

9850

0.14 0 0.07 0.14 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1:4,514

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

RECEIVED

San Mateo County

DEC 17 2014

# Application for Design Review by the County Coastside Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063  
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Permit #: PLN 2014-00472

Other Permit #: \_\_\_\_\_

### Applicant:

Name: Balvina & Salvador Lopez

Address: 120 Coral Reef Ave

El Granada Zip: 94019

Phone, W: 6507285821 H: \_\_\_\_\_

Email: lupitazepol@hotmail.com

### Owner (if different from Applicant):

Name: Balvina Lopez

Address: 120 Coral Reef Ave

El Granada CA Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_ H: \_\_\_\_\_

Email: \_\_\_\_\_

### Architect or Designer (if different from Applicant):

Name: D & Z Structural Engineering, Inc.

Address: 3389 Mira Loma Drive, Suite 3, Cameron Park CA Zip: 95682

Phone, W: 530-677-0900 H: \_\_\_\_\_ Email: jdillingham@dz-engineering.com

### Project location:

APN: 037344040

Address: 120 Coral Reef Ave

El Granada CA Zip: \_\_\_\_\_

Zoning: R-1 / S-17 / DR / CD

Parcel/lot size: 5500 sq. ft.

### Site Description:

- Vacant Parcel
- Existing Development (Please describe):

existing 2365 sq. foot residence on site

### Project:

New Single Family Residence: \_\_\_\_\_ sq. ft

Addition to Residence: 549 sq. ft

Other: \_\_\_\_\_

### Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

### Describe Project:

Add approximately 549 sq. ft. to an existing residence. Added area to be entirely at the second level of the existing structure and will remain within the existing building footprint.

**4. Exterior Wall, Window, Door, and Accessory Building Materials**

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	_____	_____	<input checked="" type="checkbox"/>
b. Trim	_____	_____	<input checked="" type="checkbox"/>
c. Windows	_____	_____	<input checked="" type="checkbox"/>
d. Doors	_____	_____	<input checked="" type="checkbox"/>
e. Roof	_____	_____	<input checked="" type="checkbox"/>
f. Chimneys	existing brick to be reduced in height	_____	<input checked="" type="checkbox"/>
g. Decks & railings	_____	_____	<input type="checkbox"/>
h. Stairs	_____	_____	<input type="checkbox"/>
i. Retaining walls	_____	_____	<input type="checkbox"/>
j. Fences	_____	_____	<input type="checkbox"/>
k. Accessory buildings	_____	_____	<input type="checkbox"/>
l. Garage/Carport	_____	_____	<input type="checkbox"/>

**5. Required Findings**

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

**6. Signatures**

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

*Balvina Lopez*  
Owner:

*Patricia Lopez*  
Applicant:

12/17/14  
Date:

12/17/14  
Date:

# LOPEZ ADDITION

120 CORAL REEF AVE.

EL GRANADA, CA



**D&Z**  
Structural Engineering, Inc.  
3389 Mira Loma Dr. Ste. 3  
Cameron Park, CA 95682  
Tel: (530) 677-0900  
Fax: (530) 677-0901  
www.dz-engineering.com

## Lopez Residence Addition

120 Coral Reef Ave.  
El Granada, CA

### PROJECT TEAM

**OWNER**  
LOPEZ  
120 CORAL REEF AVE.  
EL GRANADA, CA  
PHONE:  
FAX:

**DESIGNER**  
D&Z STRUCTURAL ENGINEERING, INC.  
3389 MIRA LOMA DR. #3  
CAMERON PARK, CA 95682  
PHONE: (530) 677-0900  
FAX: (530) 677-0901  
CONTACT:  
EMAIL:

**STRUCTURAL ENGINEER**  
D&Z STRUCTURAL ENGINEERING, INC.  
3389 MIRA LOMA DR. #3  
CAMERON PARK, CA 95682  
PHONE: (530) 677-0900  
FAX: (530) 677-0901  
CONTACT: JIM DILLINGHAM  
EMAIL: jdillingham@dz-engineering.com

### PROJECT INFORMATION

**ADDRESS:** 120 CORAL REEF AVE.  
EL GRANADA, CA

**APN:** 037344040

**AREA:**

(E) LOWER LIVING AREA	1457	S.F.
(E) UPPER LIVING AREA	480	S.F.
ADDITIONAL UPPER LIVING AREA	549	S.F.
(E) GARAGE AREA	428	S.F.
TOTAL AREA	2914	S.F.
0.53 x TOTAL LOT AREA = 0.53 x 5500 =	2915	S.F.

**OCCUPANCY TYPE:** R-3

**CONSTRUCTION TYPE:** V-B

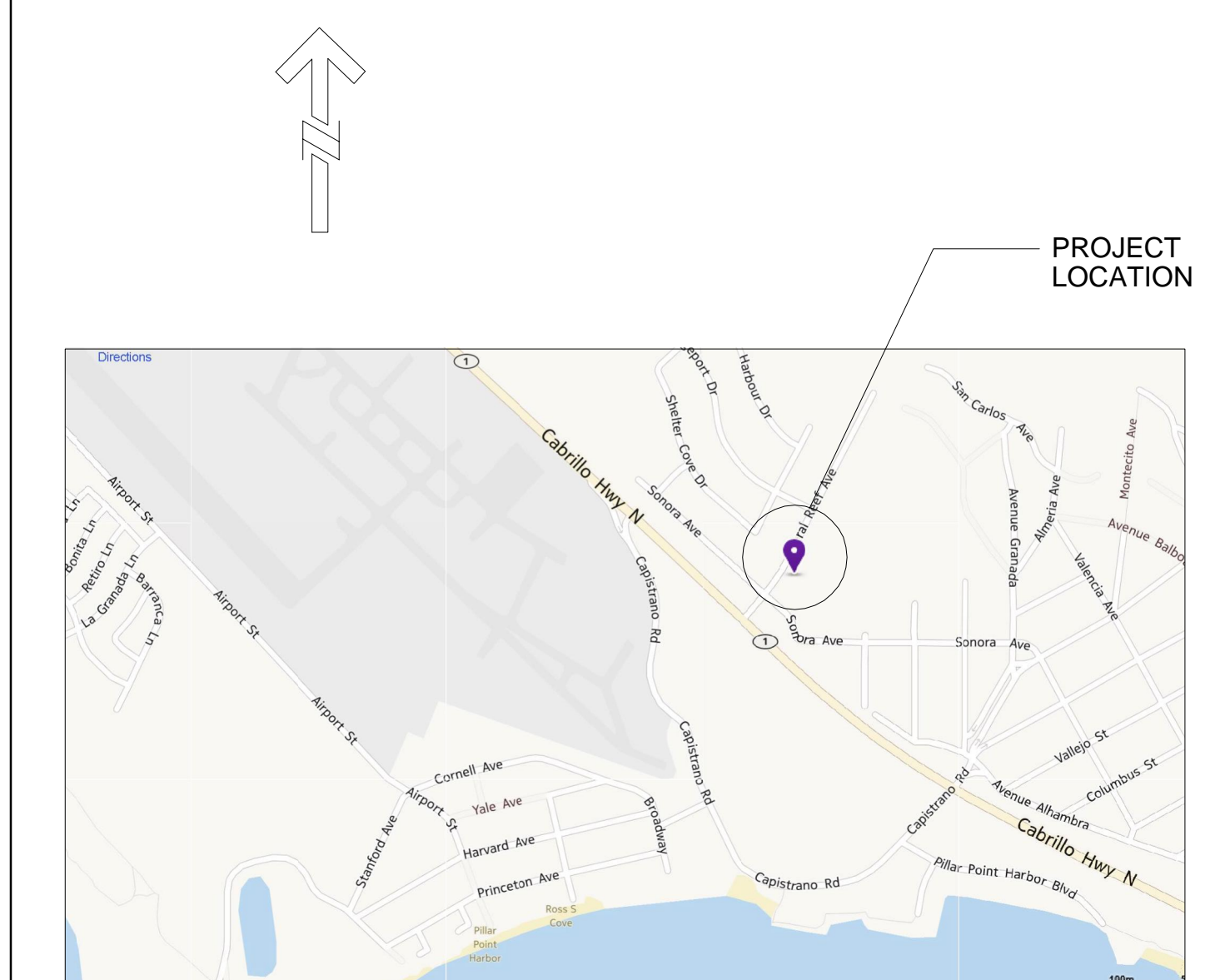
**SPRINKLER REQUIREMENT:** NO

**APPLICABLE CODE:**  
2013 CALIFORNIA BUILDING CODE, CALIFORNIA RESIDENTIAL CODE, CALIFORNIA GREEN STANDARDS CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA ELECTRICAL CODE, CALIFORNIA FIRE CODE, CALIFORNIA ENERGY CODE, AND CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE AS AMENDED BY THE STATE OF CALIFORNIA AND THE LOCAL JURISDICTION AND THE LATEST VERSION OF ALL OTHER CODES ADOPTED BY THE LOCAL JURISDICTION ARE APPLICABLE TO THIS PROJECT. THIS PROJECT REQUIRES COMPLIANCE WITH THESE CODES.

### SHEET INDEX

T1	TITLE COVER SHEET
C1	SITE PLAN
C2	BOUNDARY SURVEY
A2.1	LOWER FLOOR DEMO PLAN
A2.2	UPPER FLOOR DEMO PLAN
A2.3	PROPOSED LOWER FLOOR PLAN
A2.4	PROPOSED UPPER FLOOR PLAN
A2.5	PROPOSED ROOF PLAN
A3.1	ELEVATIONS
A3.2	ELEVATIONS
A3.3	SECTIONS
A3.4	EXTERIOR LIGHTING

### VICINITY MAP



**Owner**  
Lupita Lopez

Revisions	Sym	Description	Date	By

**Designed** MB

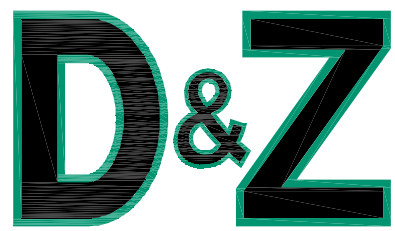
**Drawn** MB

**Date** 07/14

Title Cover Sheet

**Sheet**

**T1**



Structural Engineering, Inc.  
3389 Mira Loma Dr. Ste. 3  
Cameron Park, CA 95682

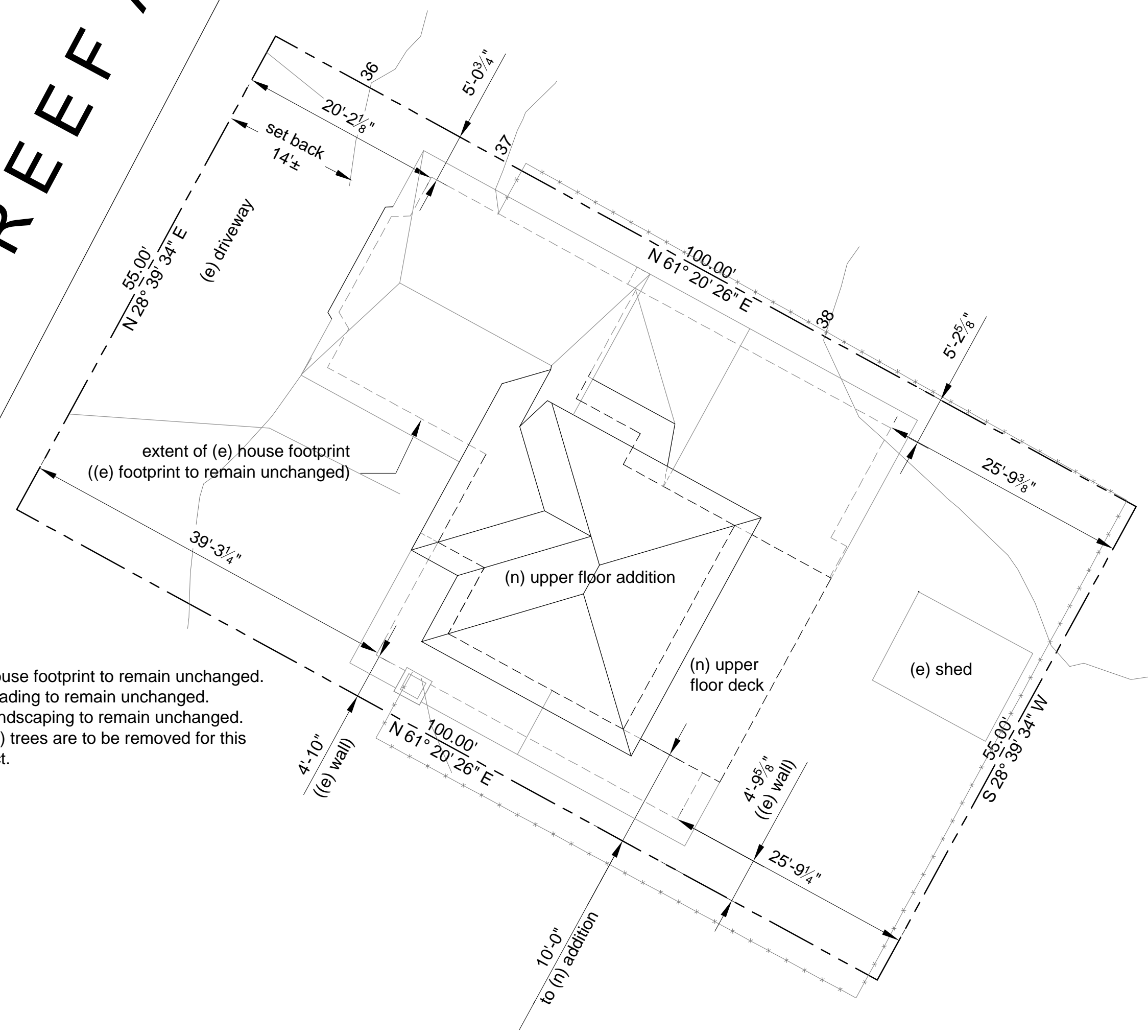
Tel: (530) 677-0900  
Fax: (530) 677-0901  
www.dz-engineering.com

# Lopez Residence Addition

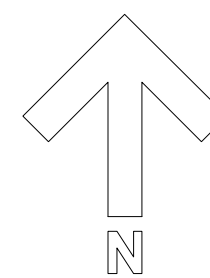
120 Coral Reef Ave.  
El Granada, CA

# CORAL REEF AVENUE

- Notes:
1. (E) house footprint to remain unchanged.
  2. (E) grading to remain unchanged.
  3. (E) landscaping to remain unchanged.  
No (E) trees are to be removed for this project.



Site Plan - 1" = 10'



Owner  
Lupita Lopez

Revisions	Sym	Description	Date	By

Designed  
MB

Drawn  
MB

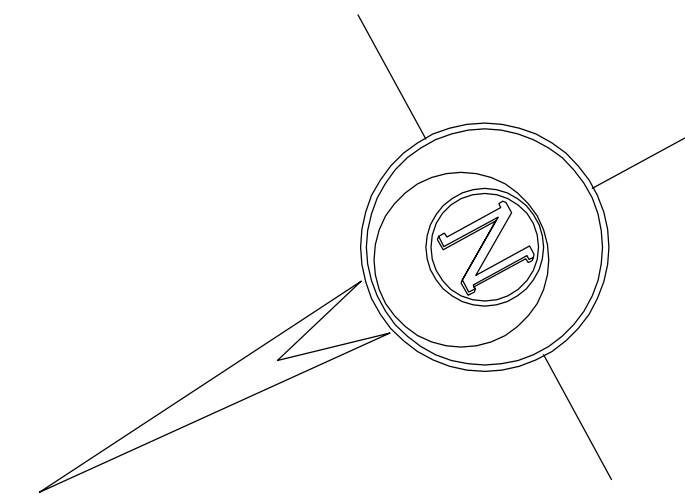
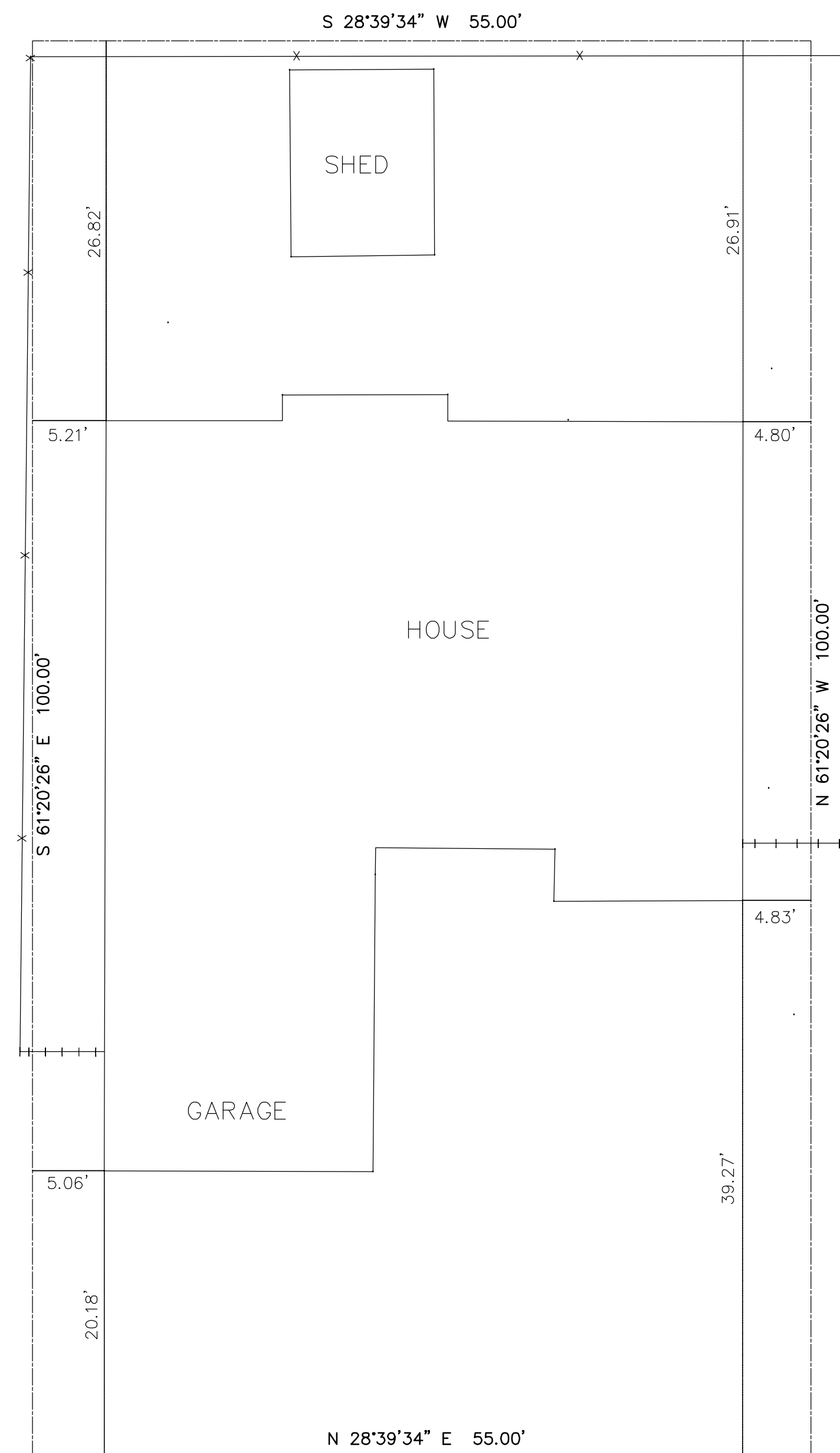
Date  
07/14

Site Plan

Sheet

# C1

Survey Prepared for: Lupe Lopez  
 SITE ADDRESS: 120 Coral Reef Avenue, El Granada  
 LEGAL DESCRIPTION: Lot 4, Block 1  
 Record Subdivision Book 69 at Page 23  
 A.P.N. 037-344-040  
 AREA: 5,500 SQ. FT. +/-

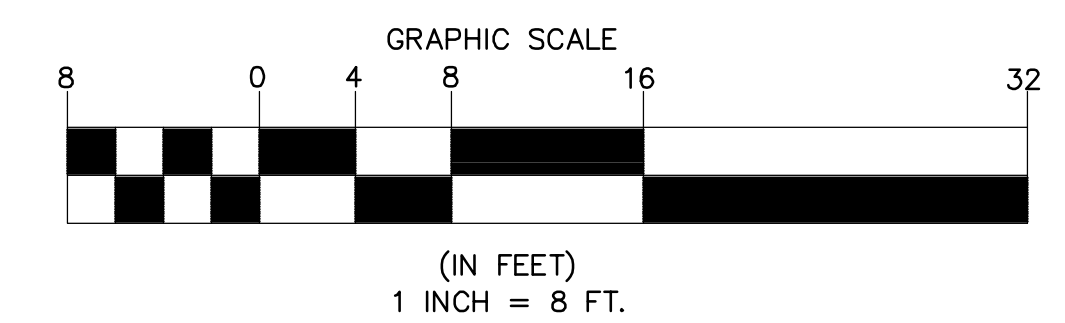


LEGEND

----- Property Line  
 \_\_\_\_\_ Fence

NOTES:

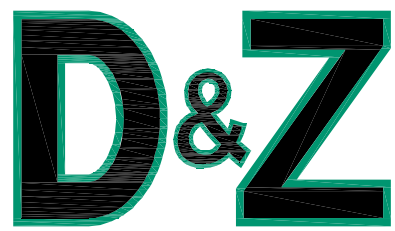
- 1.) Topography shown shows existing site features at the time of the survey. Any Site Plan or Grading Plan is done by others.
- 2.) Dimensions shown to the building are from the face of the foundation to the property line.



CORAL REEF AVENUE  
 60' RIGHT OF WAY

HOUSE LOCATION MAP  
 Prepared By:  
 Pat McNulty  
 Professional Land Surveyor  
 1604 Francis Avenue  
 Belmont, California 94002  
 650-654-6460  
 SEPTEMBER 2014 JOB NO.: 29-14

C2

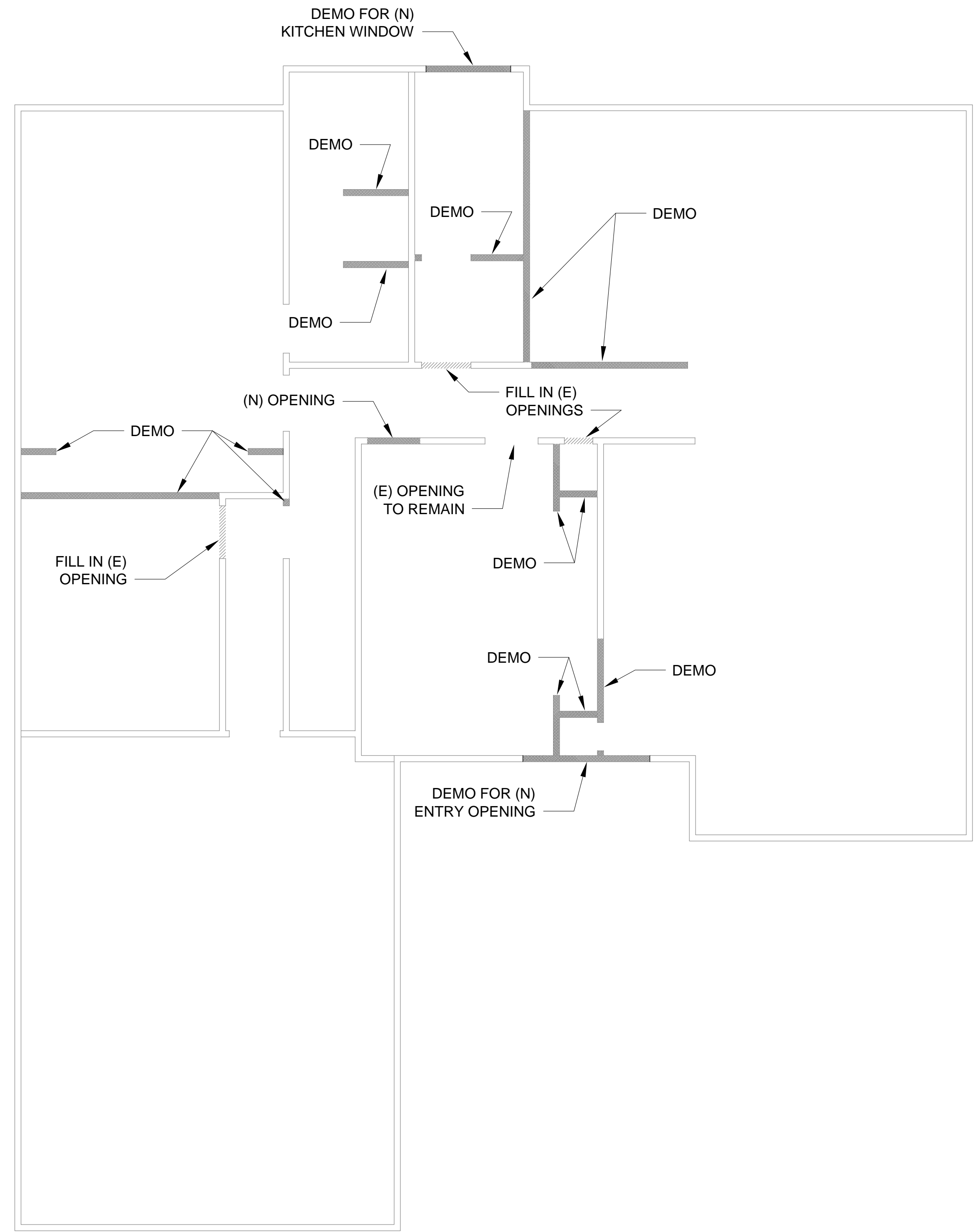


Structural Engineering, Inc.  
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Cameron Park, CA 95682

Tel: (530) 677-0900  
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www.dz-engineering.com

# Lopez Residence Addition

120 Coral Reef Ave.  
El Granada, CA



Lower Floor Demo Plan - 1/4"=1'-0"

Owner  
Lupita Lopez

Revisions	Sym	Description	Date	By

Designed  
MB

Drawn  
MB

Date  
07/14

Lower Floor Demo

Sheet

# A2.1



Structural Engineering, Inc.  
 3389 Mira Loma Dr. Ste. 3  
 Cameron Park, CA 95682

Tel: (530) 677-0900  
 Fax: (530) 677-0901  
 www.dz-engineering.com

# Lopez Residence Addition

120 Coral Reef Ave.  
 El Granada, CA

Owner  
 Lupita Lopez

Revisions	Sym	Description	Date	By

Designed MB

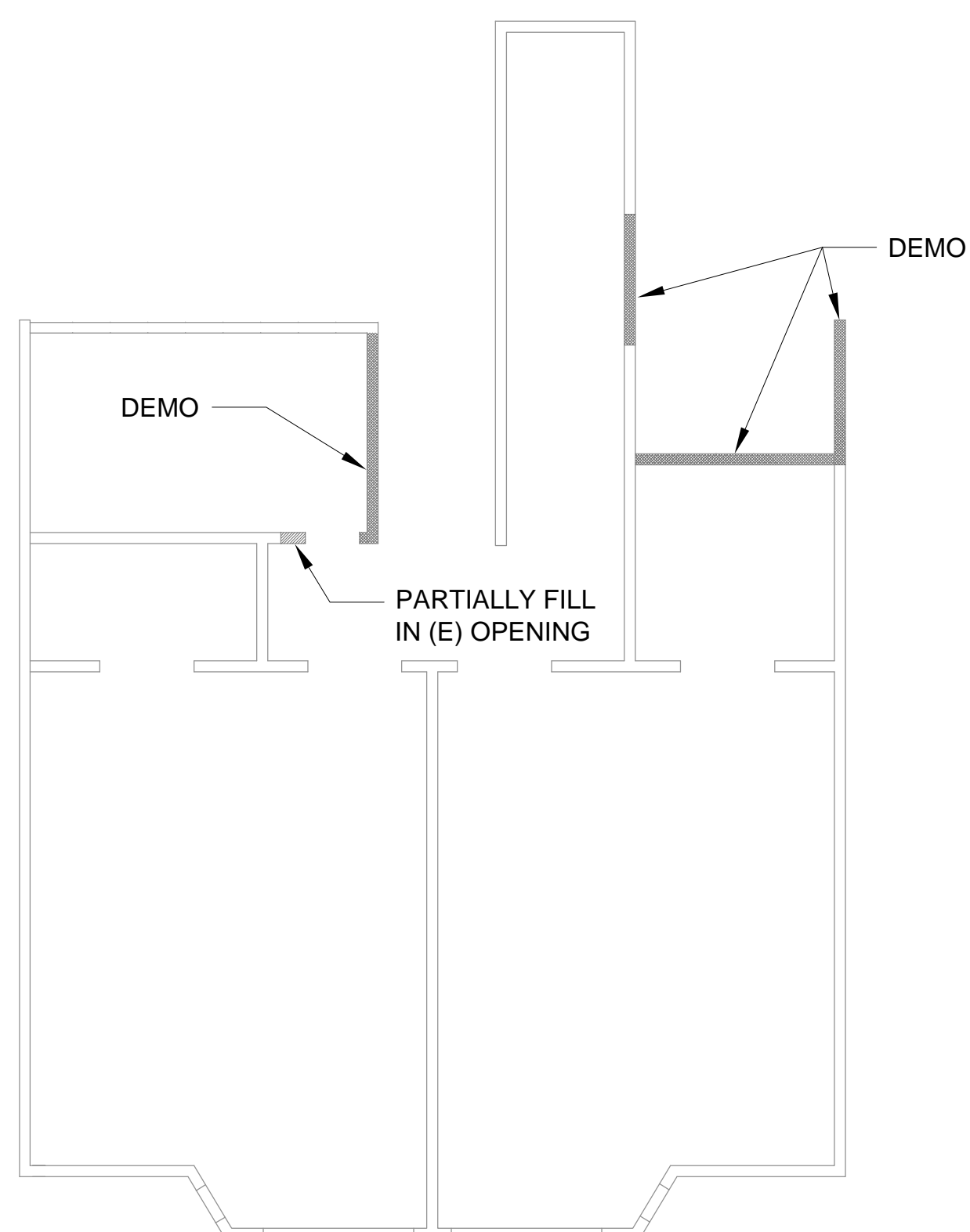
Drawn MB

Date 07/14

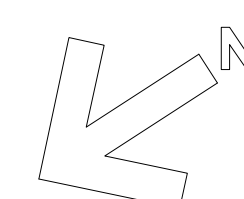
Upper Floor Demo

Sheet

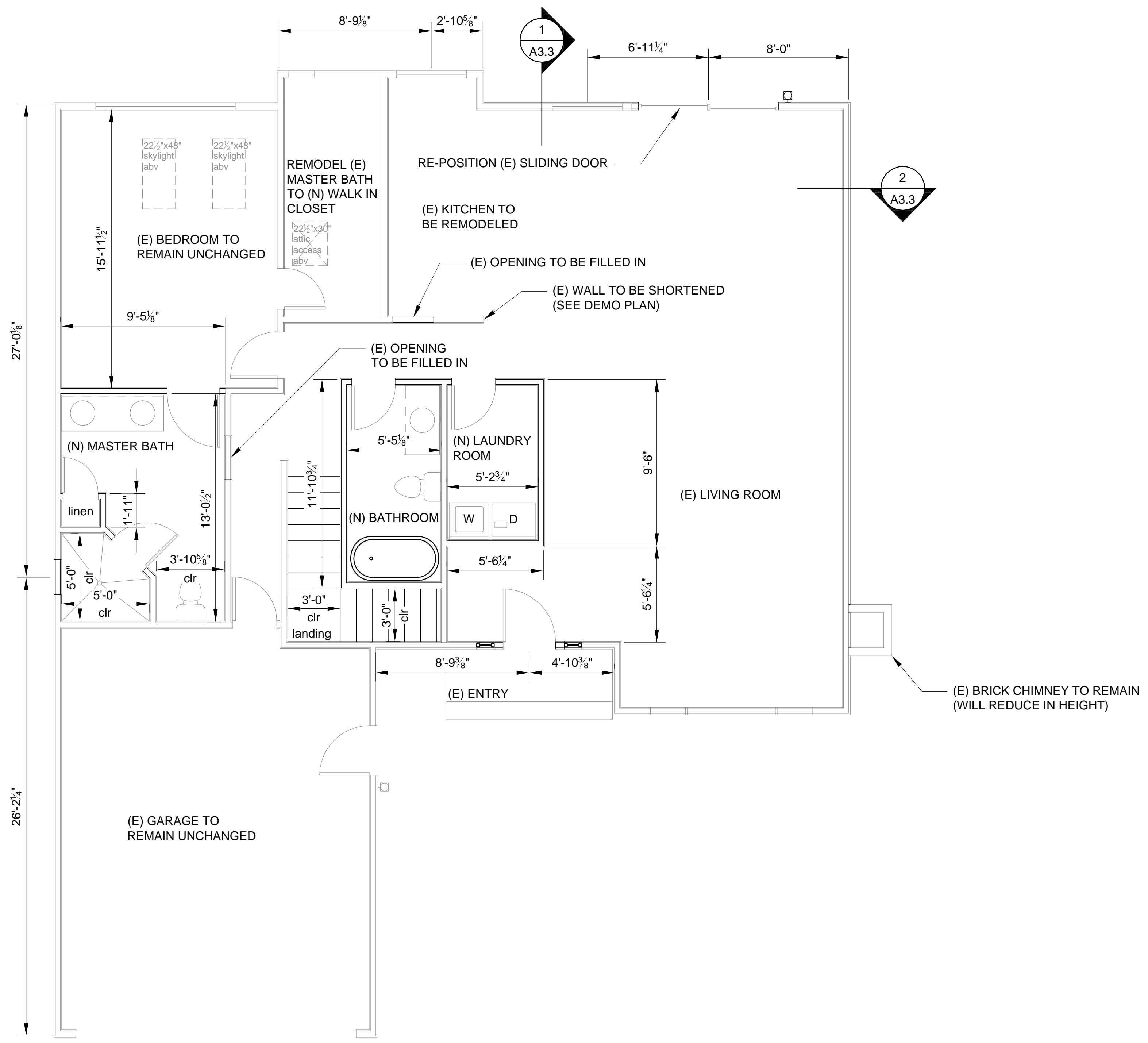
# A2.2



Upper Floor Demo Plan - 1/4"=1'-0"







**Floor Plan** - 1/4"=1'-0"

**Lopez Residence Addition**  
 120 Coral Reef Ave.  
 El Granada, CA

Owner  
 Lupita Lopez

Revisions	Sym	Description	Date	By

Designed  
 MB

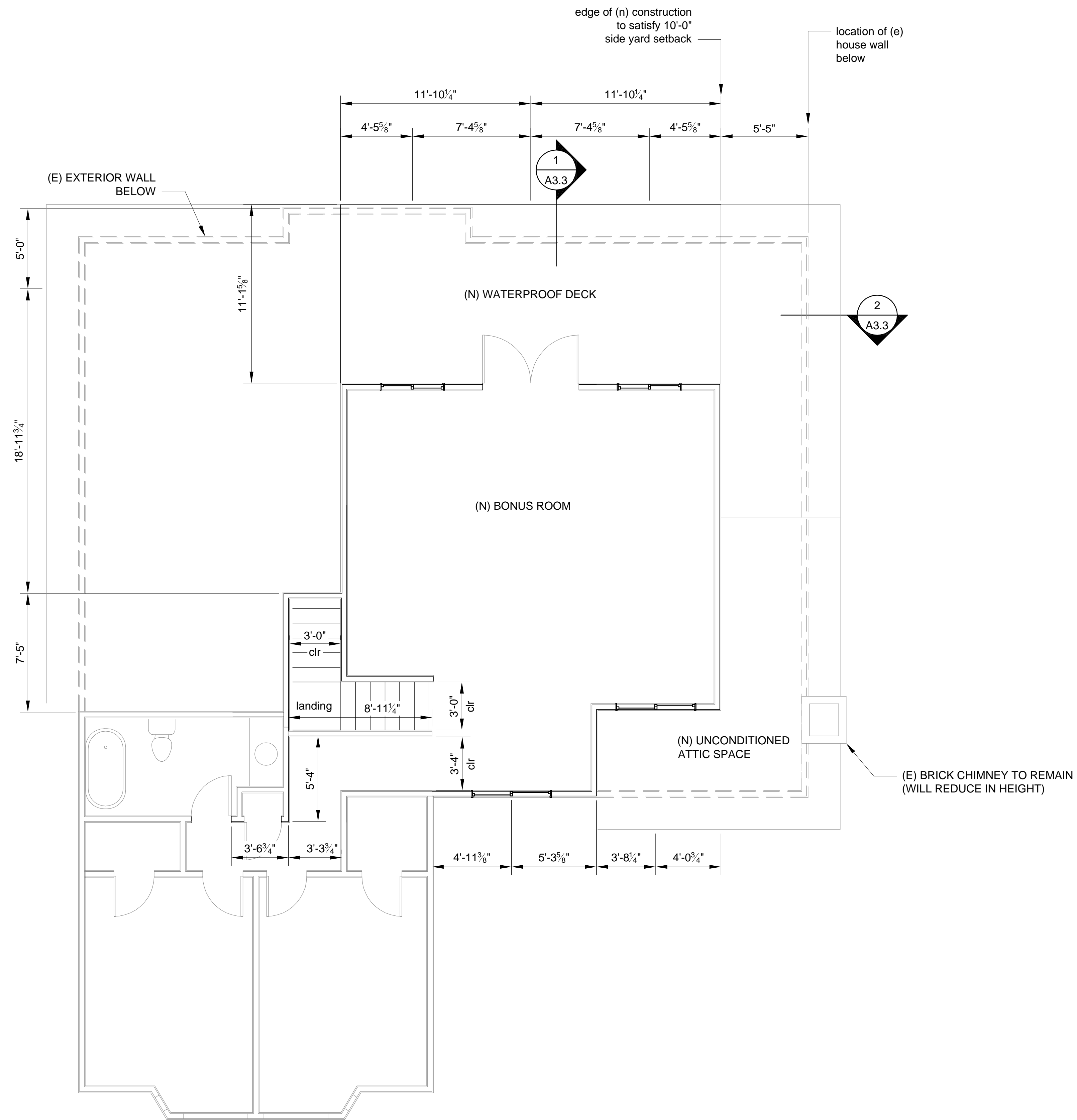
Drawn  
 MB

Date  
 07/14

Floor Plan

Sheet  
**A2.3**

**Lopez Residence Addition**  
 120 Coral Reef Ave.  
 El Granada, CA



2nd Floor Plan - Low Roof Plan - 1/4"=1'-0"

Owner  
 Lupita Lopez

Revisions	Sym	Description	Date	By
	Δ			

Designed  
 MB

Drawn  
 MB

Date  
 07/14

Upper Floor Plan

Sheet

**A2.4**

**Lopez Residence Addition**

120 Coral Reef Ave.  
El Granada, CA

Owner  
Lupita Lopez

Revisions	Sym	Description	Date	By
	△			

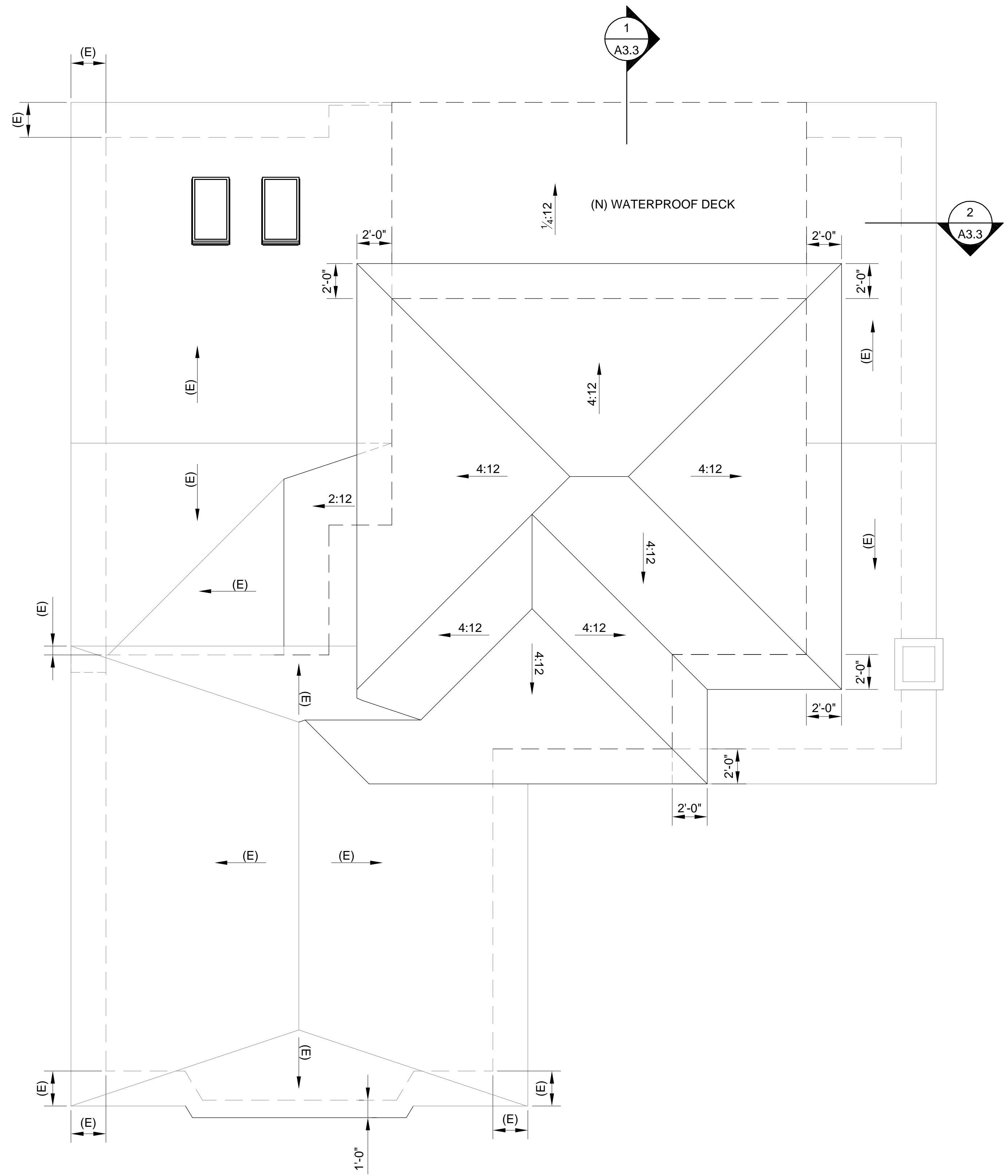
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Drawn MB

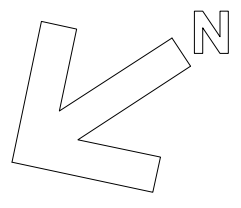
Date 07/14

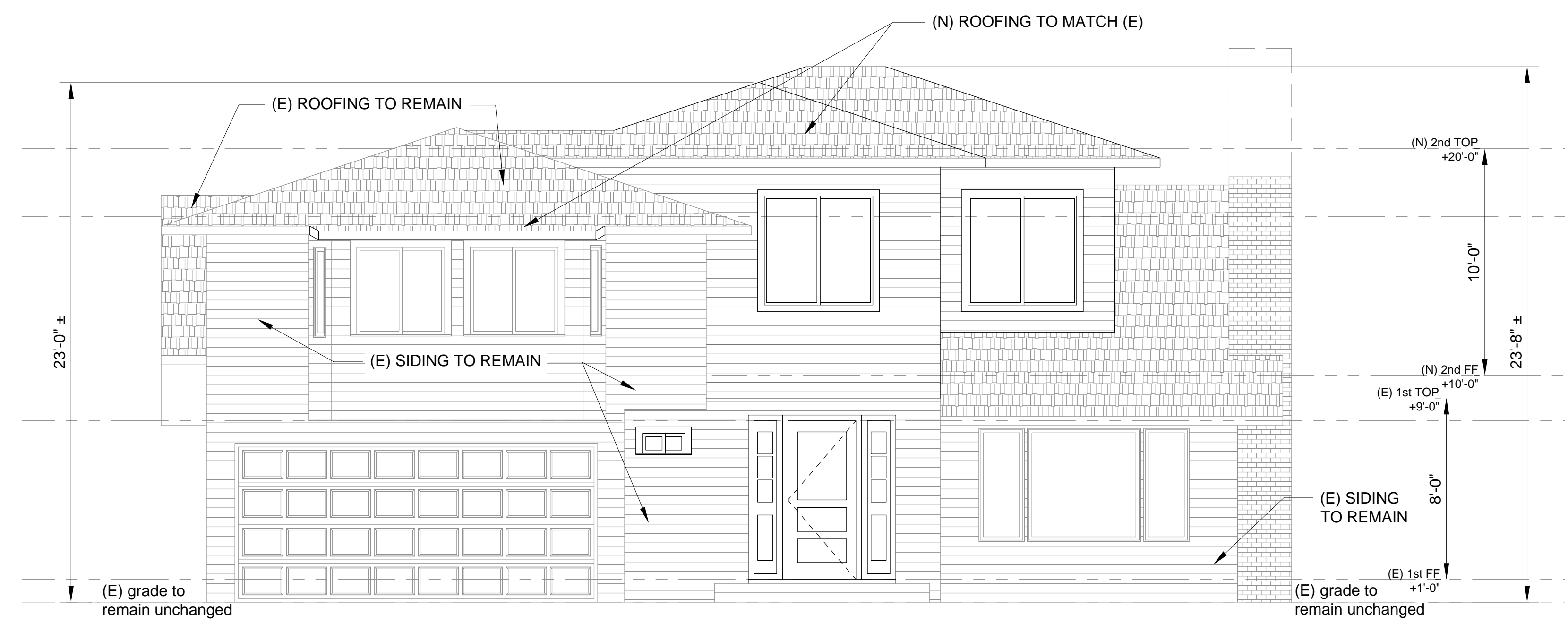
Roof Plan

Sheet  
**A2.5**

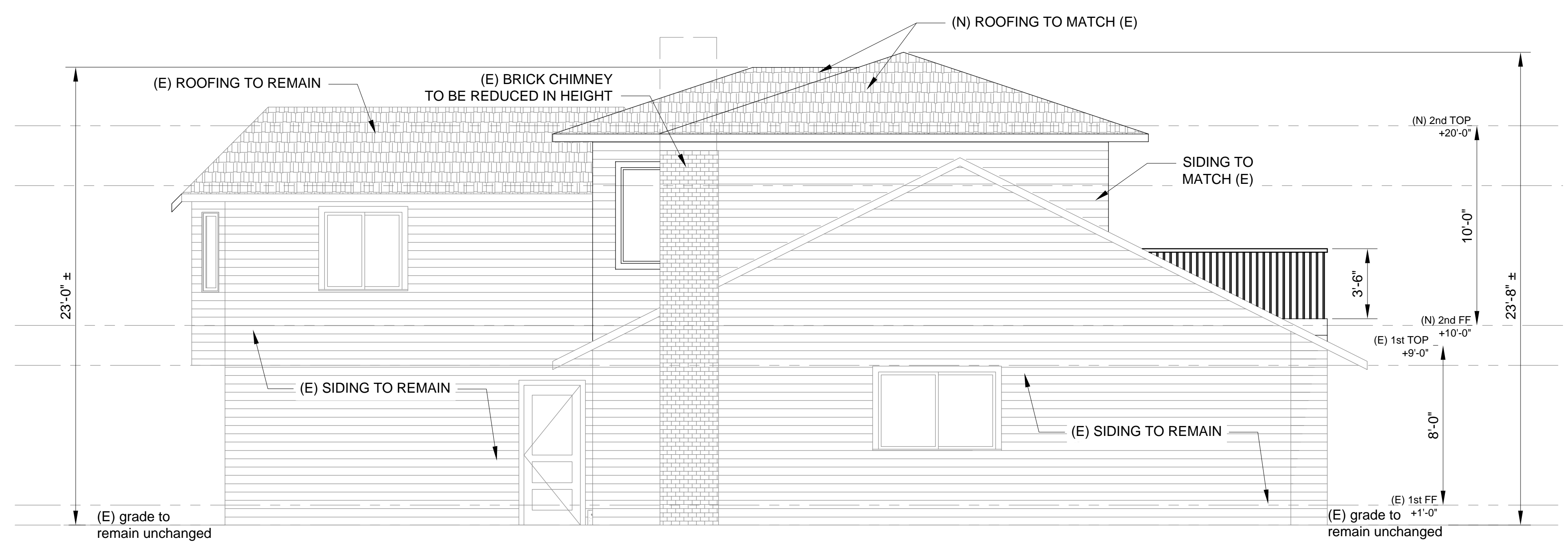


**Roof Plan** - 1/4"=1'-0"





**Front Elevation** - 1/4"=1'-0"



**Right Elevation** - 1/4"=1'-0"

**Lopez Residence Addition**  
 120 Coral Reef Ave.  
 El Granada, CA

Owner  
 Lupita Lopez

Revisions	Sym	Description	Date	By

Designed  
 MB

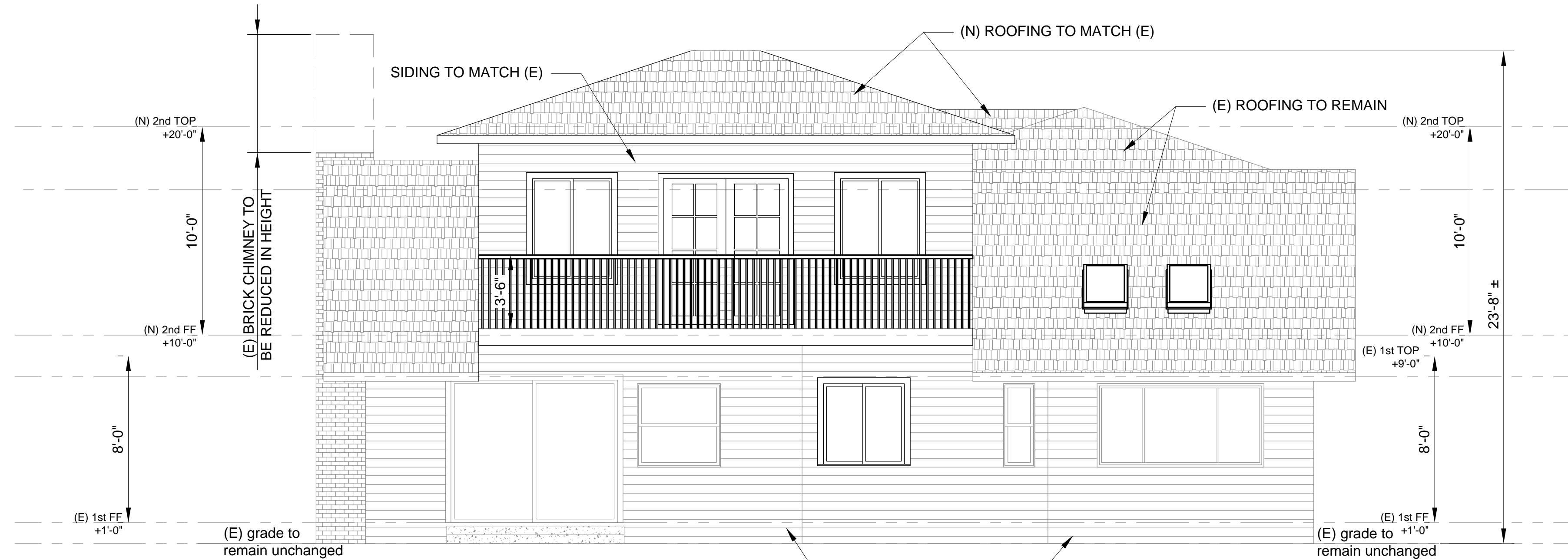
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Date  
 07/14

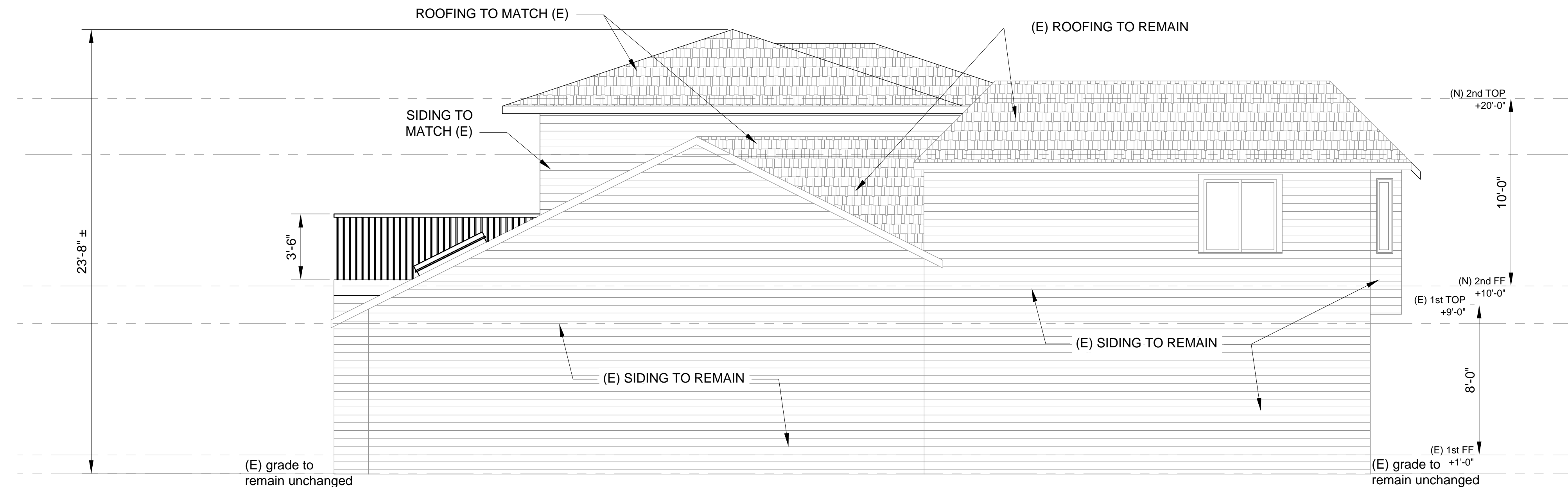
Elevations

Sheet

**A3.1**



**Rear Elevation** - 1/4"=1'-0"



**Left Elevation** - 1/4"=1'-0"

**Lopez Residence Addition**

120 Coral Reef Ave.  
El Granada, CA

Owner  
Lupita Lopez

Revisions	Sym	Description	Date	By

Designed  
MB

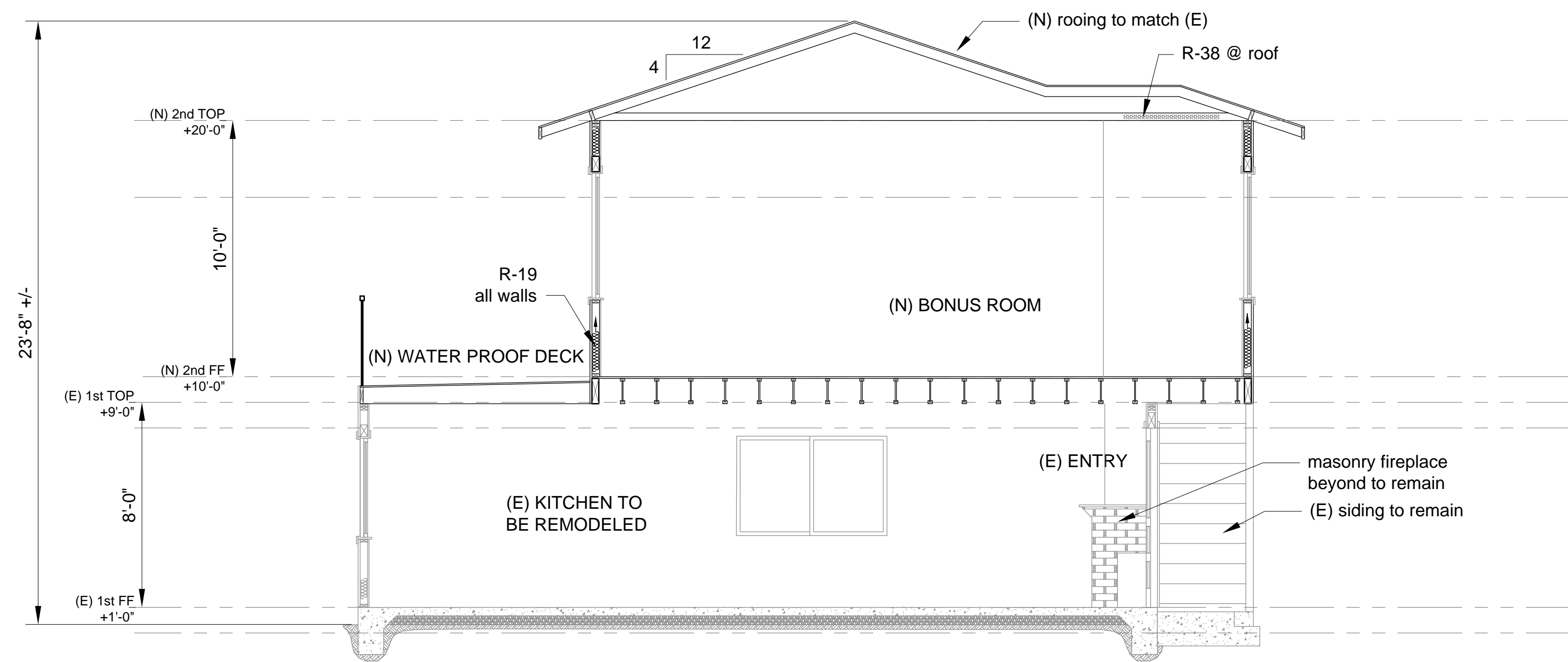
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Date  
07/14

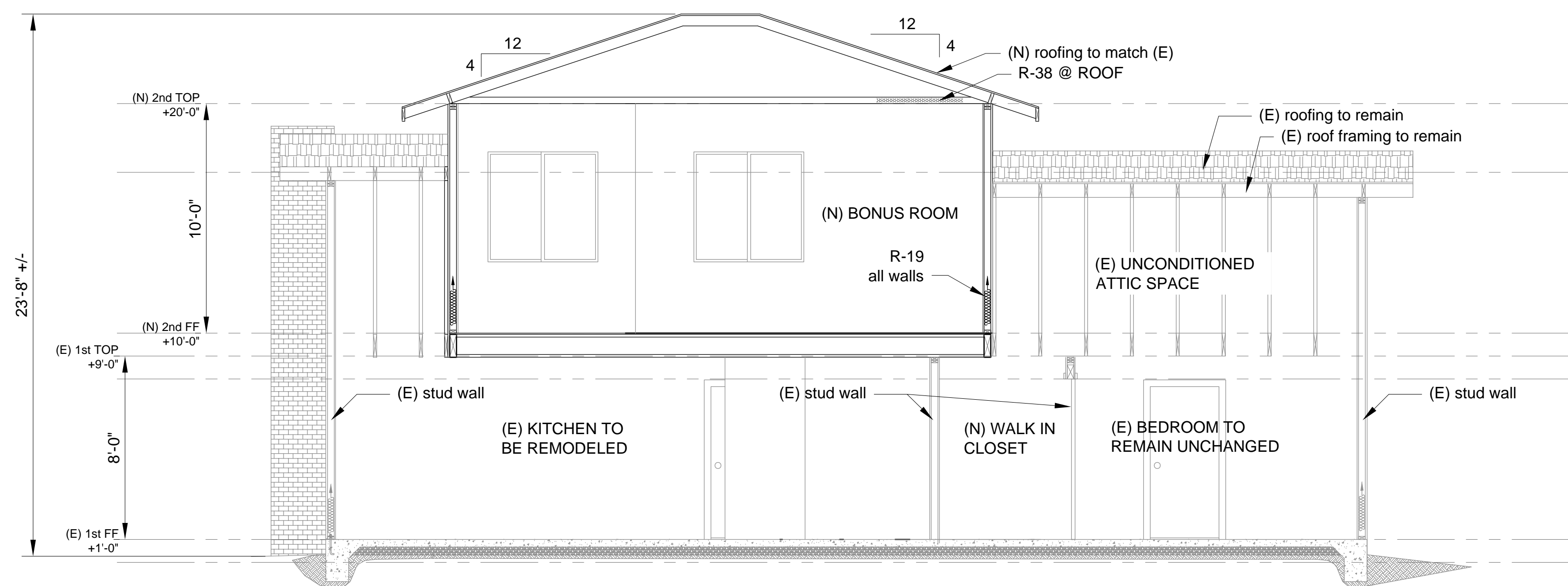
Elevations

Sheet

**A3.2**



**Building Section 1**  $\frac{1}{A3.3}$  - 1/4" = 1'-0"



**Building Section 2**  $\frac{2}{A3.3}$  - 1/4" = 1'-0"

**Lopez Residence Addition**  
 120 Coral Reef Ave.  
 El Granada, CA

Owner  
 Lupita Lopez

Revisions	Sym	Description	By	Date

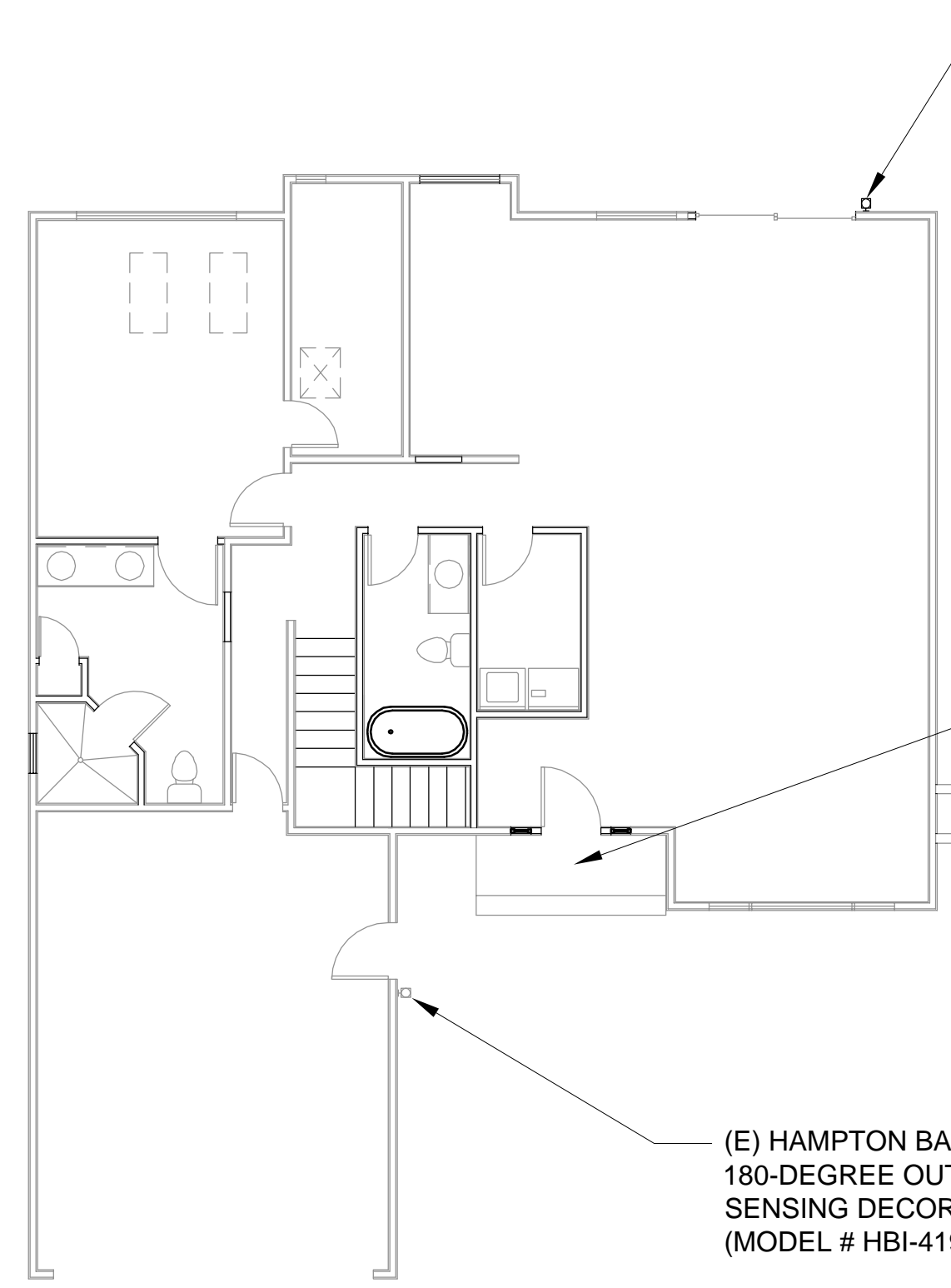
Designed  
 MB

Drawn  
 MB

Date  
 07/14

Sections

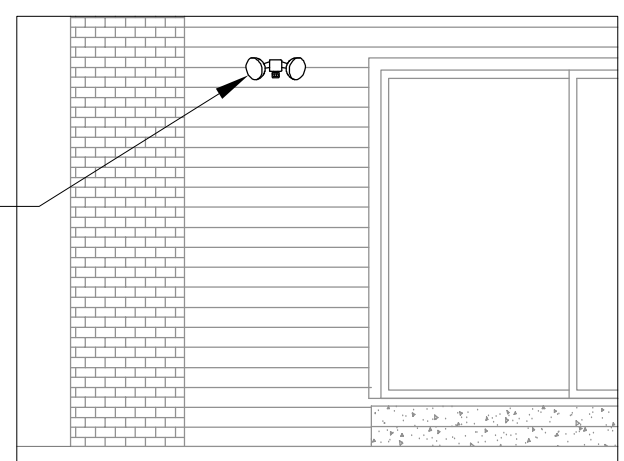
Sheet  
**A3.3**



Lower Floor Ext Lighting - 1/8"=1'-0"

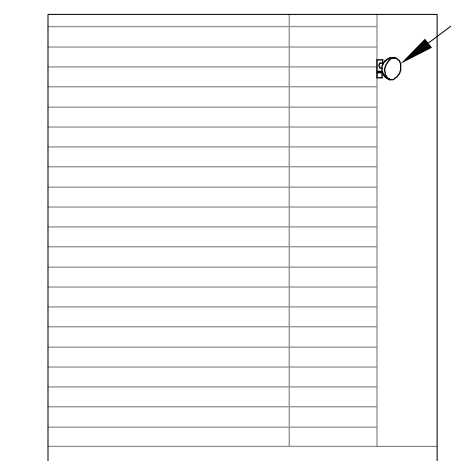
110-DEGREE OUTDOOR MOTION SENSING SECURITY LIGHT, 2-120 WATT HALOGEN BULBS MAX, WHITE

110-DEGREE OUTDOOR MOTION SENSING SECURITY LIGHT, 2-120 WATT HALOGEN BULBS MAX, WHITE



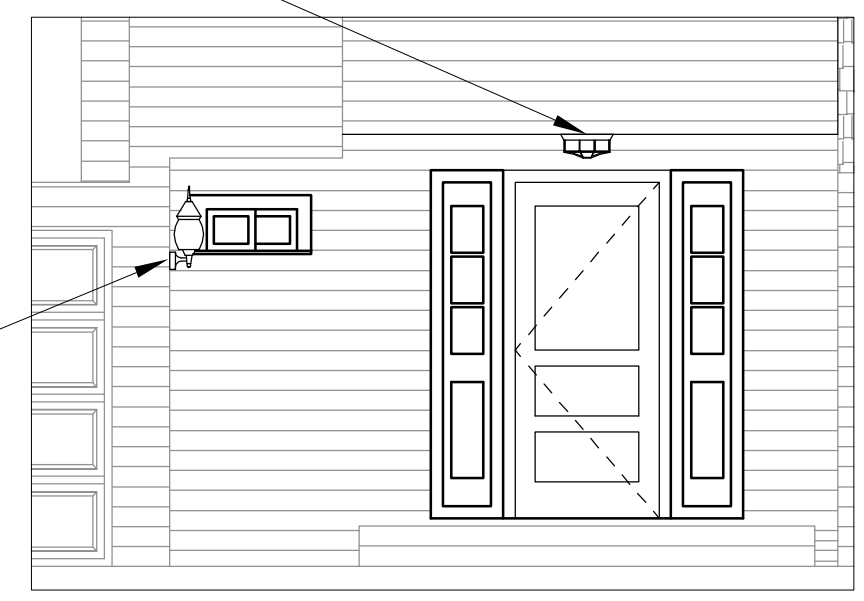
Partial Rear Elevation - 1/4"=1'-0"

110-DEGREE OUTDOOR MOTION SENSING SECURITY LIGHT, 2-120 WATT HALOGEN BULBS MAX, WHITE



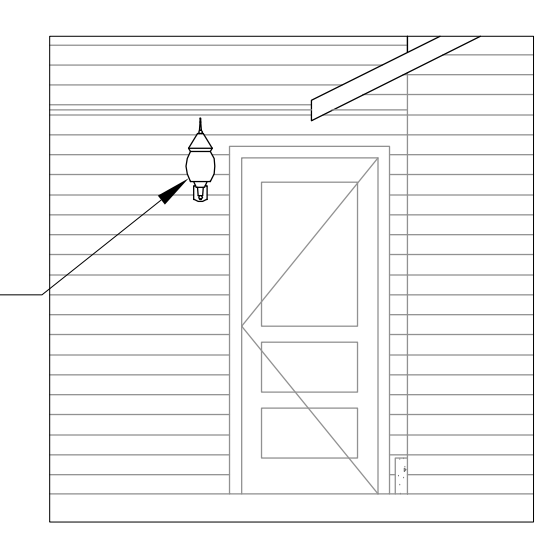
Partial Right Elevation - 1/4"=1'-0"

(N) HAMPTON BAY FLUSHMOUNT OUTDOOR WHITE LANTERN (MODEL # HB7072P-06)



Partial Front Elevation - 1/4"=1'-0"

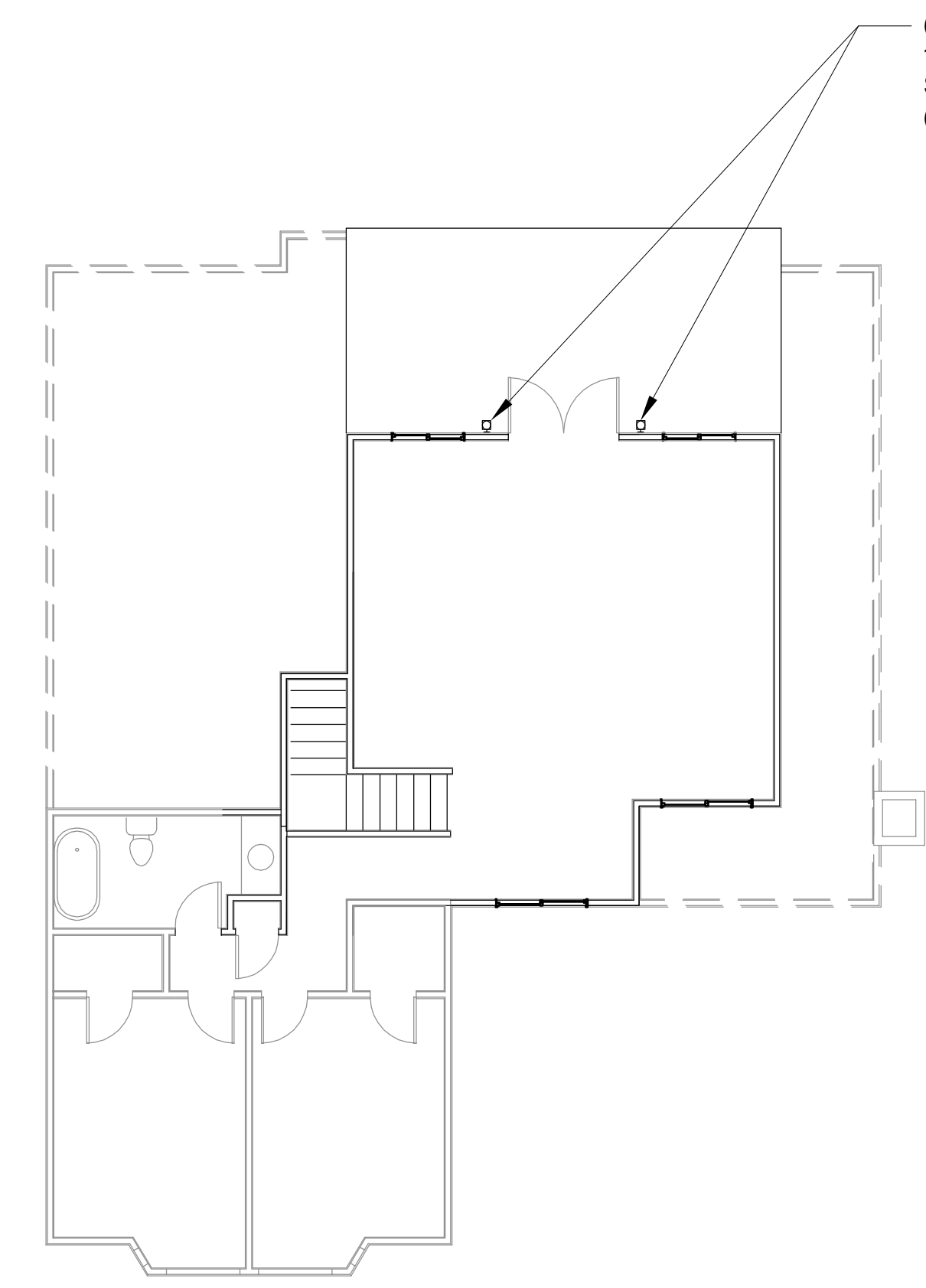
(E) HAMPTON BAY ALEXANDRIA 180-DEGREE OUTDOOR MOTION-SENSING DECORATIVE LAMP, WHITE (MODEL # HBI-4192-WH)



Partial Right Elevation - 1/4"=1'-0"



HAMPTON BAY FLUSHMOUNT OUTDOOR LANTERN, WHITE (MODEL # HB7072P-06)



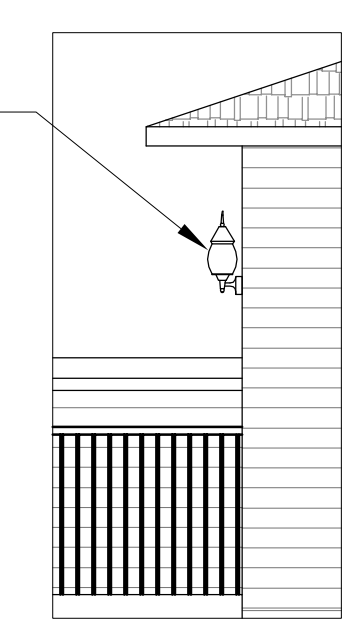
Upper Floor Ext Lighting - 1/8"=1'-0"

(N) HAMPTON BAY ALEXANDRIA 180-DEGREE OUTDOOR MOTION-SENSING DECORATIVE LAMP, WHITE (MODEL # HBI-4192-WH)



Partial Rear Elevation - 1/4"=1'-0"

(N) HAMPTON BAY ALEXANDRIA 180-DEGREE OUTDOOR MOTION-SENSING DECORATIVE LAMP, WHITE (MODEL # HBI-4192-WH)



Partial Left Elevation - 1/4"=1'-0"



HAMPTON BAY ALEXANDRIA 180-DEGREE OUTDOOR MOTION-SENSING DECORATIVE LAMP, WHITE (MODEL # HBI-4192-WH)

**Lopez Residence Addition**  
 120 Coral Reef Ave.  
 El Granada, CA

Owner  
 Lupita Lopez

Revisions	Sym	Description	Date	By

Designed MB

Drawn MB

Date 07/14

Exterior Lighting

Sheet

**A3.4**