- Other:

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

NEW SINGLE FAMILY HOME WITH DETACHED GARAGE

Check if matches existing

Fill in Blanks:

Material

Color/Finish

(If different from existing, attach sample)

a. Exterior walls	<del>FIBER CONCRETE</del> STUCCO / WOOD SIDING	NATURAL / STAINED	<input type="checkbox"/>
b. Trim	ALUMINIUM REGLETS	ANODIZED	<input type="checkbox"/>
c. Windows	ALUMINIUM	BLACK	<input type="checkbox"/>
d. Doors	FIBERGLASS	WOOD TEXTURE	<input type="checkbox"/>
e. Roof	SHINGLES (comp.)	GRAY	<input type="checkbox"/>
f. Chimneys	COLD ROLLED STEEL	-	<input type="checkbox"/>
g. Decks & railings	CABLE RAIL		<input type="checkbox"/>
h. Stairs	WOOD	STAINED	<input type="checkbox"/>
i. Retaining walls	-		<input type="checkbox"/>
j. Fences	WOOD	STAINED	<input type="checkbox"/>
k. Accessory buildings			<input type="checkbox"/>
l. Garage/Carport	STUCCO	NATURAL	<input type="checkbox"/>

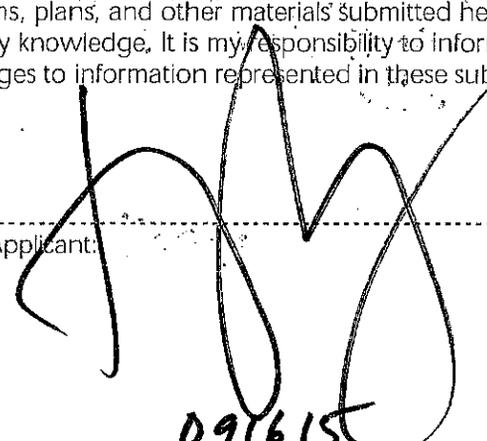
To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner:

Applicant:



09/16/15

Date:

Date:

Certificate of Exemption or Exclusion from a Coastal Development Permit

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455 County Center, 2nd Floor • Redwood City, CA • 94063  
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Permit #: PLN 2015-00411  
Permit #: BLD

SEP 16 2015

Permanent Record  
Microfilming Required

San Mateo County  
Planning Division

1. Basic Information

Owner Name: DAVID & REBECCA JACKSON  
Address: 755 PINE MILL RD #B-7  
PALO ALTO CA 94304  
Phone, W: 801 306 0239 H:  
Email Address: RED.RAD.JACK@gmail.com

Applicant Name: TOBY LONG, AIA  
Address: 6114 LA SALLE AVE #552  
OAKLAND CA 94611  
Phone, W: 510 333 3443 H:  
Email Address: toby@tobylongdesign.com

2. Project Information

Project Description:  
NEW SINGLE FAMILY HOME  
WITH DETACHED  
GARAGE  
Assessor's Parcel Number(s):  
037-061-060

Existing water source:  
 Utility connection  
 Well N/A  
Proposed water source:  
 Utility connection  
 Well  
Staking of well location and property lines are required.  
 Provide site plan depicting location and all trees.  
 Will this require any grading or vegetation/tree removal? Yes  No   
If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

3. Signatures

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance.

Owner \_\_\_\_\_ Date \_\_\_\_\_ Applicant \_\_\_\_\_ Date 09/16/15  
(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)

# Staff Use Only

## 4. Basis of Exemption or Exclusion

Use attached review sheet to determine basis of exemption and whether project qualifies. Review basis of exemption with applicant/owner and initial appropriate category below:

**Initial**

- A. Improvements to Existing Single Family Residence. [PRC 30610(a), CCAG 13250, ZR 6328.5(a)]
- B. Improvements to Existing Structure Other Than Single Family Residence or Public Works Facility. [PRC 30610(b), CCAG 13253, ZR 6328.5(b)]
- C. Existing Navigation Channel. [PRC 30610(c), ZR 6328.5(c)]
- D. Repair or Maintenance Activity. [PRC 30610(d), CCAG 13252, ZR 6328.5(d)]
- E. Single Family Residence Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, AB 843, ZR 6328.5(e)]
- F. Agriculturally-Related Development Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, ORDERS E-79-7 and E-81-1, ZR 6328.5(e)]
- G. Utility Connections. [PRC 30610(f), ZR 6328.5(f)]
- H. Replacement of Structures Following Disasters. [PRC 30610(g), ZR 6328.5(g)]
- I. Emergency Activities. [PRC 30611, ZR 6328.5(h)]
- J. Lot Line Adjustment. [ZR 6328.5(i)]
- K. Land Division for Public Recreation Purposes. [ZR 6328.5(j)]

## 5. Well Inspection - All Coastal Zone Areas

- Required  Not Required

Inspection made by: \_\_\_\_\_ Date of Inspection: \_\_\_\_\_

Yes	No
<input type="checkbox"/>	<input type="checkbox"/> Removal of trees?
<input type="checkbox"/>	<input type="checkbox"/> If Yes, is tree removal permit included?
<input type="checkbox"/>	<input type="checkbox"/> Trimming of trees?
<input type="checkbox"/>	<input type="checkbox"/> Excessive removal of vegetation?
<input type="checkbox"/>	<input type="checkbox"/> Excessive grading? (If Yes, CDP is required)
<input type="checkbox"/>	<input type="checkbox"/> Erosion control plan required?

Approval of Permit is subject to the following: (check if applicable)

- Submittal and Approval of a Tree Removal Permit
- Submittal and Approval of a Grading Permit
- Submittal and Approval of an Erosion Control Plan
- Submittal and Approval of a Coastal Dev. Permit

## 6. Approval

I have reviewed the above-described project and have determined that it meets all criteria for the exemption/exclusion checked above.

**Exemption/Exclusion is approved.**

Planning Department \_\_\_\_\_ Date \_\_\_\_\_

Project is subject to the following condition(s) of approval: \_\_\_\_\_

## 7. Processing

- Fee collected
- Original Certificate of Exemption to Building Inspection file.
- Copies of Certificate of Exemption to:
  1. Applicant/Owner.
  2. Planning Department Exemption Binder.
- 3. Any relevant Planning or Building Inspection files.
- 4. California Coastal Commission, 45 Fremont Street, Suite 2000, San Francisco, CA 94105
- Update Permit\*Plan Case Screen and Activities

**Environmental Information Disclosure Form**

**RECEIVED**

PLN 2015-00441  
BLD \_\_\_\_\_

SEP 16 2015

San Mateo County  
Planning Department

Project Address: 0 BUENA VISTA ST.  
MOSS BEACH, CA 94038  
Assessor's Parcel No.: 037-061-060  
Zoning District: R-1/S-17/DL/CD

Name of Owner: DAVID & REBECCA JACKSON  
Address: 755 PARE MILL RD #B-7  
PALO ALTO 94304 Phone: 801-386-0234  
Name of Applicant: TOBY LONG, AIA  
Address: 6114 LA SALLE AVE #552  
OAKLAND CA 94611 Phone: 510-333-3947

**Existing Site Conditions**

Parcel size: 6916 sq ft

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).

VACANT LOT

**Environmental Review Checklist**

**1. California Environmental Quality Act (CEQA) Review**

Yes	No	Will this project involve:
	X	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	X	b. Construction of a new multi-family residential structure having 5 or more units?
	X	c. Construction of a commercial structure > 2,500 sq.ft?
	X	d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
X		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation: <u>&lt; 50</u> c.y. Fill: <u>&lt; 20</u> c.y.
	X	f. Subdivision of land into 5 or more parcels?
	X	g. Construction within a State or County scenic corridor?
	X	h. Construction within a sensitive habitat?
	X	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	X	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

INCIDENTAL GRADING FOR PAD

Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review		
Yes	No	Will the project involve:
	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?
Please explain any "Yes" answers:		

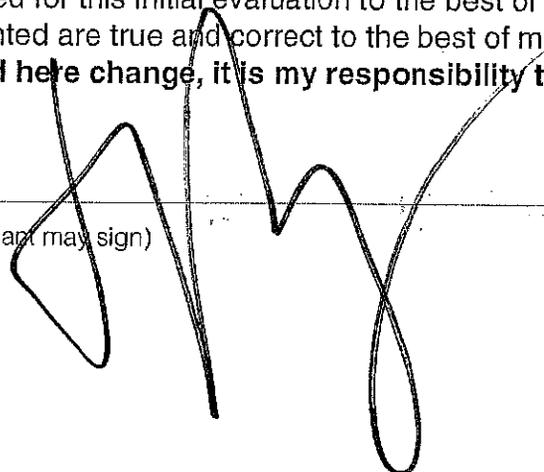
3. National Pollutant Discharge Elimination System (NPDES) Review		
Yes	No	Will the project involve:
	<input checked="" type="checkbox"/>	a. A subdivision or Commercial / Industrial Development that will result in the addition or replacement of <b>10,000 sq. ft.</b> or more of impervious surface? If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
	<input checked="" type="checkbox"/>	b. Land disturbance of <b>1 acre</b> or more of area? If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

**certification**

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: \_\_\_\_\_

(Applicant may sign)



Date: \_\_\_\_\_

09/16/15

# THE JACKSON RESIDENCE

BUENA VISTA STREET MOSS BEACH CA 94038



a modern green home. a new sustainable prefab construction project in moss beach

PAINT COLORS	
<b>TRIM/FASCIA</b>	BENJAMIN MOORE #1582
	DEEP RIVER



EXTERIOR LIGHT FOR ALL EXTERIOR FIXTURES  
-FRANKLIN IRON WORKS, STYLE #P3309  
-DARK SKY RATED

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 presented by **tobylongdesign**  
 modern green prefab  
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 P: 415.905.9030 www.tobylongdesign.com

ISSUE	DATE
FA PLANS V1	032315
FA PLANS V2	041515
FA V1	042215
50% DESIGN SET V1	052015
50% DESIGN SET V2	052715
100% DESIGN SET V1	091415
DESIGN REVIEW SUBMITTAL	091615



THE JACKSON RESIDENCE  
 BUENA VISTA STREET  
 MOSS BEACH, CA  
 94038

**COVER AND MATERIALS**

THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THEY BORN THE ARCHITECT'S SEAL AND VETER SIGNATURE. THESE PRELIMINARY CONCEPTS AND VIEWS SHOULD BE USED AS A GUIDE ONLY. ALL DESIGN & INFORMATION IN THESE PLANS, THESE PLANS ARE NOT TO BE REPRODUCED, COPIED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION OF tobylongdesign

scale

sheet

**A 0.0**

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 presented by **tobylongdesign**  
 modern green design  
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 P: 415.905.9030 www.tobylongdesign.com

ISSUE	DATE
FA PLANS V1	032315
FA PLANS V2	041515
FA V1	042215
50% DESIGN SET v1	052015
50% DESIGN SET v2	052715
100% DESIGN SET V1	091415
DESIGN REVIEW SUBMITTAL	091615



**THE JACKSON RESIDENCE**  
 BUENA VISTA STREET  
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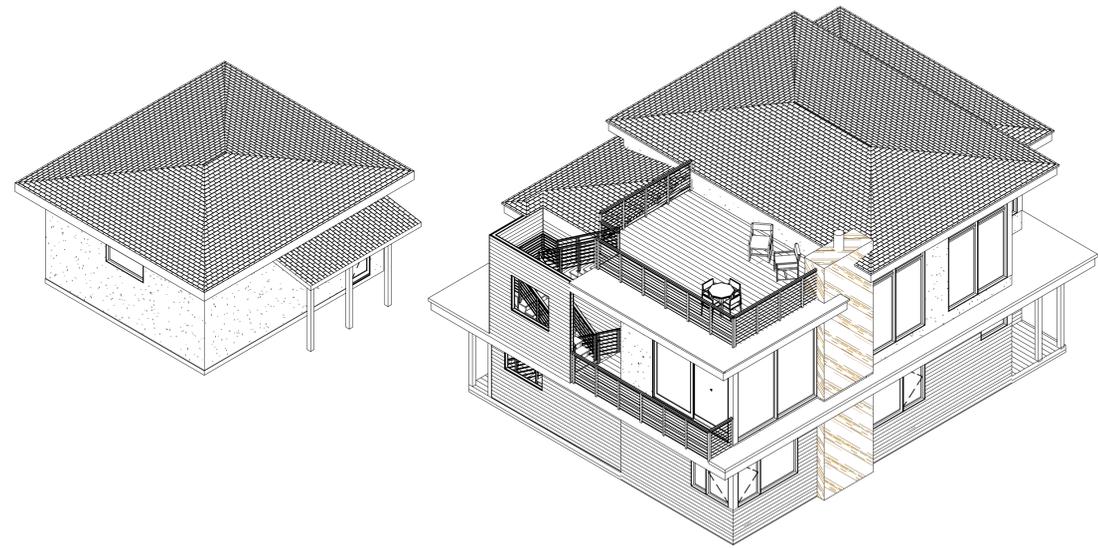
**MASSING DIAGRAMS**

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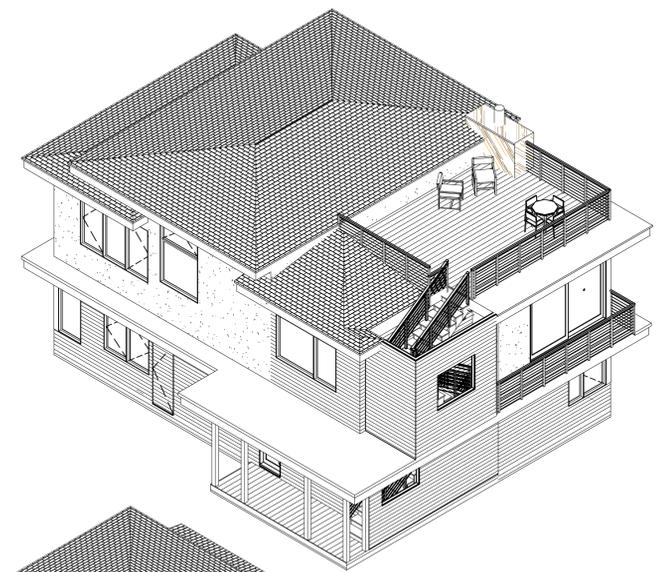
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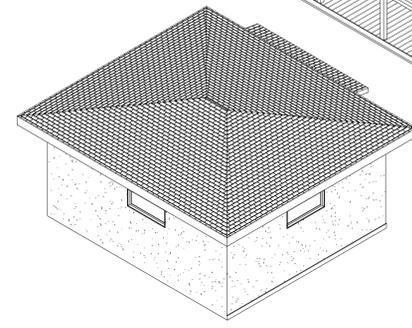
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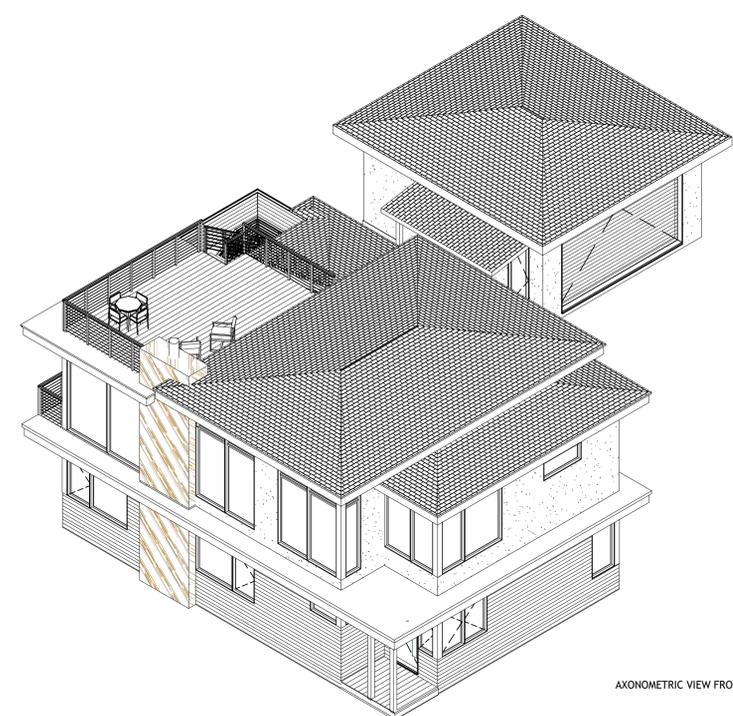
AXONOMETRIC VIEW FROM SOUTHWEST



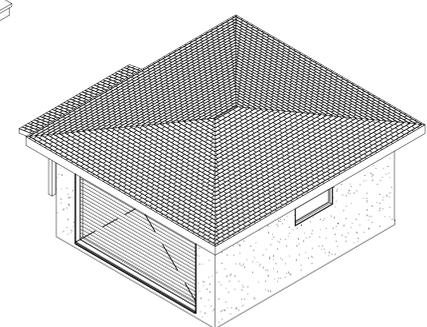
AXONOMETRIC VIEW FROM NORTHWEST

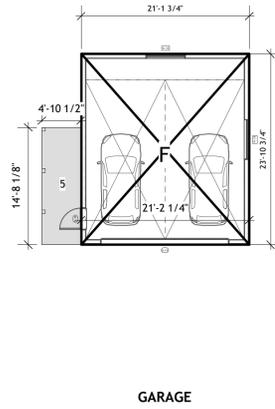
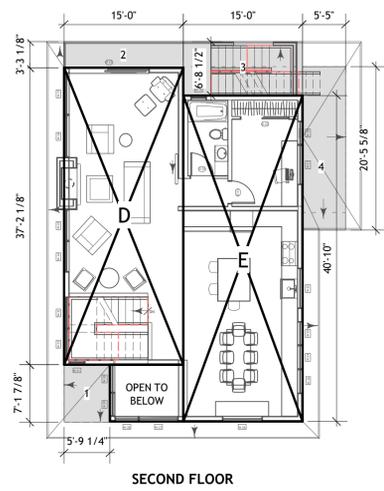
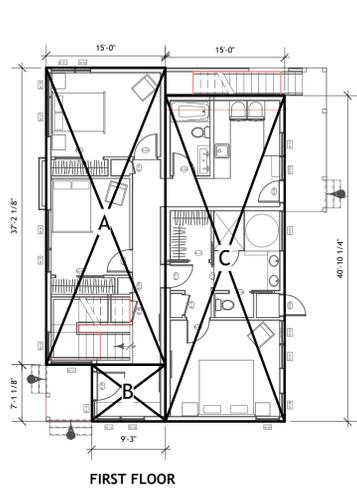


AXONOMETRIC VIEW FROM NORTHEAST



AXONOMETRIC VIEW FROM SOUTHEAST





**FLOOR AREA CALCULATION**

AREA	SQUARE FOOTAGE	DIMENSIONS
<b>FIRST FLOOR</b>		
A	557.7	37'-2 1/8" X 15'-0"
B	65.6	9'-3" X 7'-1 7/8"
C	612.4	40'-10 1/4" X 15'-0"
<b>SUBTOTAL</b>	<b>1,235.7 SQFT</b>	
<b>SECOND FLOOR</b>		
D	557.7	37'-2 1/8" X 15'-0"
E	612.4	40'-10 1/4" X 15'-0"
<b>SUBTOTAL</b>	<b>1,170.1 SQFT</b>	
<b>GARAGE</b>		
F	505.3	21'-1 3/4" X 23'-10 3/4"
<b>SUBTOTAL</b>	<b>505.3 SQFT</b>	
<b>COVERED PORCHES &gt;48" DEEP</b>		
1	45.4	5'-9 1/4" X 7'-1 1/8"
4	110.9	5'-5" X 20'-5 5/8"
<b>SUBTOTAL</b>	<b>156.3 SQFT</b>	
<b>TOTAL FLOOR AREA</b>	<b>3,067.4 SQFT</b>	
SITE AREA: 6,993 SQFT		
MAX FLOOR AREA: 53% OF LOT = 6,993 SQFT X .53 = 3,706.29 SQFT		
PROJECT COMPLIES: 3,067.4 < 6,993		

**LOT COVERAGE**

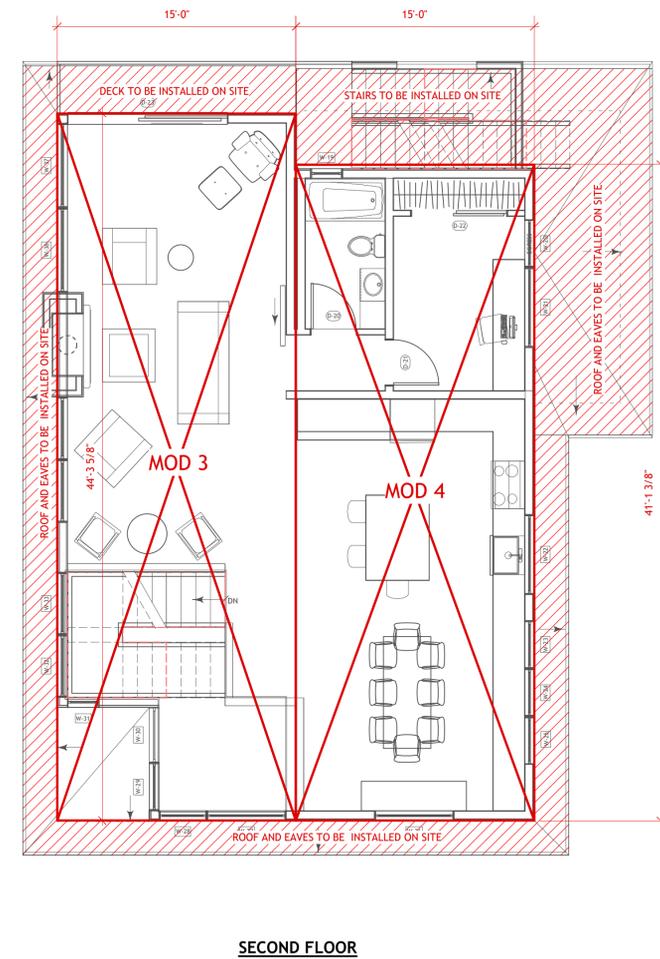
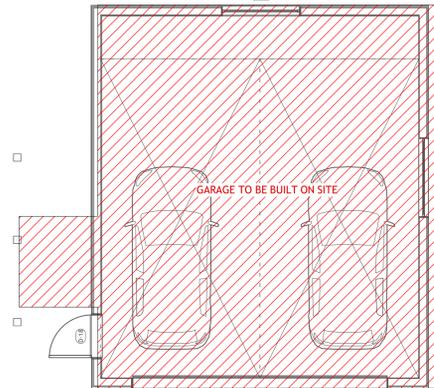
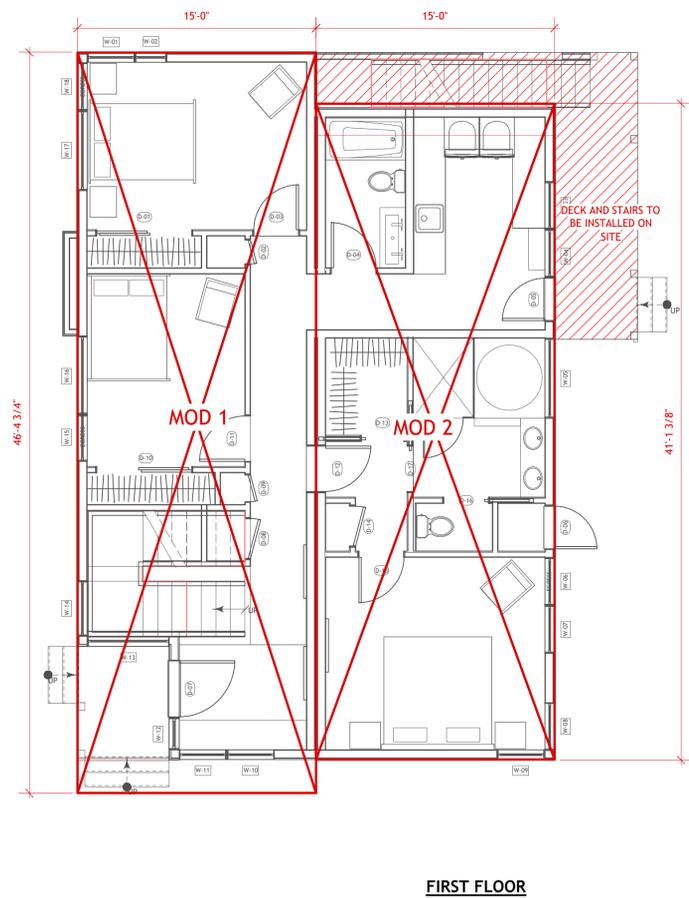
AREA	SQUARE FOOTAGE	DIMENSIONS
FIRST FLOOR	1,235.7 SQFT - FROM CALC	-
GARAGE	505.3 SQFT - FROM CALC	-
1	45.4	5'9 1/4" X 7'-1 1/8"
2	48.9	15'-0" X 3'-3 1/8"
3	100.6	15'-0" X 6'-8 1/2"
4	110.9	5'5" X 20'-5 5/8"
<b>TOTAL COVERAGE</b>	<b>2,046.8 SQFT</b>	

SITE AREA: 6,993  
 MAX COVERAGE: 35% OF LOT FOR 2 STORIES = 6,993 SQFT X .35' x = 2,447.6 SQFT  
 PROJECT COMPLIES: 2,046.8 SQFT < 2,447.6 SQFT



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**2 AREA CALCULATION DIAGRAMS**



ISSUE	DATE
FA PLANS V1	032315
FA PLANS V2	041515
FA V1	042215
50% DESIGN SET v1	052015
50% DESIGN SET v2	052715
100% DESIGN SET V1	091415
DESIGN REVIEW SUBMITTAL	091615

**THE JACKSON RESIDENCE**  
 BUENA VISTA STREET  
 MOSS BEACH, CA  
 94038

**MODULAR DIAGRAMS**

THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THEY BEAR THE ARCHITECT'S SEAL AND WRITTEN SIGNATURE. THIS PERSONAL SERVICES CONTRACTOR'S CONFIDENTIAL AND OTHER INFORMATION CONTAINED HEREIN IS THE PROPERTY OF TOBYLONGDESIGN.COM. THIS INFORMATION IS NOT TO BE REPRODUCED, COPIED, OR OTHERWISE DISCLOSED TO ANY THIRD PARTY WITHOUT THE EXPRESS WRITTEN PERMISSION OF tobylongdesign.com.

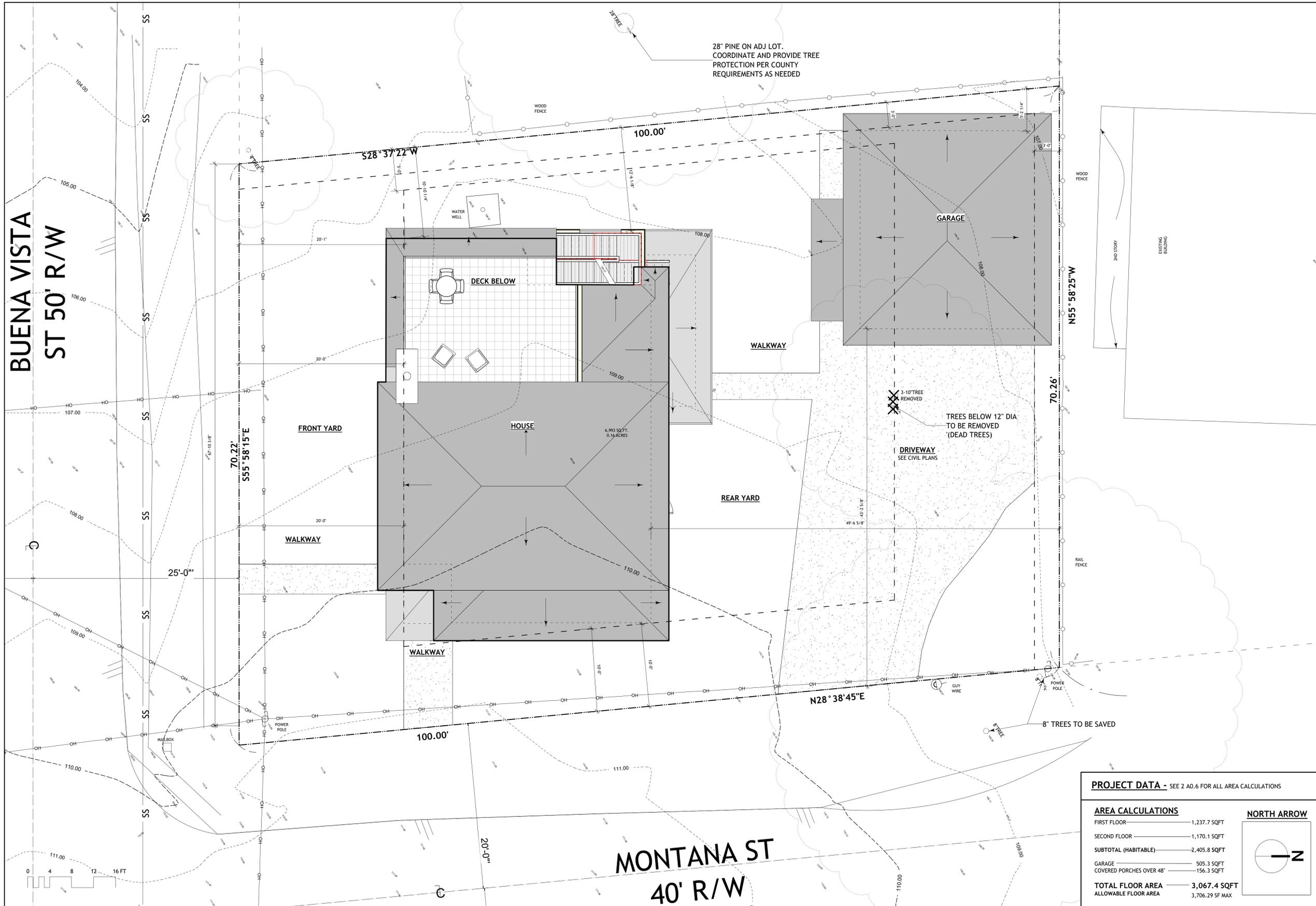
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sheet  
**A 0.6**

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**1 MODULAR DIAGRAMS**





**CleverHomes**  
 presented by **tobylongdesign**  
 modern green prefab  
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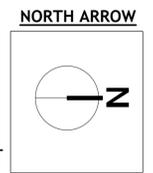


THE JACKSON RESIDENCE  
 BUENA VISTA STREET  
 MOSS BEACH, CA  
 94038

**SITE PLAN**

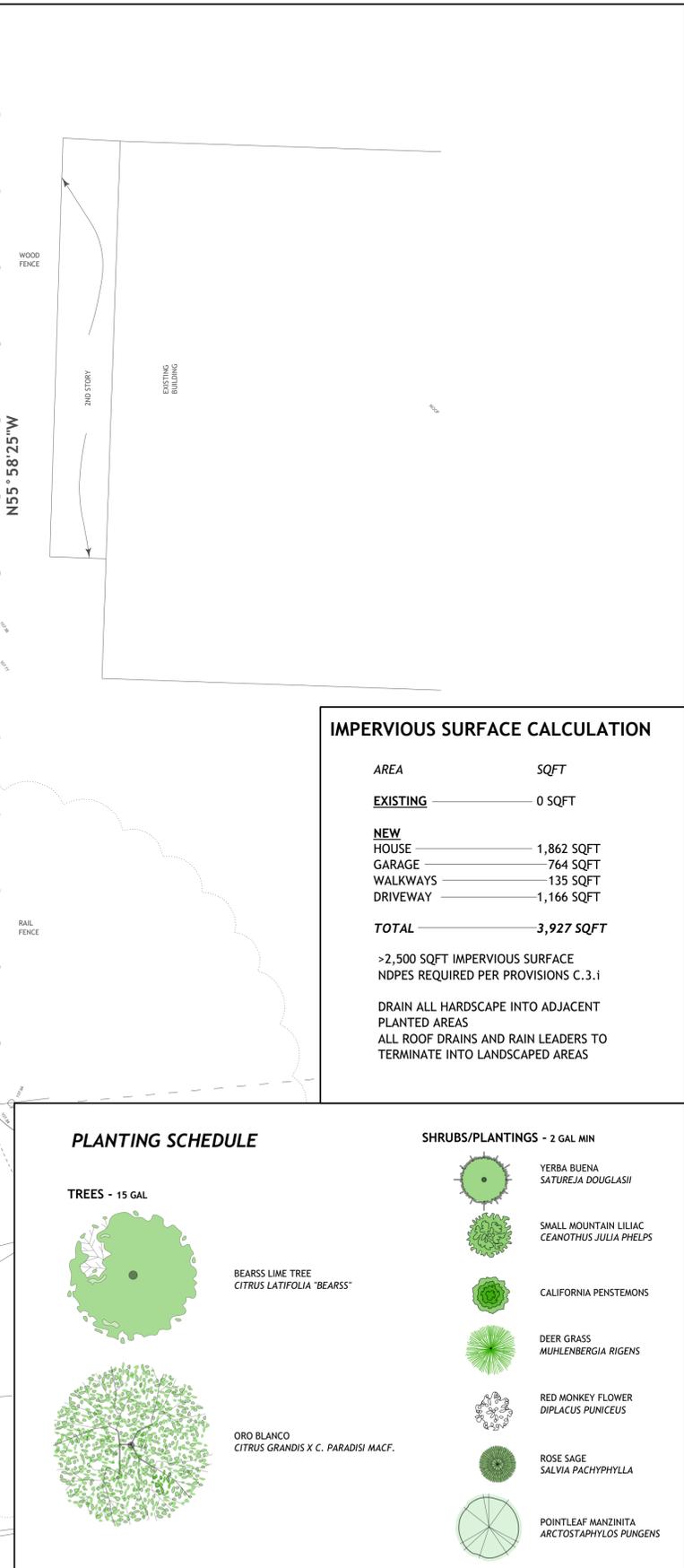
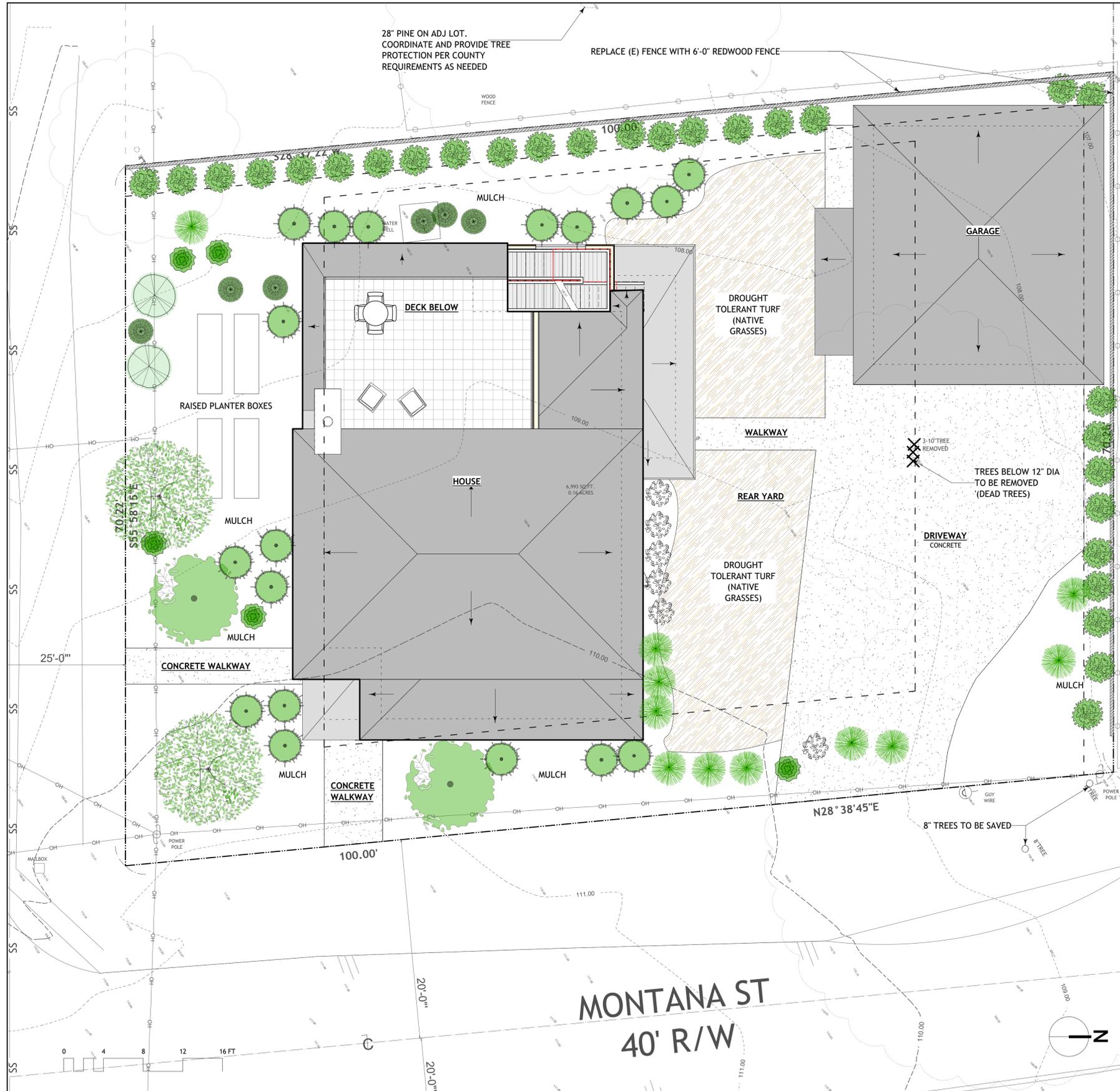
**PROJECT DATA** - SEE 2. A0.6 FOR ALL AREA CALCULATIONS

AREA CALCULATIONS	
FIRST FLOOR	1,237.7 SQFT
SECOND FLOOR	1,170.1 SQFT
SUBTOTAL (HABITABLE)	2,405.8 SQFT
GARAGE	505.3 SQFT
COVERED PORCHES OVER 48"	156.3 SQFT
<b>TOTAL FLOOR AREA</b>	<b>3,067.4 SQFT</b>
ALLOWABLE FLOOR AREA	3,706.29 SF MAX



scale  
 3/16"=1'-0"

sheet  
**A 1.2**



### IMPERVIOUS SURFACE CALCULATION

AREA	SQFT
<b>EXISTING</b>	0 SQFT
<b>NEW</b>	
HOUSE	1,862 SQFT
GARAGE	764 SQFT
WALKWAYS	135 SQFT
DRIVEWAY	1,166 SQFT
<b>TOTAL</b>	<b>3,927 SQFT</b>

>2,500 SQFT IMPERVIOUS SURFACE  
NDPES REQUIRED PER PROVISIONS C.3.i

DRAIN ALL HARDSCAPE INTO ADJACENT PLANTED AREAS  
ALL ROOF DRAINS AND RAIN LEADERS TO TERMINATE INTO LANDSCAPED AREAS



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ISSUE	DATE
FA PLANS V1	032315
FA PLANS V2	041515
FA V1	042215
50% DESIGN SET v1	052015
50% DESIGN SET v2	052715
100% DESIGN SET V1	091415
DESIGN REVIEW SUBMITTAL	091615

**THE JACKSON RESIDENCE**  
**BUENA VISTA STREET**  
**MOSS BEACH, CA**  
**94038**

**LANDSCAPE PLAN**

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scale  
3/16" = 1'-0"

sheet  
**A 1.3**



1 LEVEL 1 PLAN



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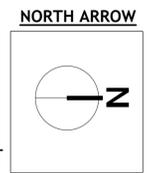
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**PROJECT DATA** - SEE 2.A0.6 FOR ALL AREA CALCULATIONS

AREA CALCULATIONS	
FIRST FLOOR	1,237.7 SQFT
SECOND FLOOR	1,170.1 SQFT
SUBTOTAL (HABITABLE)	2,405.8 SQFT
GARAGE	505.3 SQFT
COVERED PORCHES OVER 48"	156.3 SQFT
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ALLOWABLE FLOOR AREA	3,706.29 SF MAX



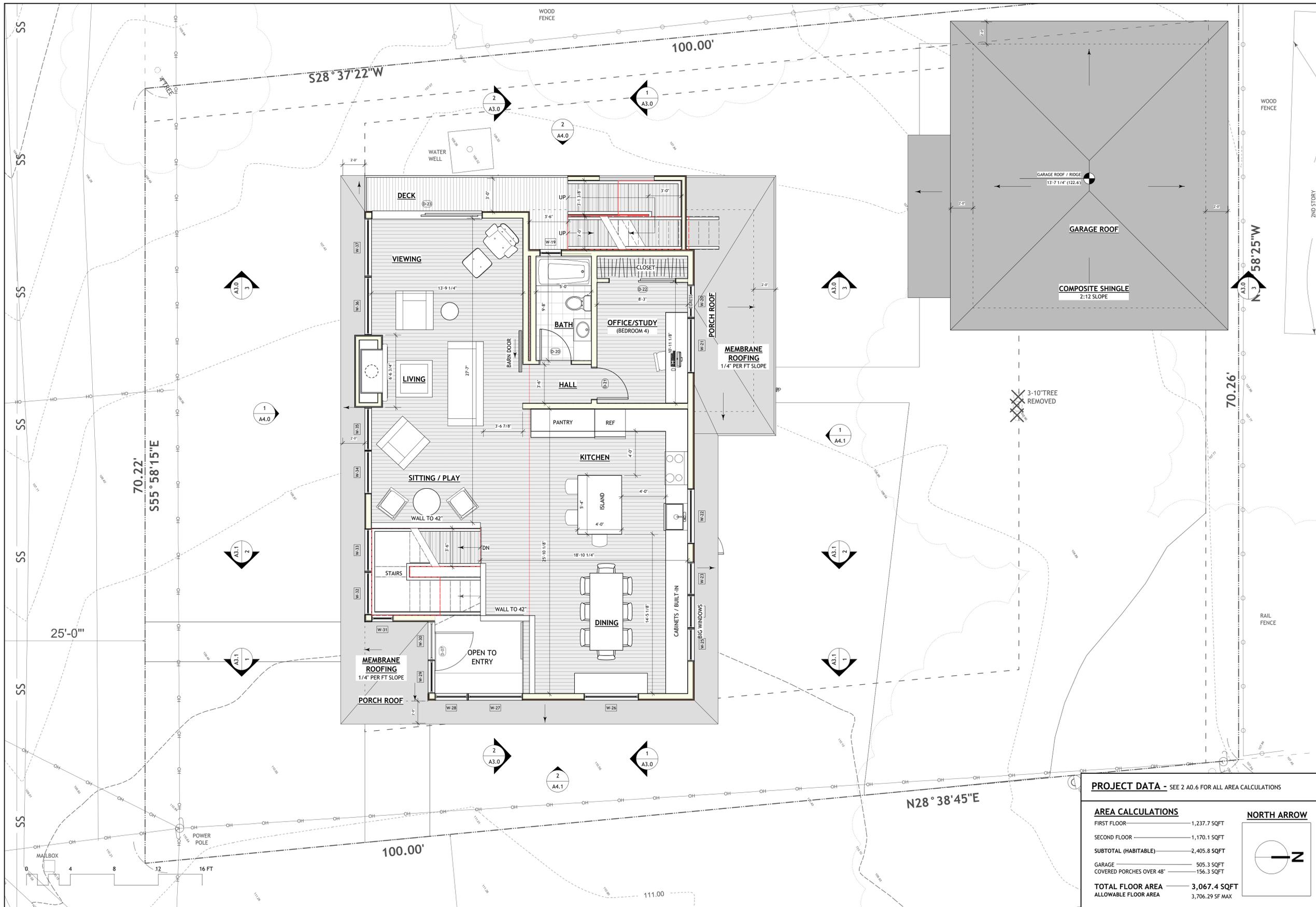
scale  
 1/4"=1'-0"

sheet

**A 2.1**

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1/4"=1'-0"



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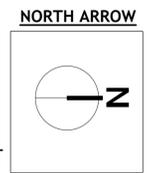
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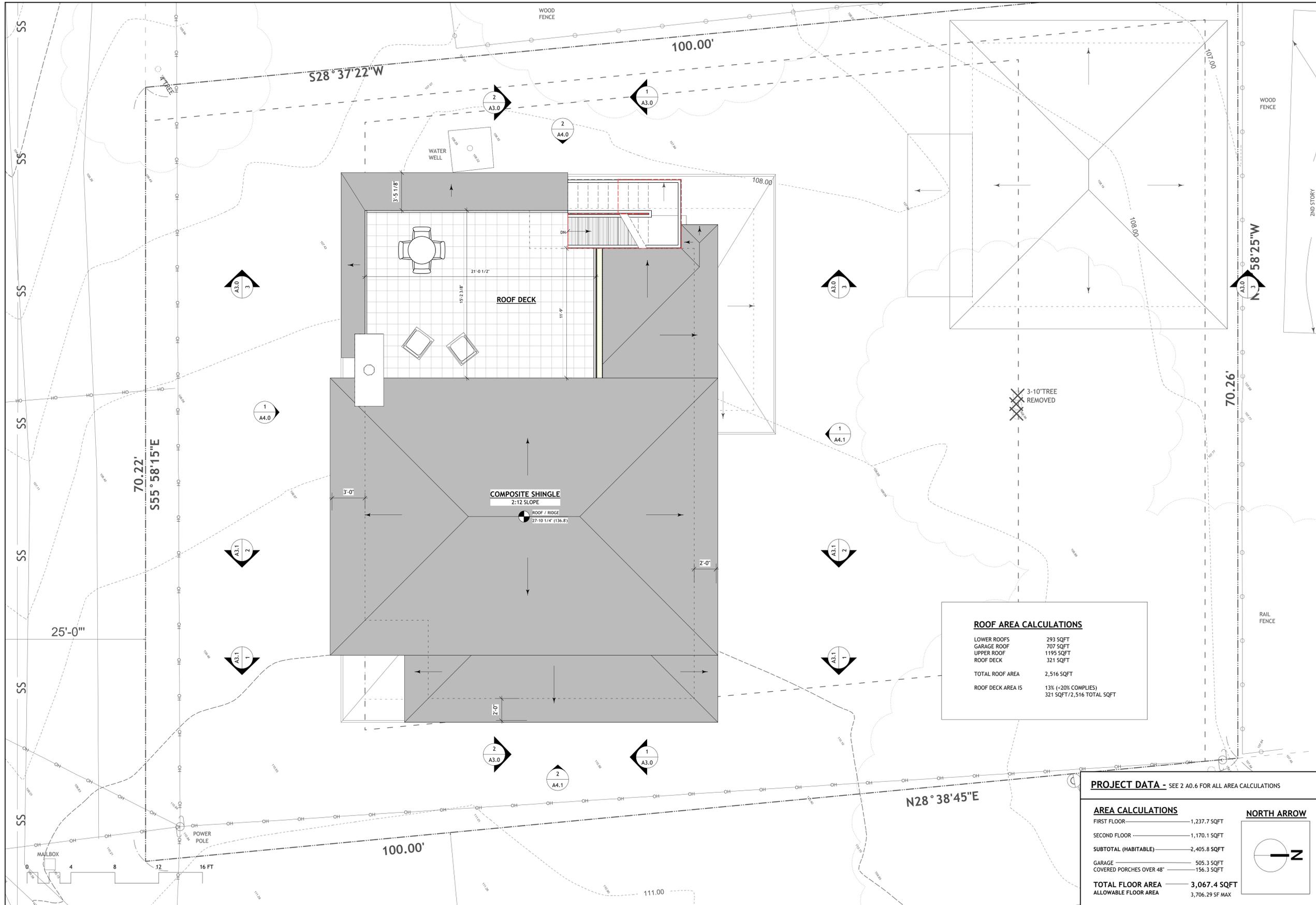
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SUBTOTAL (HABITABLE)	2,405.8 SQFT
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 1/4"=1'-0"

sheet  
**A 2.2**

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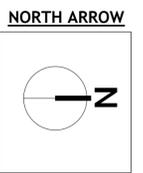
**ROOF AREA CALCULATIONS**

LOWER ROOFS	293 SQFT
GARAGE ROOF	707 SQFT
UPPER ROOF	1195 SQFT
ROOF DECK	321 SQFT
<b>TOTAL ROOF AREA</b>	<b>2,516 SQFT</b>
ROOF DECK AREA IS	13% (<20% COMPLIES)
	321 SQFT / 2,516 TOTAL SQFT

**PROJECT DATA** - SEE 2 A0.6 FOR ALL AREA CALCULATIONS

**AREA CALCULATIONS**

FIRST FLOOR	1,237.7 SQFT
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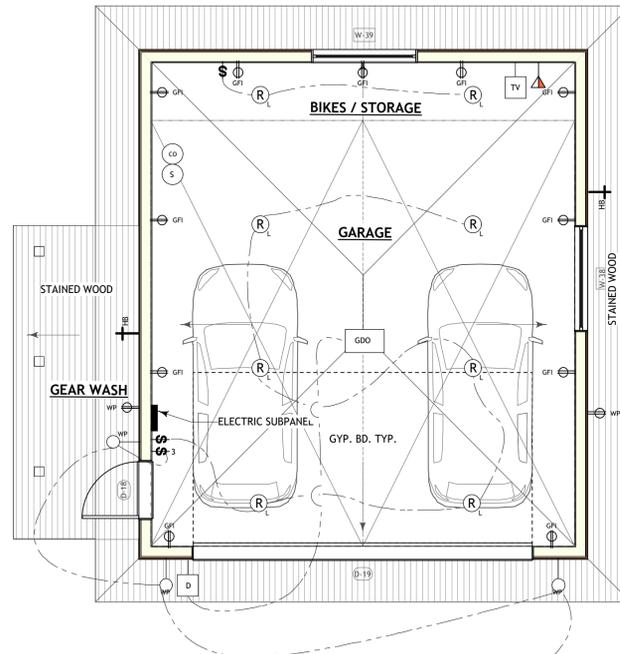
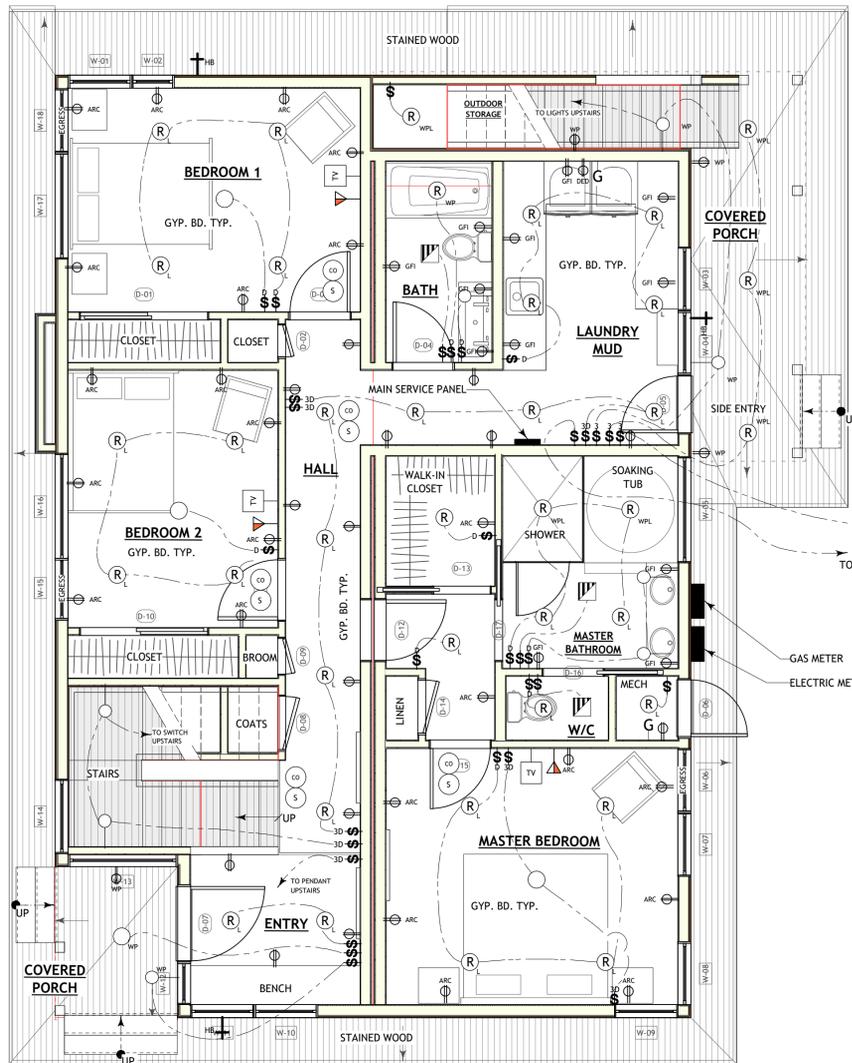
scale

1/4"=1'-0"

sheet

**A 2.3**

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LEGEND

	DUPLEX RECEPTACLE		DATA PORT / WALL TELEPHONE OUTLET
	FOURPLEX RECEPTACLE		GARAGE DOOR DATA PAD
	WATERPROOF RECEPTACLE		CABLE / TELEVISION
	SWITCHED OUTLET		SPEAKER LOCATION
	GROUND FAULT CIRCUIT INTERRUPTER		AV CONTROL PAD
	DEDICATED OUTLET		SINGLE POLE SWITCH
	FLOOR OUTLET		DIMMER SWITCH
	CEILING OUTLET		THREE WAY SWITCH
	EXHAUST FAN W/ INTEGRATED FLUORESCENT LIGHT AND HUMIDISTAT		OCCUPANCY SENSOR
	PENDANT 100 W		WEATHER PROOF SURFACE MOUNTED FIXTURE
	SURFACE MOUNTED FIXTURE		WEATHER PROOF RECESSED DOWNLIGHT
	RECESSED LIGHT		WEATHER PROOF WALL MOUNTED LIGHT
	RECESSED LIGHT - LED FIXTURE		GARAGE DOOR OPENER W/ LIGHT
	RECESSED DIRECTIONAL DOWNRIGHT (32W)		MOTION ACTIVATED EXT. W/ FLOOD LIGHT W/ PHOTOCELL
	WALL MOUNTED SCONCE		SMOKE DETECTOR
	FLUORESCENT TUBE (2) T5 UNITS @ 54W		CARBON MONOXIDE DETECTOR
	GAS LINE		THERMOSTAT
	GARBAGE DISPOSAL		EXTERIOR DOWNLIGHT
	HOSE BIB		

MECHANICAL / ELECTRICAL / LIGHTING NOTES

- \*\*\*ALL LIGHTING AND ELECTRICAL WORK TO BE VERIFIED WITH OWNER AND SHALL CONFORM TO LOCAL ENERGY AND BUILDING CODES
- ALL OUTLETS TO BE +15" A.F.F. TO C.L. U.O.N.
  - ALL SWITCHES TO BE +42" A.F.F. U.O.N.
  - OUTLET BOXES SHALL NOT BE USED AS SOLE SUPPORT FOR CEILING FANS. SEE MANUF. SPECIFICATIONS FOR INSTALLATION.
  - LIGHT SWITCHES AND OTHER ELECTRICAL SWITCHES IN THE SAME VICINITY OF THE WALL SHALL BE PLACED IN THE SAME BOX WITHIN A SINGLE COVER PLATE.
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- PROVIDE ELECTRICAL OUTLETS @ EA. KITCHEN COUNTER SPACE WIDER THAN 12".
  - PER CBC 907.2.10.1.2 : A SMOKE DETECTOR SHALL BE INSTALLED IN EA. SLEEPING ROOM & AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OUTSIDE BEDROOMS. SMOKE DETECTOR SHALL BE HARDWIRED & INTERCONNECTED W/ BATTERY BACK UP.
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  - LIGHTING IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS: ALL LUMINAIRES SHALL BE EITHER HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR OR DIMMER. CLOSETS THAT ARE LESS THAN 70 SQ. FT. ARE EXEMPT FROM THIS REQUIREMENT.
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  - CARBON MONOXIDE ALARMS REQUIRED BY SECTIONS R315.1 AND R315.2 SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S). 2. ON EVERY LEVEL OF A DWELLING UNIT
  - A) TAMPER RESISTANT RECEPTACLES FOR ALL LOCATIONS DESCRIBED IN 210.52 (I.E., ALL RECEPTACLES IN A DWELLING). B) WEATHER RESISTANT TYPE FOR RECEPTACLES INSTALLED IN DAMP OR WET LOCATIONS (OUTSIDE). C) ARC-FAULT PROTECTION FOR ALL OUTLETS (NOT JUST RECEPTACLES) LOCATED IN ROOMS DESCRIBED IN NEC 210.12(B): FAMILY, LIVING, BEDROOMS, DINING, HALLS, ETC. D) GFCI PROTECTED OUTLETS FOR LOCATIONS DESCRIBED IN NEC 210.8: KITCHENS, GARAGES, BATHROOMS, OUTDOORS, WITHIN 6' OF A SINK, ETC.
  - BATHROOM CIRCUITING TO BE A) 20 AMPERE CIRCUIT DEDICATED TO EACH BATHROOM, OR B) AT LEAST ONE 20 AMPERE CIRCUIT SUPPLYING ONLY BATHROOM RECEPTACLE OUTLETS.
  - CONCEALED LIGHT FIXTURES WILL BE I.C. RATED WHEREVER INSULATION IS REQUIRED. THE HOUSING OF THE LUMINAIRES SHALL BE AIRTIGHT PER 2005 T-24, NEC 410-66
  - ALL RECESSED FIXTURES INSTALLED ABOVE SHOWER SHALL BE GASKETED AND SUITABLE FOR A DAMP LOCATION, GFCI PROTECT WHEN REQUIRED BY MANUFACTURER'S INSTRUCTION OR SPECIFICATIONS FOR A SPECIFIC FIXTURE.
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  - ALL GAS APPLIANCES SHALL HAVE AN ACCESSIBLE SHUTOFF VALVE INSTALLED IN THE FUEL SUPPLY PIPING OUTSIDE OF EACH APPLIANCE AND AHEAD OF THE UNION CONNECTION. THE APPLIANCE FUEL CONNECTOR SHALL NOT BE CONCEALED WITHIN OR EXTEND THROUGH A WALL, FLOOR, OR PARTITION AND SHALL NOT EXTEND THROUGH THE APPLIANCE HOUSING OR CASING.



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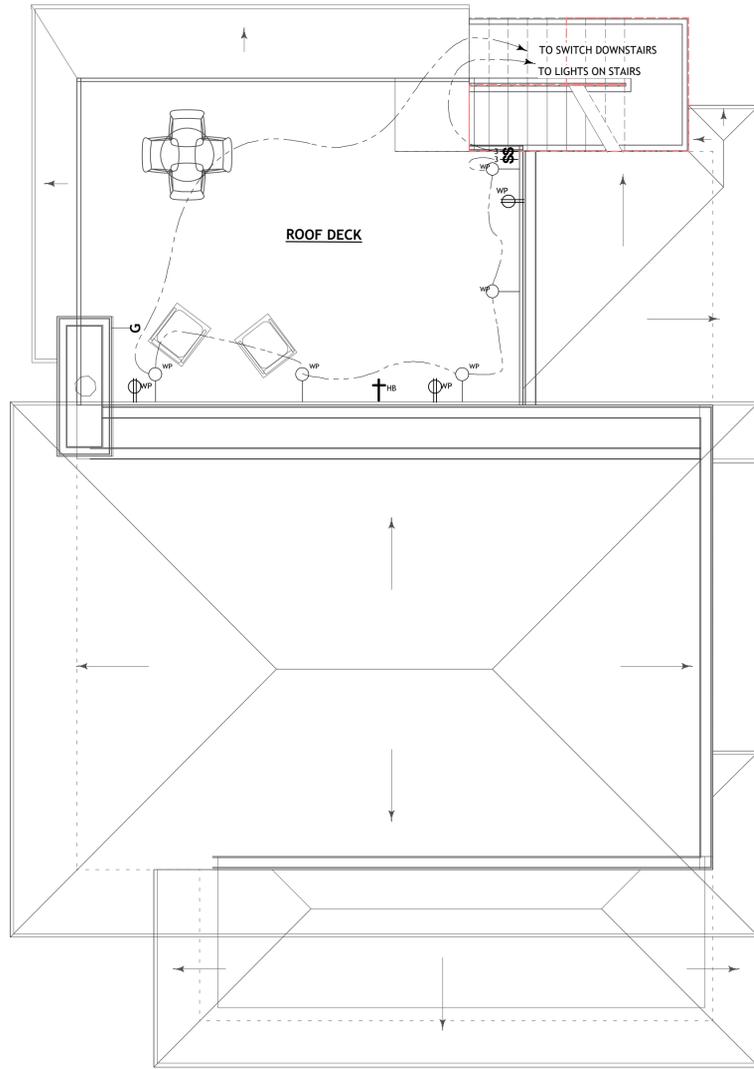
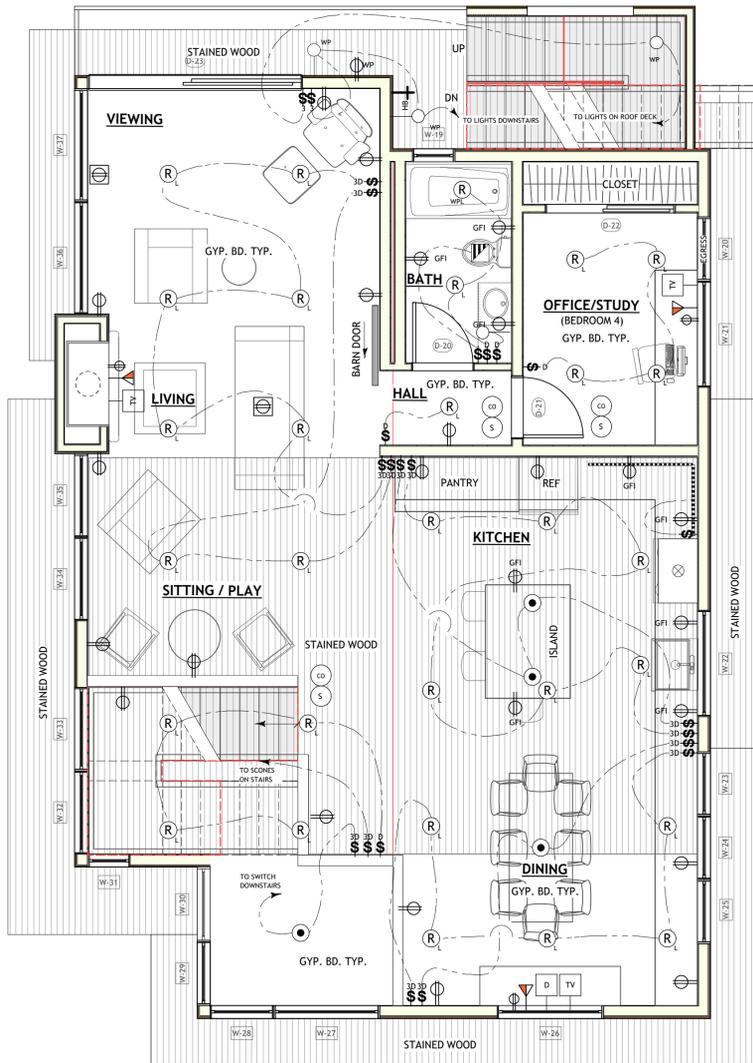
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scale

sheet  
**A 2.4**

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**LEGEND**

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	PENDANT 100 W		WEATHER PROOF SURFACE MOUNTED FIXTURE
	SURFACE MOUNTED FIXTURE		WEATHER PROOF RECESSED DOWNLIGHT
	RECESSED LIGHT		WEATHER PROOF WALL MOUNTED LIGHT
	RECESSED LIGHT - LED FIXTURE		GARAGE DOOR OPENER W/ LIGHT
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- 12. LIGHTING IN OTHER ROOMS (IE. BEDROOM, DINING, LIVING AND FAMILY ROOMS): ALL LUMINAIRES SHALL BE EITHER HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR OR DIMMER. CLOSETS THAT ARE LESS THAN 70 SQ. FT. ARE EXEMPT FROM THIS REQUIREMENT.
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sheet  
**A 2.5**

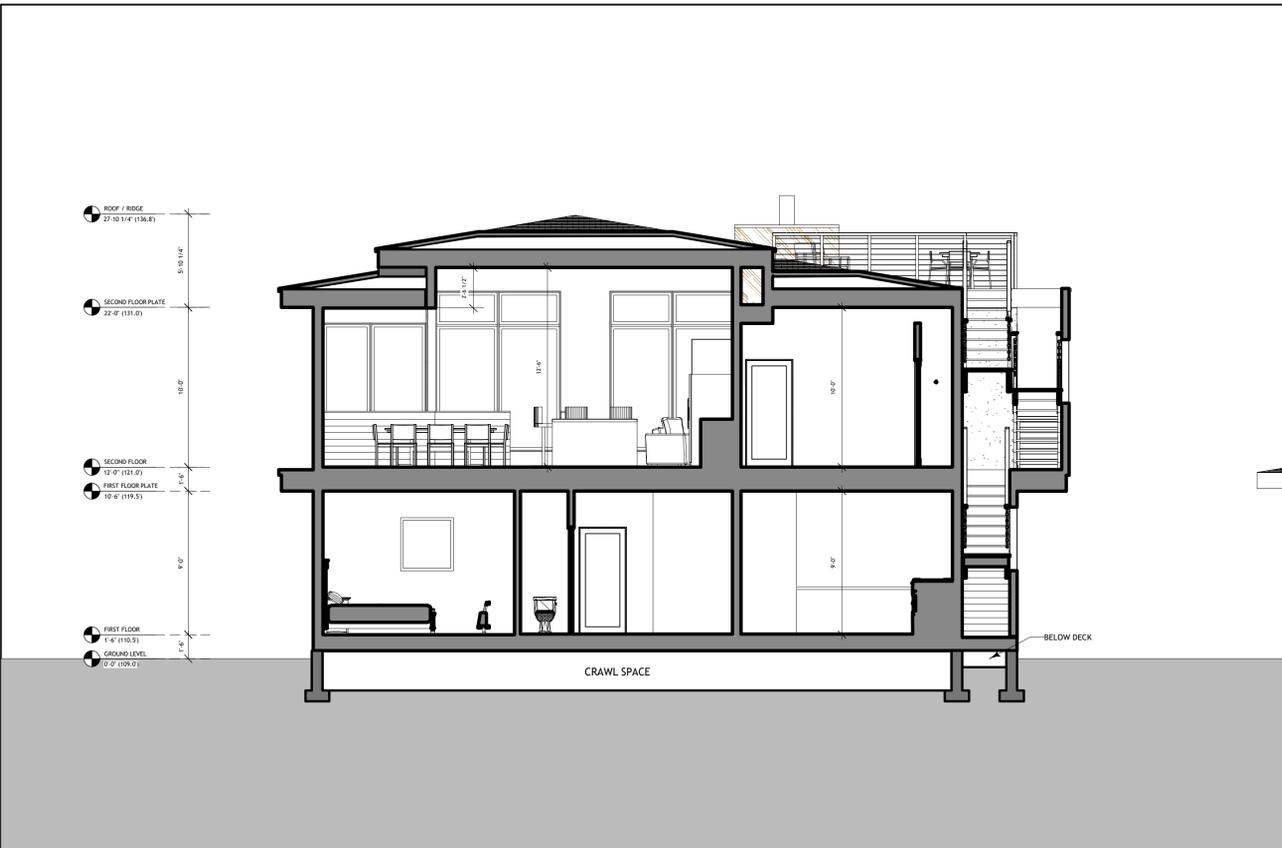
1 LEVEL 2 CEILING AND ELECTRICAL PLAN

2 ROOF DECK ELECTRICAL PLAN



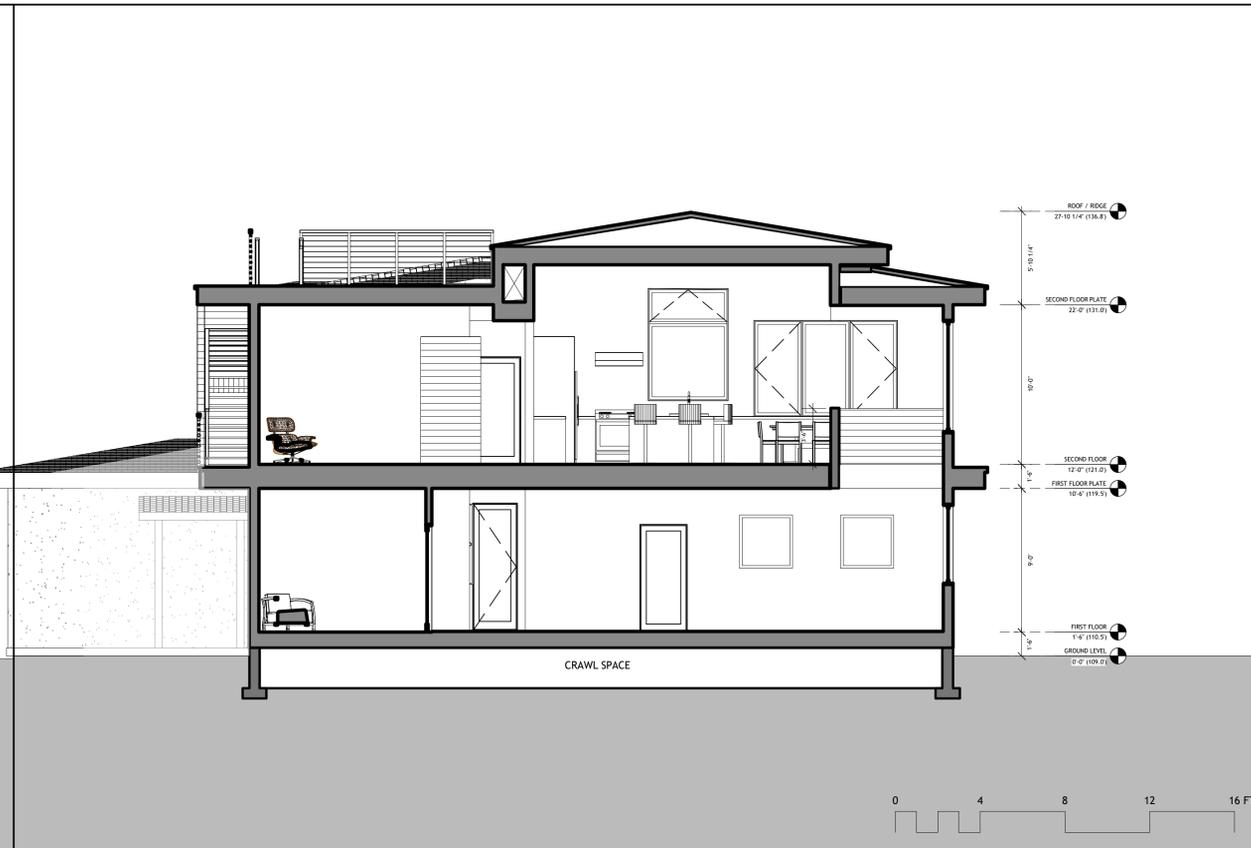
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1 BUILDING CROSS SECTION

3/16"=1'-0"



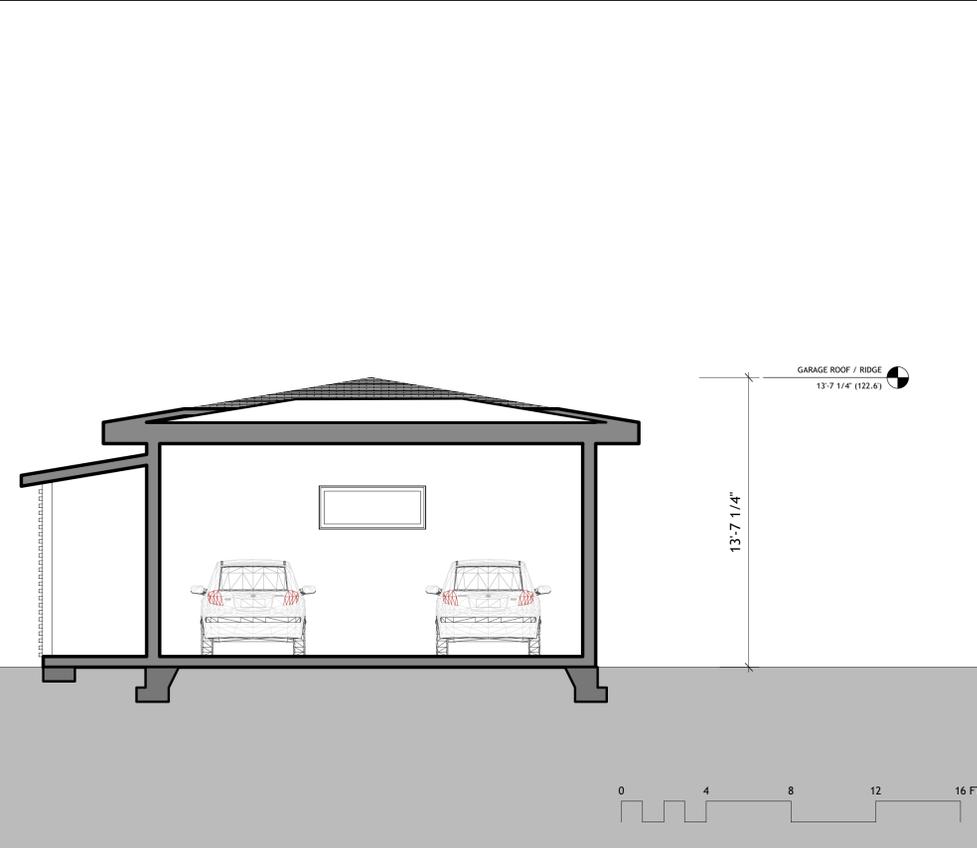
2 BUILDING CROSS SECTION

3/16"=1'-0"



3 BUILDING CROSS SECTION

1/4"=1'-0"



THE JACKSON RESIDENCE  
 BUENA VISTA STREET  
 MOSS BEACH, CA  
 94038

SECTION

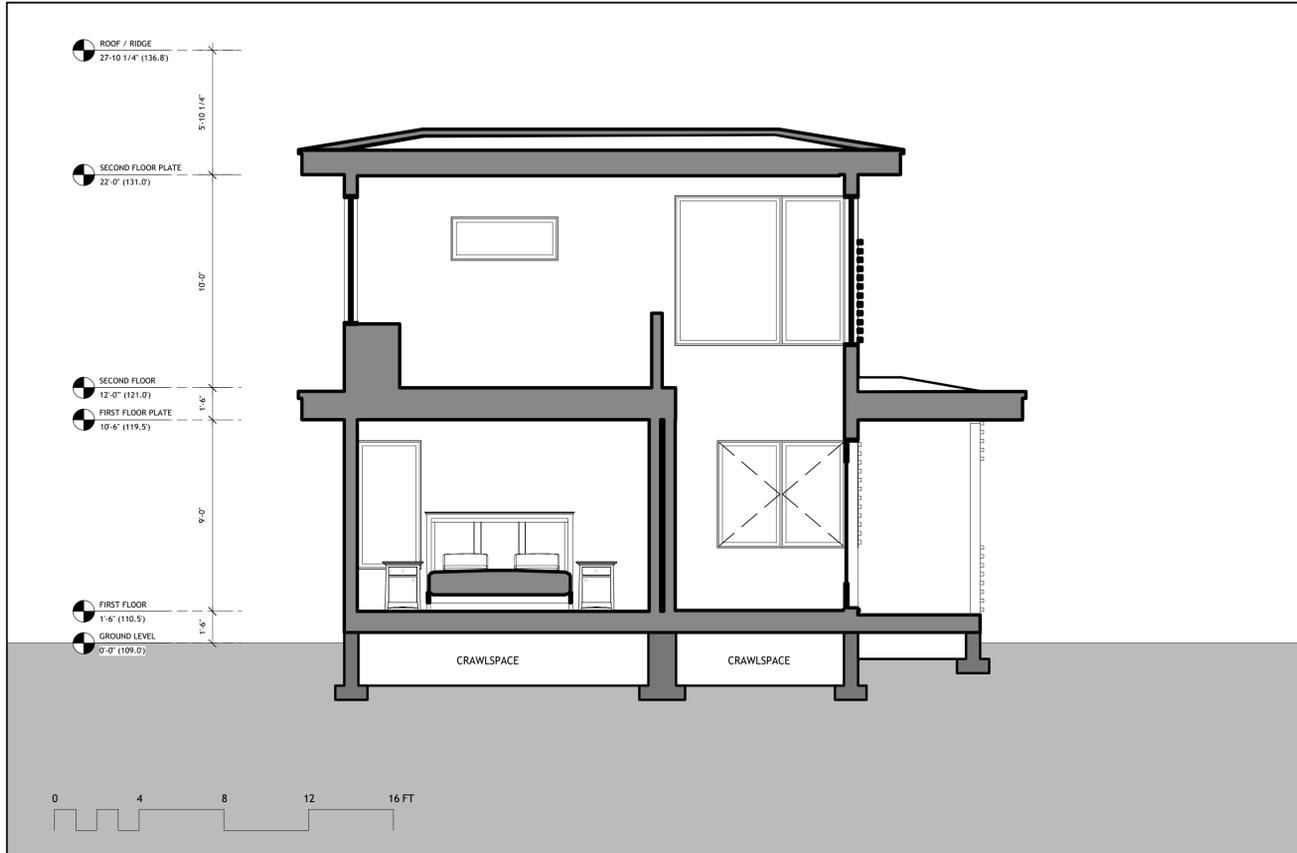
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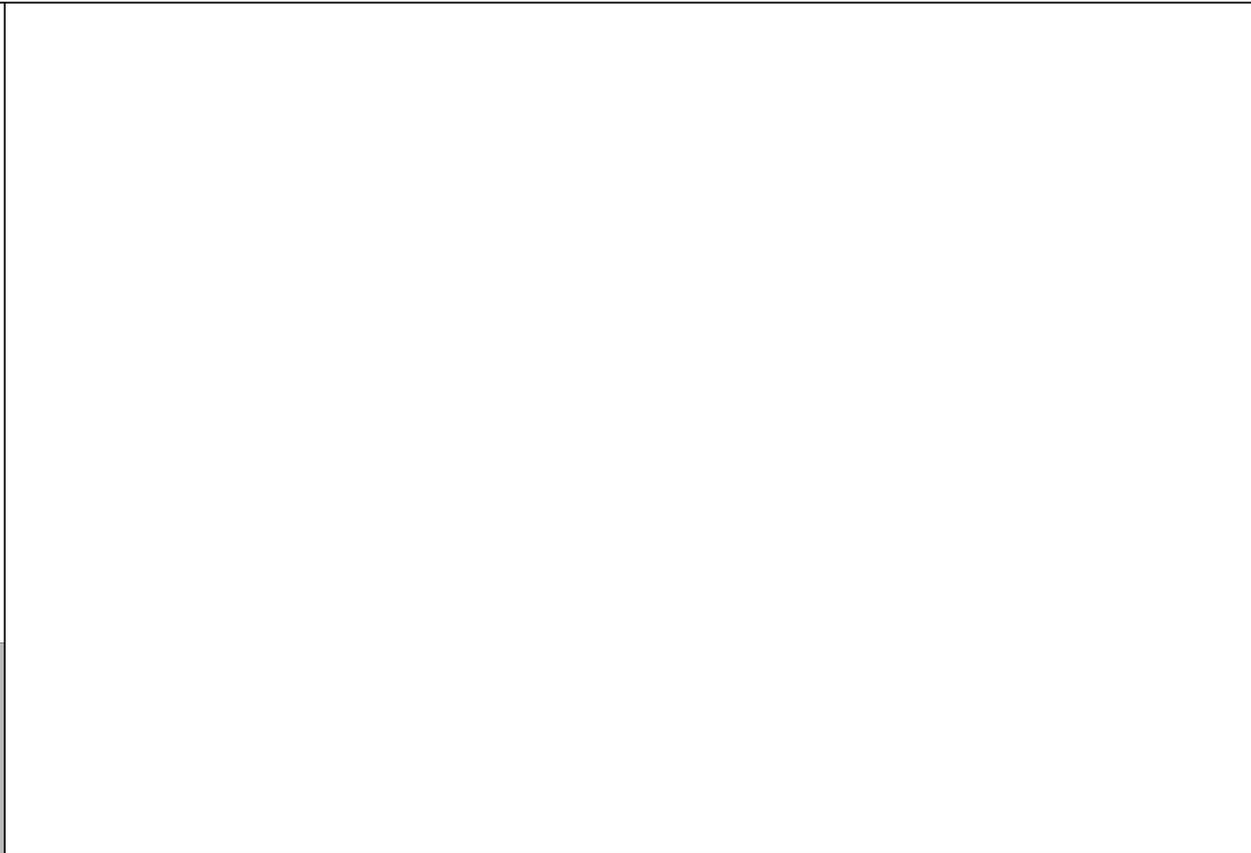
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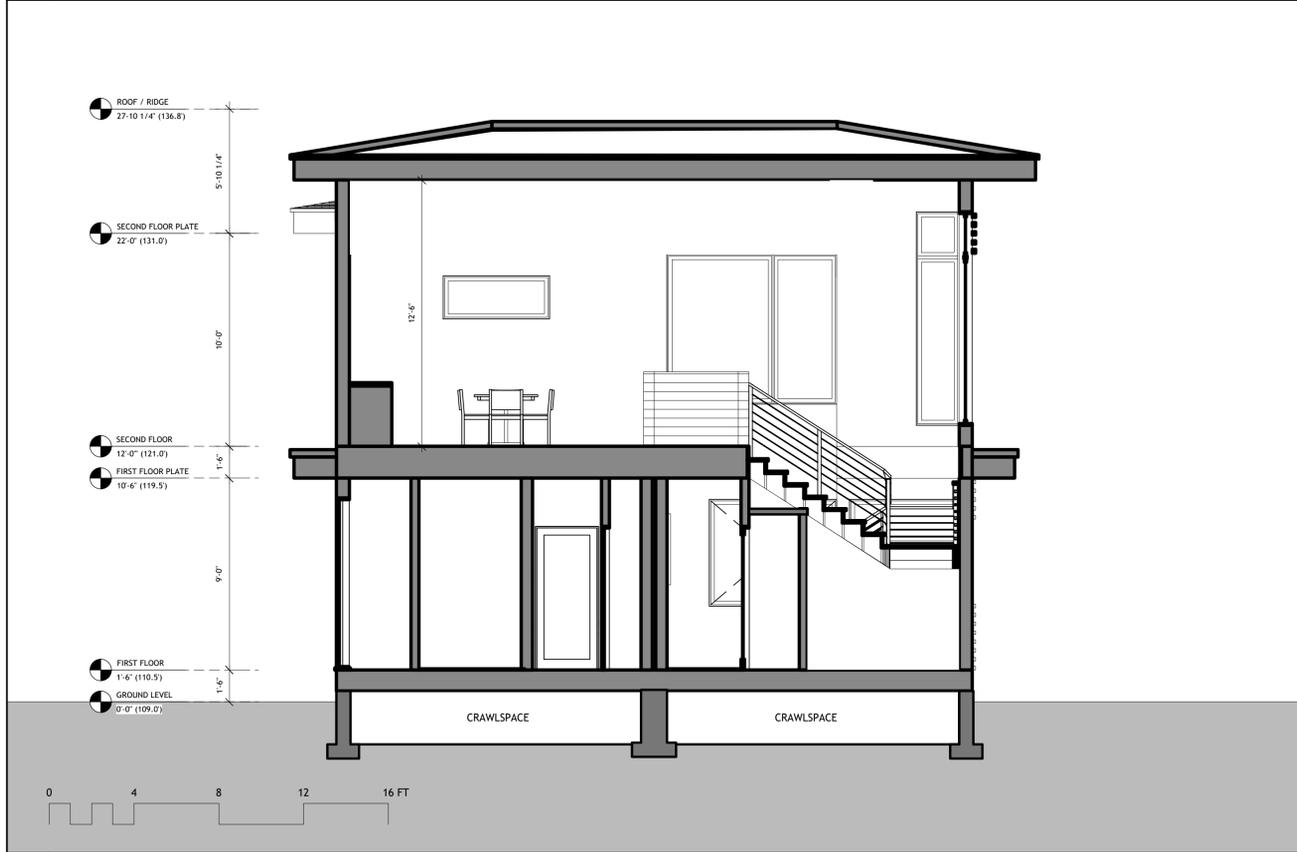
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1 BUILDING CROSS SECTION



3 NOT USED



2 BUILDING CROSS SECTION



4 NOT USED



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50% DESIGN SET v2	052715
100% DESIGN SET V1	091415
DESIGN REVIEW SUBMITTAL	091615



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SECTION

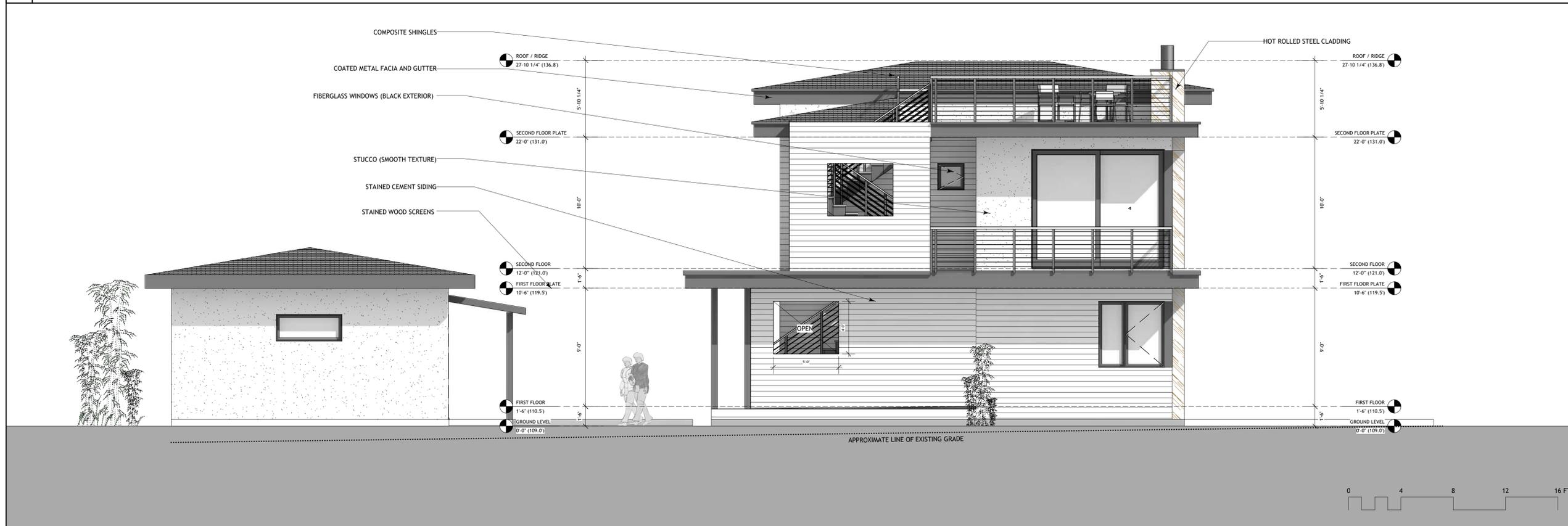
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1 SOUTH ELEVATION (FRONT)



2 WEST ELEVATION



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sheet  
**A 4.0**



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sheet  
**A 4.1**

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1 NORTH ELEVATION



2 EAST ELEVATION

# Door Schedule

Image	Mark	Nominal Size			Door Operation	Door Style		Door Frame			Door Data			Accessories	Comments
		Width	Height	Thickness		Top Shape	Slab Style	Glaz. Style	Jamb Thick	Jamb Depth	Mfr	Model No.			
	D- 01	6'0"	6'8"	1 3/4"	Slider	Square	Panel	None	3/4"	4 1/2"	WESTERN WINDOWS	SERIES 600		BLACK ANODIZED	
	D- 02	1'6"	6'8"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	4 1/2"	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING	
	D- 03	2'10"	6'8"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	4 1/2"	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING	
	D- 04	2'10"	6'8"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	4 1/2"	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING	
	D- 05	2'9"	8'0"	1 3/4"	Swing Simple	Square	Glass	None	3/4"	7 3/8"	SIMPSON	PAINT GRADE		TEMPERED	
	D- 06	2'8"	8'0"	1 3/4"	Swing Simple	Square	Solid	None	3/4"	7 3/8"	FIELD-FRAMED	PAINT GRADE		CLAD W/ SIDING TO MATCH EXT / VENT AS NEEDED	
	D- 07	3'6"	8'0"	1 3/4"	Swing Simple	Square	Custom	None	3/4"	7 3/8"	SIMPSON	FIBERGLASS		TEMPERED / FINAL SPEC TBD	
	D- 08	2'6"	6'8"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	4 1/2"	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING	
	D- 09	1'8"	6'8"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	4 1/2"	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING	
	D- 10	6'0"	6'8"	1 3/4"	Slider	Square	Panel	None	3/4"	4 1/2"	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING	
	D- 11	2'10"	6'8"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	4 1/2"	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING	
	D- 12	2'10"	6'8"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	6 1/2"	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING	
	D- 13	2'8"	6'8"	1 3/4"	Pocket Simple	Square	Panel	None	3/4"	4 1/2"	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING	
	D- 14	2'6"	6'8"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	4 1/2"	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING	
	D- 15	2'10"	6'8"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	4 1/2"	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING	
	D- 16	2'10"	6'8"	1 3/4"	Pocket Simple	Square	Panel	None	3/4"	4 1/2"	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING	
	D- 17	2'10"	6'8"	1 3/4"	Pocket Simple	Square	Panel	None	3/4"	4 1/2"	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING	
	D- 18	2'8"	8'0"	1 3/4"	Swing Simple	Square	Glass	None	3/4"	7 3/8"	SIMPSON	FIBERGLASS		TEMPERED	
	D- 19	16'0"	8'0"	1 3/4"	Overhead	Square	Panel	None	3/4"	7 3/8"	WAYNE DALTON	PAINT GRADE		TEMPERED / BLACK ANODIZED	
	D- 20	2'10"	6'8"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	4 1/2"	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING	
	D- 21	2'10"	6'8"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	6 1/2"	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING	
	D- 22	6'0"	6'8"	1 3/4"	Slider	Square	Panel	None	3/4"	4 1/2"	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING	
	D- 23	10'0"	9'0"	1 3/4"	Slider	Square	Glass	None	3/4"	7 3/8"	WESTERN WINDOWS	SERIES 600		TEMPERED / BLACK ANODIZED	



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scale

sheet

**A 7.0**

Window Schedule										Window Schedule										
Image	Mark	Nominal Size		Sash Operation	Window Style	Glass	Egress	Mfr	Model No.	Comments	Image	W-	W	H	Configuration	Material	Manufacturer	Series	Notes	
												W- 27	5'0"	7'0"	Fixed Glass	Square		WESTERN WINDOWS	SERIES 600	BLACK ANNODIZED
												W- 28	3'0"	7'0"	Fixed Glass	Square		WESTERN WINDOWS	SERIES 600	BLACK ANNODIZED
	W- 01	3'0"	5'0"	Casement	Square			WESTERN WINDOWS	SERIES 670	BLACK ANNODIZED		W- 29	3'0"	7'0"	Fixed Glass	Square		WESTERN WINDOWS	SERIES 600	BLACK ANNODIZED
	W- 02	2'0"	5'0"	Fixed Glass	Square			WESTERN WINDOWS	SERIES 600	BLACK ANNODIZED		W- 30	3'5 3/4"	7'0"	Fixed Glass	Square		WESTERN WINDOWS	SERIES 600	BLACK ANNODIZED
	W- 03	3'0"	5'0"	Casement	Square			WESTERN WINDOWS	SERIES 670	BLACK ANNODIZED		W- 31	2'0"	10'0"	Custom	Square	TEMPERED	WESTERN WINDOWS	SERIES 670	BLACK ANNODIZED
	W- 04	3'0"	5'0"	Casement	Square	TEMPERED		WESTERN WINDOWS	SERIES 670	BLACK ANNODIZED		W- 32	3'11"	10'0"	Custom	Square	TEMPERED	WESTERN WINDOWS	SERIES 670	BLACK ANNODIZED
	W- 05	5'0"	5'0"	Fixed Glass	Square	TEMPERED		WESTERN WINDOWS	SERIES 600	BLACK ANNODIZED		W- 33	3'11"	10'0"	Custom	Square	TEMPERED	WESTERN WINDOWS	SERIES 670	BLACK ANNODIZED
	W- 06	3'0"	5'0"	Casement	Square		X	WESTERN WINDOWS	SERIES 670	BLACK ANNODIZED		W- 34	3'11"	10'0"	Custom	Square	TEMPERED	WESTERN WINDOWS	SERIES 670	BLACK ANNODIZED
	W- 07	3'0"	5'0"	Casement	Square			WESTERN WINDOWS	SERIES 670	BLACK ANNODIZED		W- 35	3'11"	10'0"	Custom	Square	TEMPERED	WESTERN WINDOWS	SERIES 670	BLACK ANNODIZED
	W- 08	3'0"	6'0"	Fixed Glass	Square			WESTERN WINDOWS	SERIES 600	BLACK ANNODIZED		W- 36	5'3 1/2"	9'0"	Fixed Glass	Square	TEMPERED	WESTERN WINDOWS	SERIES 600	BLACK ANNODIZED
	W- 09	3'0"	6'0"	Fixed Glass	Square			WESTERN WINDOWS	SERIES 600	BLACK ANNODIZED		W- 37	5'3 1/2"	9'0"	Fixed Glass	Square	TEMPERED	WESTERN WINDOWS	SERIES 600	BLACK ANNODIZED
	W- 10	3'0"	5'0"	Casement	Square			WESTERN WINDOWS	SERIES 670	BLACK ANNODIZED		W- 38	5'0"	2'0"	Fixed Glass	Square		WESTERN WINDOWS	SERIES 600	BLACK ANNODIZED
	W- 11	3'0"	5'0"	Casement	Square	TEMPERED		WESTERN WINDOWS	SERIES 670	BLACK ANNODIZED		W- 39	5'0"	2'0"	Fixed Glass	Square		WESTERN WINDOWS	SERIES 600	BLACK ANNODIZED
	W- 12	2'0"	5'0"	Casement	Square	TEMPERED		WESTERN WINDOWS	SERIES 670	BLACK ANNODIZED										
	W- 13	5'1 7/8"	2'0"	Fixed Glass	Square	TEMPERED		WESTERN WINDOWS	SERIES 600	BLACK ANNODIZED										
	W- 14	3'6"	2'0"	Fixed Glass	Square	TEMPERED		WESTERN WINDOWS	SERIES 600	BLACK ANNODIZED										
	W- 15	3'0"	5'0"	Casement	Square		X	WESTERN WINDOWS	SERIES 670	BLACK ANNODIZED										
	W- 16	5'0"	5'0"	Fixed Glass	Square			WESTERN WINDOWS	SERIES 600	BLACK ANNODIZED										
	W- 17	5'0"	5'0"	Fixed Glass	Square			WESTERN WINDOWS	SERIES 600	BLACK ANNODIZED										
	W- 18	3'0"	5'0"	Casement	Square		X	WESTERN WINDOWS	SERIES 670	BLACK ANNODIZED										
	W- 19	2'0"	2'0"	Casement	Square			WESTERN WINDOWS	SERIES 670	BLACK ANNODIZED										
	W- 20	3'0"	5'0"	Fixed Glass	Square		X	WESTERN WINDOWS	SERIES 600	BLACK ANNODIZED										
	W- 21	5'0"	5'0"	Fixed Glass	Square			WESTERN WINDOWS	SERIES 600	BLACK ANNODIZED										
	W- 22	5'0"	7'0"	Custom	Square			WESTERN WINDOWS	SERIES 670	BLACK ANNODIZED										
	W- 23	3'0"	6'0"	Casement	Square			WESTERN WINDOWS	SERIES 670	BLACK ANNODIZED										
	W- 24	3'0"	6'0"	Fixed Glass	Square			WESTERN WINDOWS	SERIES 600	BLACK ANNODIZED										
	W- 25	3'0"	6'0"	Casement	Square			WESTERN WINDOWS	SERIES 670	BLACK ANNODIZED										
	W- 26	5'0"	2'0"	Fixed Glass	Square			WESTERN WINDOWS	SERIES 600	BLACK ANNODIZED										



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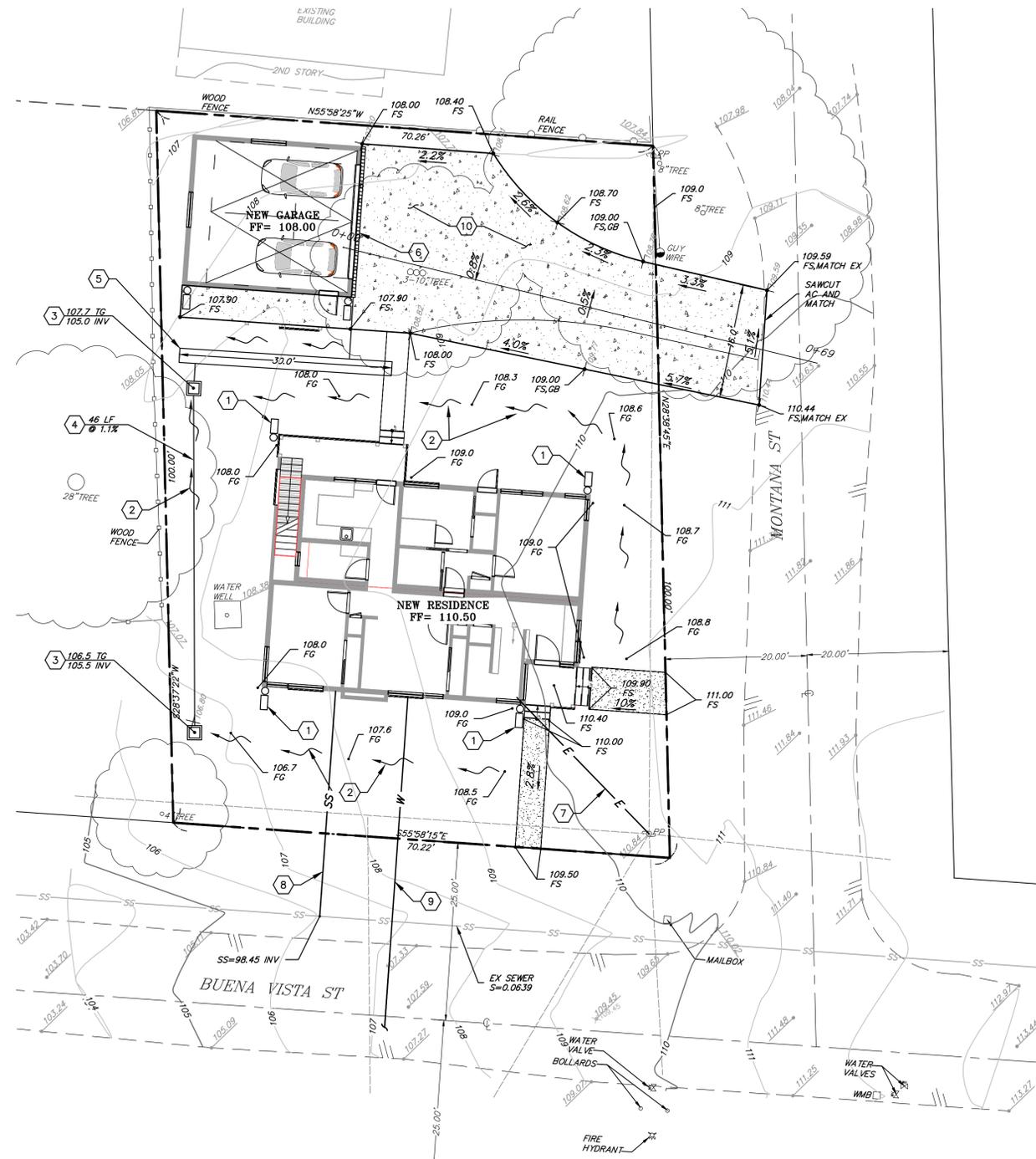
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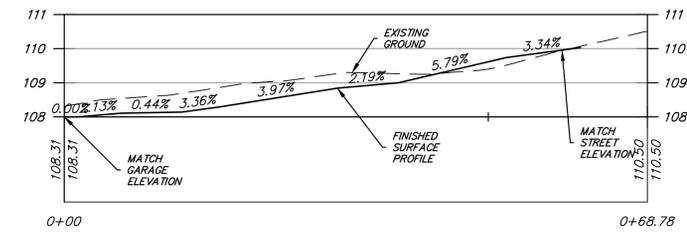
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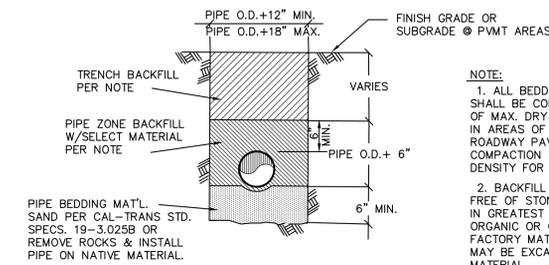


**CONSTRUCTION NOTES**

- 1 CONSTRUCT 2' LONG X 1' WIDE CONCRETE SPLASH BLOCK AT ROOF DOWNSPOUT. DIRECT AWAY FROM HOUSE.
- 2 CONSTRUCT GRADED EARTH SWALE PER DETAIL HEREON.
- 3 INSTALL 12"x12" CONCRETE PRECAST DROP INLET, HANSEN OR EQUAL PER DETAIL HEREON.
- 4 INSTALL 6" SDR35 PVC DRAIN PIPE PER TYPICAL TRENCH DETAIL HEREON.
- 5 INSTALL RETENTION BASIN PER DETAIL HEREON.
- 6 INSTALL 4" WIDE TRAFFIC RATED TRENCH DRAIN, ACO OR POLYDRAIN, OR EQUAL.
- 7 INSTALL POWER AND TELEPHONE UTILITIES UNDERGROUND. COORDINATE CONNECTION POINTS WITH UTILITY COMPANIES AND ARCHITECT.
- 8 INSTALL 4" SEWER LATERAL PER SEWER DISTRICT STANDARDS. CONNECT TO EXISTING SEWER MAIN IN STREET.
- 9 INSTALL DOMESTIC WATER SERVICE CONNECTION PER WATER DISTRICT STANDARDS.
- 10 CONSTRUCT DRIVEWAY, 6" CLASS B CONCRETE ON 6" CLASS 2 BASE.

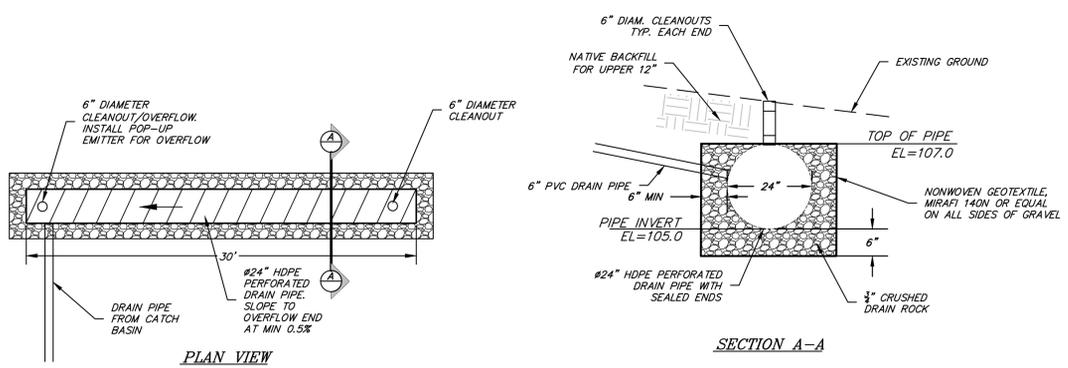


**DRIVEWAY PROFILE**

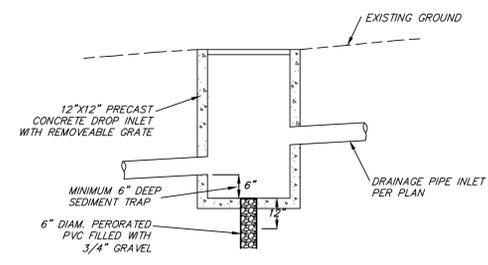


**NOTE:**  
 1. ALL BEDDING & BACKFILL SHALL BE COMPACTED TO 90% OF MAX. DRY DENSITY. IN AREAS OF FUTURE ROADWAY PAVEMENT, THE MIN. COMPACTION SHALL BE 90% OF MAX DRY DENSITY FOR THE UPPER 2.5 FT.  
 2. BACKFILL MATERIALS SHALL BE FREE OF STONES EXCEEDING 3" IN GREATEST DIMENSION, OR ORGANIC OR OTHER UNSATISFACTORY MATERIAL. BACKFILL MAY BE EXCAVATED TRENCH MATERIAL.

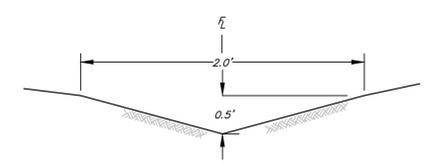
**4 TYPICAL TRENCH DETAIL**  
N.T.S.



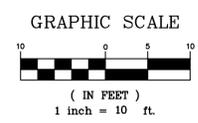
**5 DETENTION BASIN**  
NOT TO SCALE



**3 CATCH BASIN**  
N.T.S.



**2 GRADED EARTH SWALE DETAIL**  
N.T.S.



PREPARED AND SUBMITTED BY:  
**MATTHEW S. SCHOB** DATE  
 P.E. C 70489

**GRADING & DRAINAGE PLAN**  
**JACKSON RESIDENCE**  
 PREPARED FOR: DAVID AND REBECCA JACKSON



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