

GENERAL NOTES

STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING, BUT NOT LIMITED TO:
 2016 California Building Code
 2016 California Residential Code
 2016 California Mechanical Code
 2016 California Plumbing Code
 2016 California Electrical Code
 2016 California Green Building Code (CALGreen)
 2016 California Fire Code (with local amendments)
 2016 International Property Maintenance Code
 2016 State of California Title 24 Energy Regulations
 Cupertino Municipal Code (including local amendments to the above adopted codes and local green building requirements)

THE GENERAL CONTRACTOR SHALL CAREFULLY INSPECT ALL EXCAVATION WORK FOR COMPLIANCE TO REQUIREMENTS OF THE PREVAILING BUILDING CODE. SHOULD ANY CONDITIONS APPEAR QUESTIONABLE, SUCH AS: EXCESSIVE DAMPENESS, GRANULAR COMPOSITION, SLOUGHING, SOFTNESS OR OTHER DEFECTS, THE GENERAL CONTRACTOR SHALL CONTACT THE ARCHITECT.
 ALL INFORMATION PERTAINING TO THE SITE SHALL BE THE CLIENT'S RESPONSIBILITY. THIS INFORMATION SHALL INCLUDE: LEGAL DESCRIPTION, DEED RESTRICTIONS, EASEMENTS, SITE SURVEY, TOPOGRAPHIC SURVEY, POSITION OF EXISTING IMPROVEMENTS, SOILS REPORT, AND ALL RELATED DATA. THESE DOCUMENTS HAVE BEEN PROVIDED ON THE INFORMATION PROVIDED TO THE ARCHITECT.
 IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS INDICATED ON THESE DRAWINGS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO COMMENCING THEIR WORK.
 NO GUARANTEE FOR QUALITY OF CONSTRUCTION IS IMPLIED BY THE ARCHITECTURAL DOCUMENTS. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY OR ALL CONSTRUCTION DEFICIENCIES.

THE OWNER / CONTRACTOR AGREES TO INDEMNIFY, DEFEND, AND HOLD THE (V/MK DESIGN GROUP), HARMLESS FROM AND AGAINST ANY AND ALL CLAIMS, LIABILITIES, SUITS, DEMANDS, LOSSES COSTS AND EXPENSES, INCLUDING REASONABLE ATTORNEY'S FEES AND ALL LEGAL EXPENSES AND FEES INCURRED ON APPEAL, AND ALL INTEREST THEREON, ACCRUING OR RESULTING TO ANY AND ALL PERSONS, FIRMS, OR ANY OTHER LEGAL ENTITY ON ACCOUNT OF ANY DAMAGE TO PROPERTY OR PERSONS, INCLUDING DEATH, ARISING OUT OF THE PERFORMANCE OR NON-PERFORMANCE OF OBLIGATIONS UNDER THIS AGREEMENT EXCEPT TO THE EXTENT IT IS FOUND TO BE SOLELY LIABLE FOR SUCH DAMAGES OR LOSSES BY A COURT OR FORUM OF COMPETENT JURISDICTION.

THE GENERAL CONTRACTOR SHALL VERIFY SIZE LOCATION AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT SUPPLIED BY THE OWNER OR OTHERS, WITH THE MANUFACTURER OR SUPPLIER, PRIOR TO THE START OF RELATED WORK.

DO NOT ACCUMULATE TRASH OR DEBRIS ON SITE. PROMPTLY REMOVE MATERIAL FROM SITE PER LOCAL ORDINANCE.

THESE DRAWINGS ARE, AND SHALL REMAIN, THE PROPERTY OF THE ARCHITECT. ANY USE OR REPRODUCTION IN WHOLE OR PART BY ANYONE WITHOUT PERMISSION OF THE ARCHITECT, SHALL BE STRICTLY FORBIDDEN.

ALL DIMENSIONS GIVEN ARE TO FACE OF STUD UNLESS OTHERWISE NOTED.
 IT IS IMPORTANT THAT ALL DELIVERY TIME BE CHECKED AND HELDS PLACED ON MATERIALS AS REQUIRED TO MEET CONSTRUCTION SCHEDULE.

THESE DRAWINGS ARE INTENDED FOR USE IN A NEGOTIATED CONSTRUCTION CONTRACT AND THEREFORE, MAY NOT SPECIFICALLY DETAIL OR SPECIFY MATERIALS AND/OR MANUFACTURERS. THE CONTRACTOR SHALL PROVIDE ALL SAMPLES AND/OR CUTS AS REQUIRED TO ASSIST OWNER OR HIS AGENT IN MATERIAL SELECTION.
 CONTRACTOR TO SEAL ALL PENETRATIONS, (E.G. FROM PIPES, DRILLED HOLES, ETC.) BETWEEN FLOORS AND WALLS.
 SCRIBE ALL FINISH MILLWORK TO WALLS, PARTITIONS, AND CEILINGS. PROVIDE SCRIBE MOULDING AS REQUIRED TO FINISH ALL MILLWORK TO WALLS, PARTITIONS, AND CEILINGS.
 SEAL ALL INTERIOR JOINTS UNLESS EXPOSED TO VIEW. SEALANT COLOR SHALL MATCH THE COLOR OF THE FINISH MATERIAL.
 PROVIDE WOOD BLOCKING IN ALL STUD WALLS AT MILLWORK AND SPECIAL ITEM ANCHORING POINTS.

IT IS THE INTENT OF THE DRAWINGS THAT ALL EXPOSED SURFACES RECEIVE FINISHES AS INDICATED ON THE DRAWINGS UNLESS SPECIFICALLY NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR THE COORDINATION OF THE COMPLETE FINISH-OUT OF THE PROJECT. ANY SURFACES WHICH DO NOT HAVE A SPECIFIC FINISH NOTED, NOR ARE NOTED TO REMAIN UNFINISHED, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT AND FINISHED PER THE FINISH SCHEDULE.

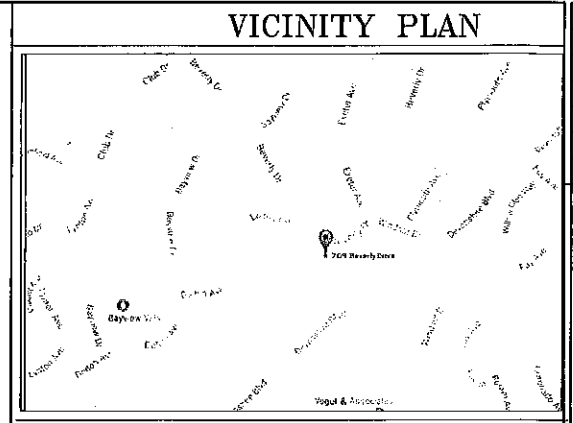
GYPSUM BOARD WALLS AND CEILINGS SHALL HAVE A SMOOTH SURFACE. PROVIDE USG DUROCK CEMENT BOARD AT ALL AREAS SUBJECT TO ALL GRADED SURFACES AND MATERIALS, WHETHER FIELDED, EXCAVATED, TRANSPORTED OR STOCKPILED, SHALL BE WETTED, PROTECTED OR COVERED IN SUCH A MANNER AS TO PREVENT ANY NUISANCE FROM DUST, OR SPILLAGE UPON ADJOINING PROPERTY OR STREETS.
 EQUIPMENT AND MATERIALS ON THE SITE SHOULD BE USED IN SUCH A MANNER AS TO AVOID EXCESSIVE DUST AND NOISE. ROADWAYS ON THE SITE SHALL BE UTILIZED TO PREVENT EXCESSIVE DUST. DIESEL OIL SHALL NOT BE UTILIZED TO LUBRICATE EQUIPMENT OR PARTS ON SITE.

VIEW CONDITIONS SHALL BE PLACED IN A WEATHER-PROOF COVER, AND SHOULD INCLUDE THE TELEPHONE NUMBER OF THE DEVELOPER.

IF REQUIRED, A FIRE SPRINKLER SYSTEM FOR THE ENTIRE HOUSE SHALL BE DESIGNED AND INSTALLED ACCORDING TO ALL FIRE CODES AND ORDINANCES BY A LICENSED FIRE SPRINKLER CONTRACTOR. A COPY OF THE FIRE SPRINKLER SYSTEM DESIGN PLANS AND SPECIFICATIONS SHALL BE SUBMITTED TO THE FIRE DEPARTMENT.

SITE NOTES

PROVIDE ADEQUATE MEANS FOR COLLECTING AND DIRECTING SUB-SURFACE WATERS TO THE STREET GUTTER, STORM DRAIN, OR OTHER APPROVED DRAIN SYSTEM.
 THE SERVICE COMPANIES PROVIDING NATURAL GAS, ELECTRICITY, WATER, CABLE, AND TELEPHONE SERVICE SHALL BE CONSULTED ON THE LOCATION AND THE SCHEDULING OF THIS WORK. THE SERVICE ENTRANCE AND THE METER LOCATION SHALL BE APPROVED BY THE "V/MK DESIGN GROUP" PRIOR TO THEIR INSTALLATION. ALL WORK IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO THE STANDARDS OF THE CITY.
 THE FOLLOWING CODE COMMENT REFLECT A REVIEW OF BUILDING PLANS ONLY. IF SITE-RELATED COMMENTS ARE APPLICABLE TO THIS PROJECT, THEY WILL BE GENERATED BY OTHERS (E.G. TOURN ENGINEERING, PUBLIC WORKS, HEALTH, ETC.) ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE.



PROJECT TEAM

BUILDING DESIGN
 V/MK DESIGN GROUP Vadim Melik-Karamov
 3171 STEVEN'S CREEK BLVD, #420 SANTA CLARA CA 95051
 PH. (408) 554-6110

PROJECT ENGINEERING GROUP
 CIVIL and STRUCTURAL ENGINEERING
 1871 CARMELITA, DR. SAN CARLOS, CA 94070
 PHONE (650) 631-3880

SWIFT ENGINEERING
 3520 CEDAR SPRINGS LN, MEADON VISTA CA 95122
 PHONE (916) 838-0188

PLANNING DATA

APN: 049-110-350
 LOT AREA: 11,193 SF
 (E) ZONING CLASSIFICATION: S-7I
 PROPERTY OWNER: Julia Keintz Julia
 EXISTING USE: SINGLE FAMILY
 PROPOSED USE: SINGLE FAMILY
 OCCUPANCY GROUP: R-3
 TYPE OF CONSTRUCTION: V-N (N/SPRINKLERED)

SETBACKS:	
FRONT-	20'-0"
REAR-	20'-0"
SIDE-	5'-0"
BUILDING HEIGHT:	30'-0"
EXISTING UPPER FLOOR (WITH OUT GARAGE 410 SF)	1,170.0 Sq.Ft.
EXISTING LOWER FLOOR	432.0 Sq.Ft.
TOTAL EXISTING HOUSE (WITH OUT GARAGE 410 SF)	2,202.0 Sq.Ft.
PROPOSED UPPER LEVEL (WITH OUT GARAGE)	2,366.0 Sq.Ft.
PROPOSED LOWER LEVEL	817.0 Sq.Ft.
TOTAL PROPOSED HOUSE (WITH OUT GARAGE 414 SF)	3,183.0 Sq.Ft.
ALLOWABLE AREA-	3,300.0 Sq.Ft.
PROPOSED - COVERAGE	
BUILDING FOOTPRINT	4,442.0 Sq.Ft.
TOTAL UNWATERPROOF DECK	418.0 Sq.Ft.
TOTAL COVERAGE	4,860.0 Sq.Ft.
ALLOWABLE - COVERAGE	5,596.5 Sq.Ft.
PARKING REQUIRED	2 CARS
PARKING PROPOSED	2 CARS

DRAWING INDEX

- ARCHITECTURAL**
- A-01 Site Plan, Compliance Data
 - A-10 (E) Main Level Floor Plan
 - A-12 (E) Lower Level Floor Plan
 - A-20 Proposed Main Level Floor Plan
 - A-21 Proposed Lower Level Floor Plan
- A-30 Proposed Lower Level Plan (See site plan for DS location)**
- A-40 Existing Elevations
 - A-41 Proposed Elevations
 - A-42 Proposed Elevations
 - A-B0 Sections 'A-A', 'B-B'
 - A-51 Section 'C-C'
- S-1 - Preliminary Boundary and Topographic Survey
 - C-1 - Preliminary Drainage Plan
 - T-10 Tree Protection Plan

DESCRIPTION OF THE WORK

- NEW GARAGE
- CONVERSION (E) GARAGE TO HABITABLE SPACE
- RENOVATION OF EXISTING RESIDENCE
- CONVERSION OF (E) BASEMENT TO (N) BEDROOM AT LOWER LEVEL

REVISION	BY
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03/13/18	V/MK
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DATE	03/13/18
SCALE	AS SHOWN
DRAWN	V/MK
JOB	JULIA
SHEET	A-0.0
OF	8 SHEETS

RECEIVED
 MARCH 16 2018
 San Mateo County
 Planning and Building Department
 SAN MATEO COUNTY
 PLN2018-00011

SITE PLAN

PRELIMINARY
 AND TOPOGRAPHIC SURVEY

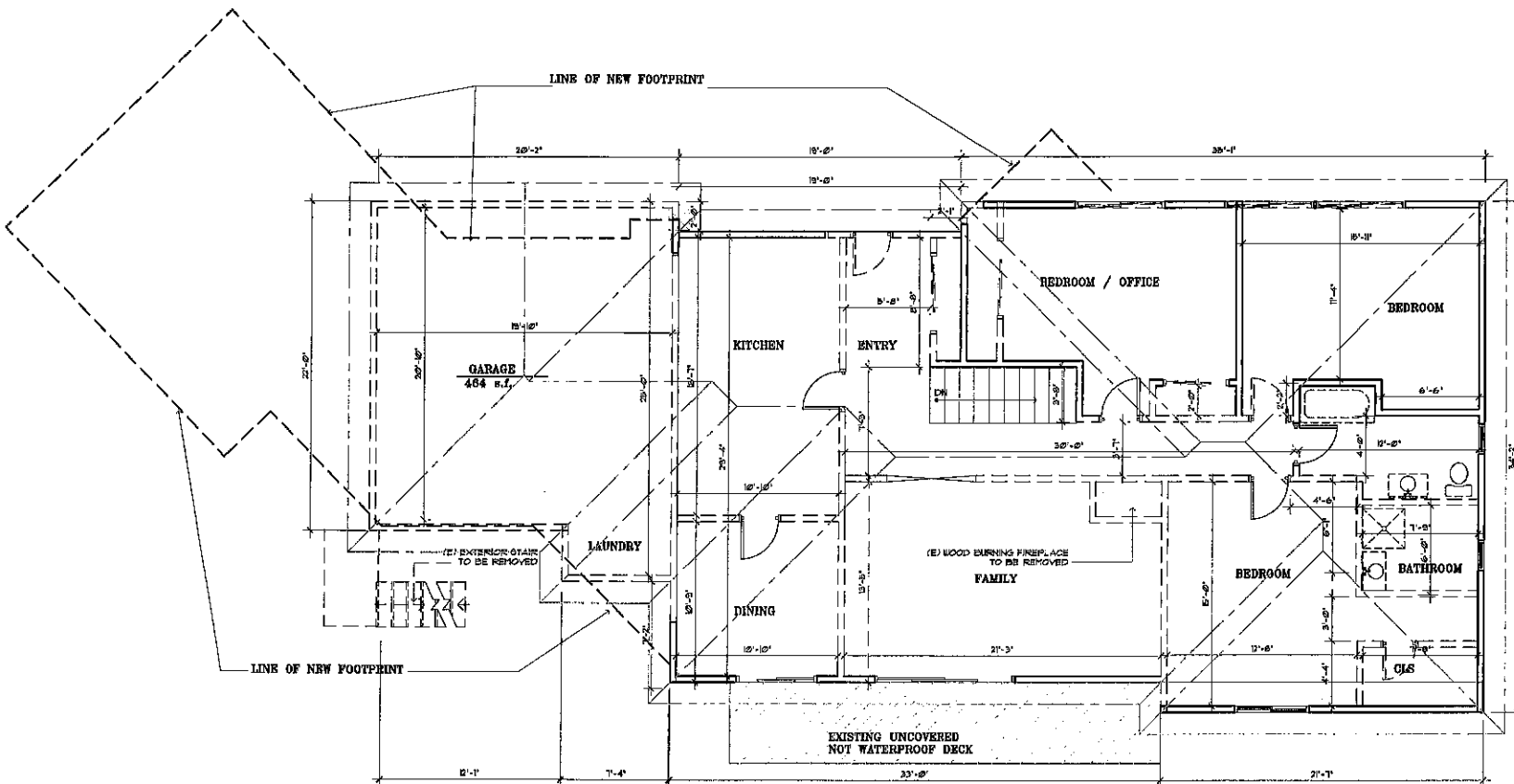
209 BEVERLY DR
 SAN CARLOS, CA

FLOOR PLAN NOTES

- ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING, BUT NOT LIMITED TO:
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- GN-2 WALL FRAMING:
ALL EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C. (100%). ALL OTHER WALLS AND PARTITIONS TO BE 2x4 STUDS @ 16" O.C.
- GN-3 INSULATION:
ALL EXTERIOR WALLS TO BE 2x6 STUDS w/ R-15 BATT INSULATION. INTERIOR PARTITION WALLS AND/OR EXTERIOR WALLS SURROUNDING TOILETS/BATHROOMS TO BE A MINIMUM OF R-13. INSULATION BELOW ENTIRE FIRST FLOOR EXCEPT SLAB ON GRADE TO BE R-10 MINIMUM. SECOND FLOOR TO BE BOUND INSULATED FROM FIRST FLOOR WITH 3-1/2" BOUND ATTENUATION BATT (R-15) THROUGHOUT. FIRST AND SECOND FLOOR CEILINGS TO BE BATT OR LOOSE FIBER INSULATED TO R-15.
- GN-4 ALL HEATING, VENTILATING AND AIR CONDITIONING WORK SHALL BE TO APPLICABLE CODES TO CALIFORNIA MECHANICAL CODE 2016 CMC EDITION AND THE RECOMMENDED PRACTICES OF ASHRAE AND SMACNA.
- GN-5 GLUED LAMINATED TIMBERS SHALL BE MANUFACTURED AND IDENTIFIED AS REQUIRED
- GN-6 ALL HARDWOOD FLOORING TO BE INSTALLED IN ACCORDANCE WITH THE LATEST NORMA SPECIFICATIONS AND RECOMMENDATIONS.
- GN-7 ALL CERAMIC OR STONE TILE WORK TO BE INSTALLED IN ACCORDANCE WITH THE LATEST TILE COUNCIL OF AMERICA SPECIFICATIONS AND RECOMMENDATIONS.
- STAIRS**
- BN-1 RISERS SHALL NOT BE GREATER THAN 7 3/4". THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE RUN SHALL NOT BE LESS THAN 10". THE LARGEST RUN SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8" CRC SEC. R 301.5
- BN-2 THE TOP OF THE GUARDS SHALL NOT BE LESS THAN 3'-6" IN HEIGHT. INTERMEDIATE RAILS SHOULD BE SPACED SO THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. CRC SEC. 302.1
- BN-3 THE HAND GRIP PORTION OF ALL STAIR HANDRAILS SHALL NOT BE LESS THAN 1 1/4" AND NOT GREATER THAN 2" PER CRC SEC. 301.5.3 WITH SMOOTH SURFACE WITH NO SHARP CORNERS.
- BATHROOMS**
- BN-1 WATER CLOSETS TO HAVE A MINIMUM CLEAR STALL WIDTH OF 30" AND SHALL BE LOW FLASHING TYP. 16 GALLON MAXIMUM.
- BN-2 SHOWERS TO HAVE A MINIMUM AREA OF 1024 SQ. IN. AND MINIMUM CLEAR HORIZONTAL DIMENSION OF 30" MEASURED AT 7" ABOVE DRAIN. SHOWER DOOR TO BE MINIMUM 27" WIDE.
- BN-3 INSTALL TUB WITH FULL MORTAR SET TILE SURROUND. EXTEND TILE SURROUND DOWN SIDES OF TUB A MINIMUM OF ONE FULL TILE WIDTH. INSTALL SHOWER HEAD OVER TUB WHERE SHOWN ON DRAWINGS.
- BN-4 SHOWER WALL SURFACES SHALL BE FINISHED WITH A NONABSORBENT SURFACE SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6' 1 1/2" INCHES ABOVE THE FLOOR PER CRC SEC. R 302.1. MATERIALS OTHER THAN STRUCTURAL ELEMENTS, USED IN SUCH WALLS SHALL BE OF A TYPE WHICH IS NOT ADVERSELY AFFECTED BY MOISTURE, I.E., CERAMIC TILE, WATER-RESISTANT GYPSUM, CRC SEC. 206.9.
- BN-5 WHEN GYPSUM IS USED AS A BASE FOR TILE OR WALL IN WATER-CLOSET COMPARTMENT WALLS, WATER-RESISTANT BYPSUM BACKING BOARD SHALL BE USED, EXCEPT THAT IN SHOWER OR BATHTUB COMPARTMENTS AND IN AREA SUBJECT TO CONTINUOUS HIGH HUMIDITY SUCH AS BALCONY, STEAM ROOMS AND CEILING. USE TILE BASE PER CRC SEC. R 102.3.5
- GLAZING**
- ZN-1 ALL GLASS AND GLAZING SHALL COMPLY WITH U.S. SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS, AND WITH FEDERAL SPECIFICATIONS, CRC SEC. 206.
- ZN-2 ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPERABLE HEIGHT DIMENSION SHALL BE 24" AND WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR. CRC SEC. R 202.1
- ZN-3 CONSTRUCTION OF SKYLIGHT GLAZING SYSTEM TO MEET REQUIREMENTS OF CRC SEC. R 308.6.
- ZN-4 GLASS SHOWER AND TUB ENCLOSURES TO BE TEMPERED GLASS PER CRC SEC. R 308.4.5.
- VENTILATION**
- VN-1 PROVIDE ONE SQ. FT. OF VENT AREA FOR EACH 150 SQ. FT. OF UNDERFLOOR AREA TO CONFORM TO CRC SEC. R 408.1. CENTER VENTS UNDER WINDOWS OR AS CLOSE TO CORNERS WHERE POSSIBLE.
- VN-2 PROVIDE UNDER ROOF CROSS VENTILATION AT THE RATE OF 1/100 TH OF THE ATTIC AREA. CRC SEC. 206.2 AND CMC FOR ATTIC FURNACE.
- VN-3 GIRDER ENTERING CONCRETE WALLS SHALL HAVE 1/2" AIR SPACE ON TOPS, SIDES AND ENDS PER CRC SEC. 301.4.
- VN-4 ALL FLUING VENTS TO BE A MINIMUM OF 10" FROM ANY OPERABLE SKYLIGHTS AS PER CRC SEC. R 302.4.1
- ACCESS**
- AN-1 PROVIDE 18" (MIN) BY 24" (MIN) ACCESS TO ALL FOUNDATION CRAWL SPACES. CRC SEC. R 403.4.
- AN-2 PROVIDE 1 ACCESS WITHIN 20" OF BATHROOM AND KITCHEN PLUMBING.
- AN-3 PROVIDE 21" (MIN) BY 30" (MIN) ACCESS TO ALL ATTIC SPACES MORE 30" 30GFT THRU WITH 30" CLEAR HEIGHT OR MORE PER CRC SEC. 807.1.
- FIRE PROTECTION**
- FP-1 ALL GARAGE WALLS COMMON WITH THE HOUSE, SHALL BE SEPARATED W/ 1/2" GYP. BD ON GARAGE SIDE. CEILING SUPPORTING LIVING AREA ABOVE, TO BE 1-HR CONSTRUCTION WITH 5/8" TYPE 'X' GYPSUM BOARD (MINIMUM) ON GARAGE SIDE. DOORS FROM GARAGE TO HOUSE TO BE SOLID WOOD 1 3/8" THICK MINIMUM WITH SELF-CLOSING DEVICE PER CRC SEC. R 302.5.1
- FP-2 USEABLE SPACE UNDER STAIRS TO BE 1-HR CONSTRUCTION OF 1/2" TYPE 'X' GYPSUM BOARD (MINIMUM) AT ALL WALLS AND CEILING.
- FP-3 PROVIDE 6" MINIMUM CLEARANCE ON SIDES AND BACK OF FURNACE.
- FP-4 INSTALL ZERO CLEARANCE FIRE-RESISTANT FIREPLACES AS DIRECTED BY THE MANUFACTURERS INSTALLATION DIRECTIONS.
- FP-5 TOP OF FIREPLACE CHIMNEY TO EXTEND 2 FT. (MIN) ABOVE ANY ROOFING MATERIAL WITHIN 10 FEET (MEASURED HORIZONTALLY) OF CHIMNEY. COMPLY WITH CRC SEC. R 1003.3. PROVIDE A SPARK ARRESTER THAT COMPLIES WITH CRC SEC. 1003.3.2 AND CARRIES A ICC TESTED ASSEMBLY NUMBER.
- FP-6 A SMOKE DETECTOR SHALL BE INSTALLED IN EACH BEDROOM AND ON A CEILING OR WALL AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. WHEN BEDROOMS ARE ON THE UPPER LEVEL, THE DETECTOR SHALL BE PLACED ON THE CEILING OF THE UPPER LEVEL, CLOSE TO THE STAIRWAY CRC SEC. R 314.3. DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. EXCEPTIONS: SMOKE DETECTORS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED INTO EXISTING BUILDING OR IN BUILDINGS WHICH UNDERGO ALTERATIONS, REPAIRS OR ADDITIONS PER CRC SEC. R 314.4.
- FP-7 CEMENT PLASTER IF ANY, SHALL BE MINIMUM 1/2" THICK (3 COATS) WITH WIRE (STUCCO) MESH OVER 2 LAYERS OF GRADE 'D' PAPER PER CRC SEC. 103.6.3.
- FP-8 CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS FUEL BURNING APPLIANCES ARE INSTALLED AND / OR HAVE ATTACHED GARAGES CRC SEC. 305.

DEMOLITION NOTES

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- REQUIREMENTS 4 DEMOLISH ONLY THOSE AREAS AFFECTED BY THE WORK.
2. CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES THAT MAY AFFECT THE WORK PRIOR TO COMMENCING WORK.
3. CONTRACTOR SHALL INFORM ARCHITECT OF TERMITE DAMAGE, DRY ROT, OR OTHER DEFECTS UNCOVERED BY DEMOLITION WORK.
4. DEMOLITION INCLUDES ALL PLUMBING AND CABINETS TO BE REMOVED.
5. CONTRACTOR SHALL PROVIDE PROPER SHORING OF EXISTING STRUCTURES AS REQUIRED PER U.S.C. AND/OR LOCAL CODE PRIOR TO ROOF & WALL REMOVAL.
6. CONTRACTOR SHALL VERIFY WITH PLANS AND FIELD INSPECTION ALL WINDOWS, DOORS, & WALLS TO BE REMOVED.
7. CONTRACTOR SHALL FIELD VERIFY EXISTING ELECTRICAL, MECHANICAL EQUIPMENT AND REMOVE PLUMBING AS REQUIRED.
8. ALL HAZARDOUS MATERIALS MUST BE DISPOSED OF PER LOCAL, STATE AND FEDERAL REGULATIONS.
9. CONTRACTOR SHALL COVER AND PROTECT EXISTING HARDWOOD FLOORS, PLASTER WALLS, ETC. THAT ARE TO REMAIN.
10. CONTRACTOR SHALL FIELD REVIEW ALL NEW LANDSCAPED AREAS AND SAVE EXISTING PLANTS REQUESTED BY OWNERS.
11. CONTRACTOR SHALL SAVE ALL FIXTURES (PLUMBING, & ELECTRICAL) REQUESTED BY OWNERS.
12. CONTRACTOR SHALL REUSE EXISTING WATER LINES & SANITARY SEWER LINES UNDER EXISTING FLOOR IF AT ALL POSSIBLE.
13. CONTRACTOR SHALL PROVIDE THE ARCHITECT A DETAILED OUTLINE OF DEMOLITION PROCEDURES IN WRITING PRIOR TO DEMOLITION WORK.
14. CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION MATERIALS IN AN APPROPRIATE MANNER AND IN COMPLIANCE WITH APPLICABLE REGULATIONS.
15. CONTRACTOR SHALL REMOVE ALL DEMOLITION MATERIALS OFF SITE UNLESS OTHERWISE DIRECTED BY OWNERS.

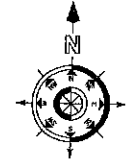


LEGEND

- (E) WALL
- REMOVED WALL
- (N) WALL

EXISTING / DEMOLITION UPPER FLOOR PLAN

SCALE 3/16"=1'-0"



REVISION	BY
02/12/18	MYK

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209 BEVERLY DR
 SAN CARLOS, CA

DATE	02/12/18
SCALE	3/16"=1'-0"
DRAWN	MYK
JOB	JULIA
SHEET	A-1.0
OF	SHEETS

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BN 4. SHOWER WALL SURFACES SHALL BE FINISHED WITH A NONABSORBENT SURFACE SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6' (7' 7") INCHES ABOVE THE FLOOR PER CRC R307.12. MATERIALS OTHER THAN STRUCTURAL ELEMENTS, USED IN SUCH WALLS SHALL BE OF A TYPE WHICH IS NOT ADVERSELY AFFECTED BY MOISTURE, I.E. CERAMIC TILE, WATER-RESISTANT GYPSUM, CRC SEC. 250.9.
BN 5. WHEN GYPSUM IS USED AS A BASE FOR TILE OR WALL IN WATER CLOSET COMPARTMENT WALLS, WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE USED, EXCEPT THAT IN SHOWER OR BATHTUB COMPARTMENTS AND IN AREA SUBJECT TO CONTINUOUS HIGH HUMIDITY SUCH AS SAUNAS, STEAM ROOMS AND CEILING. USE TILE BASE PER CRC SEC. R 102.3.9

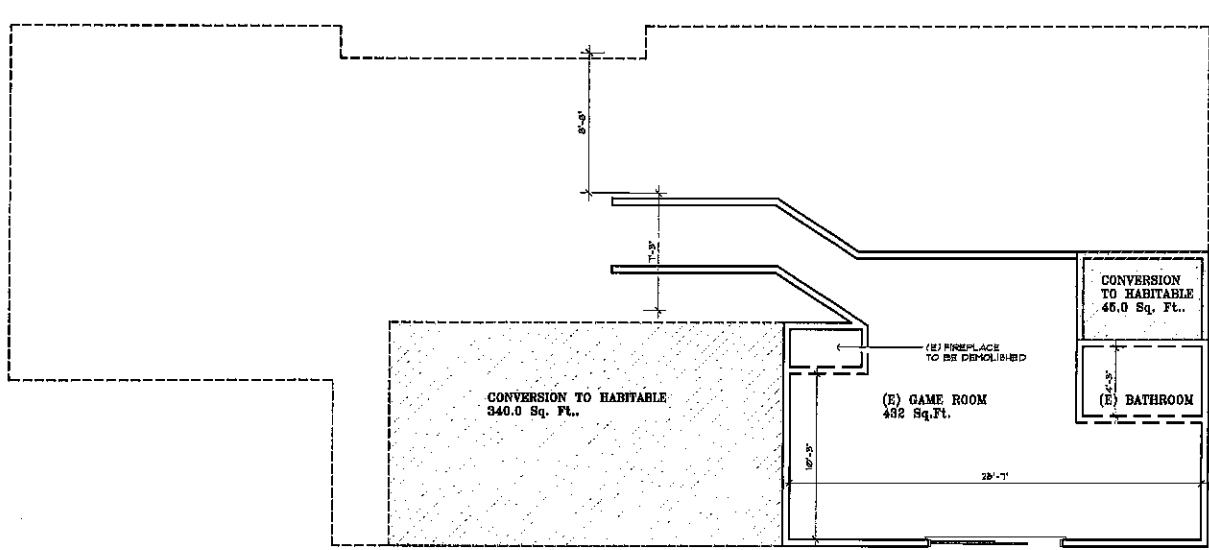
GLAZING
ZN 1 ALL GLASS AND GLAZING SHALL COMPLY WITH U.S. SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS, AND WITH FEDERAL SPECIFICATIONS CRC SEC. 308.
ZN 2 ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPERABLE HEIGHT DIMENSION SHALL BE 24". AND WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A RILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR. CRC SEC. R 302.1
ZN 3 CONSTRUCTION OF SKYLIGHT GLAZING SYSTEM TO MEET REQUIREMENTS OF CRC SEC. R 308. 6.
ZN 4 GLASS SHOWER AND TUB ENCLOSURES TO BE TEMPERED GLASS PER CRC SEC. R308. 4. B.

VENTILATION
VN 1 PROVIDE ONE 80. FT. OF VENT AREA FOR EACH 100 SQ. FT. OF UNDERFLOOR AREA TO CONFORM TO CRC SEC. R 408. CENTER VENTS UNDER WINDOWS OR AS CLOSE TO CORNERS WHERE POSSIBLE.
VN 2 PROVIDE UNDER ROOF CROSS VENTILATION AT THE RATE OF 1/80 TH OF THE ATTIC AREA. CRC SEC. 408.2.1 AND CMCA FOR ATTIC FURNACE.
VN 3 GIRDER ENTERING CONCRETE WALLS SHALL HAVE 1/2" AIR SPACE ON TOPS, SIDES AND ENDS PER CRC SEC. 301.1 (4).
VN 4 ALL PLUMBING VENTS TO BE A MINIMUM OF 10" FROM ANY OPERABLE SKYLIGHTS AS PER CRC SEC. R 303.1.

ACCESS
AN 1 PROVIDE 18" (MIN) BY 24" (MIN) ACCESS TO ALL FOUNDATION CRAWL SPACES. CRC SEC. R409.4.
AN 2 PROVIDE 1 ACCESS WITHIN 20" OF BATHROOM AND KITCHEN PLUMBING.
AN 3 PROVIDE 22" (MIN) BY 30" (MIN) ACCESS TO ALL ATTIC SPACES MORE 30" ABOVE THIN WITH 30" CLEAR HEIGHT OR MORE PER CRC SEC. 401.1.

FIRE PROTECTION
FP 1 ALL GARAGE WALLS COMMON WITH THE HOUSE, SHALL BE SEPARATED WITH 1/2 GYP. BD ON GARAGE SIDE. CEILING SUPPORTING LIVING AREA ABOVE, TO BE 1-HR CONSTRUCTION WITH 5/8" TYPE 'X' GYPSUM BOARD (MINIMUM) ON GARAGE SIDE. DOORS FROM GARAGE TO HOUSE TO BE SOLID WOOD 1 3/8" THICK MINIMUM WITH SELF-CLOSING DEVICE PER CRC SEC. R 302.5.1
FP 2 USABLE SPACE UNDER STAIRS TO BE 1-HR CONSTRUCTION OF 1/2" TYPE 'X' GYPSUM BOARD (MINIMUM) AT ALL WALLS AND CEILING.
FP 3 PROVIDE 6" MINIMUM CLEARANCE ON SIDES AND BACK OF FURNACE.
FP 4 INSTALL ZERO CLEARANCE FIRE-FAB FIREPLACES AS DIRECTED BY THE MANUFACTURERS INSTALLATION DIRECTIONS.
FP 5 TOP OF FIREPLACE CHIMNEY TO EXTEND 2 FT. (MIN) ABOVE ANY ROOFING MATERIAL WITHIN 10 FEET (MEASURED HORIZONTALLY) OF CHIMNEY, COMPLY WITH CRC SEC. R 1062.3. PROVIDE A SPARK ARRESTER THAT COMPLES WITH CRC SEC. 1062.3.2 AND CARRIES A ICC TESTED ASSEMBLY NUMBER.

FP 6 A SMOKE DETECTOR SHALL BE INSTALLED IN EACH BEDROOM AND ON A CEILING OR WALL AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. WHEN BEDROOMS ARE ON THE UPPER LEVEL, THE DETECTOR SHALL BE PLACED ON THE CEILING OF THE UPPER LEVEL, CLOSE TO THE STAIRWAY CRC SEC. R 314.3. DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. EXCEPTIONS: SMOKE DETECTORS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED INTO EXISTING BUILDINGS OR IN BUILDINGS WHICH UNDERGO ALTERATIONS, REPAIRS OR ADDITIONS PER CRC SEC. R 314. 4.
FP 7 CEMENT PLASTER IF ANY SHALL BE MINIMUM 1/2" THICK (3 COATS) WITH WIRE (STUCCO) MESH OVER 3 LAYERS OF GRADE "D" PAPER PER CRC SEC. 103.6.3.
FP 8 CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS FUEL BURNING APPLIANCES ARE INSTALLED AND / OR HAVE ATTACHED GARAGES CRC SEC. 301.1



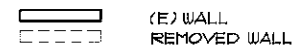
DEMOLITION NOTES

1. STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING, BUT NOT LIMITED TO:

- A. 2016 CALIFORNIA RESIDENTIAL CODE
- B. 2016 CALIFORNIA BUILDING CODES
- C. 2016 CALIFORNIA ELECTRICAL CODE
- D. 2016 CALIFORNIA MECHANICAL CODE
- E. 2016 CALIFORNIA PLUMBING CODE
- F. 2016 CALIFORNIA ENERGY CODE
- G. 2016 CALIFORNIA FIRE CODE
- H.(2016 IBC, 2013 IRC, 2012 UFC, 2012 UPC AND 2011 NEC) AS AMENDED BY THE STATE OF CALIFORNIA) UON.

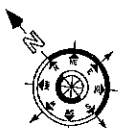
REQUIREMENTS 1 DEMOLISH ONLY THOSE AREAS AFFECTED BY THE WORK.
2. CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES THAT MAY AFFECT THE WORK PRIOR TO COMMENCING WORK.
3. CONTRACTOR SHALL INFORM ARCHITECT OF TERMITE DAMAGE, DRY ROT, OR OTHER DEFECTS UNCOVERED BY DEMOLITION WORK.
4. DEMOLITION INCLUDES ALL PLUMBING AND CABINETRY REQUIRED TO BE REMOVED.
5. CONTRACTOR SHALL PROVIDE PROPER SHORING OF EXISTING STRUCTURES AS REQUIRED PER UBC AND/OR LOCAL CODE PRIOR TO ROOF / WALL REMOVAL
6. CONTRACTOR SHALL VERIFY WITH PLANS AND FIELD INSPECTION ALL WINDOWS, DOORS, & WALLS TO BE REMOVED.
7. CONTRACTOR SHALL FIELD VERIFY EXISTING ELECTRICAL, MECHANICAL EQUIPMENT AND REMOVE PLUMBING AS REQUIRED.
8. ALL HAZARDOUS MATERIALS MUST BE DISPOSED OF PER LOCAL, STATE AND FEDERAL REGULATIONS.
9. CONTRACTOR SHALL COVER AND PROTECT EXISTING HARDWOOD FLOORS, PLASTER WALLS, ETC. THAT ARE TO REMAIN.
10. CONTRACTOR SHALL FIELD REVIEW ALL NEW LANDSCAPED AREAS AND SAVE EXISTING PLANTS REQUESTED BY OWNERS.
11. CONTRACTOR SHALL SAVE ALL FIXTURES (PLUMBING, & ELECTRICAL) REQUESTED BY OWNERS.
12. CONTRACTOR SHALL REUSE EXISTING WATER LINES & SANITARY SEWER LINES UNDER EXISTING FLOOR IF AT ALL POSSIBLE.
13. CONTRACTOR SHALL PROVIDE THE ARCHITECT A DETAILED OUTLINE OF DEMOLITION PROCEDURES IN WRITING PRIOR TO DEMOLITION WORK.
14. CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION MATERIALS IN AN APPROPRIATE MANNER AND IN COMPLIANCE WITH APPLICABLE REGULATIONS
15. CONTRACTOR SHALL REMOVE ALL DEMOLITION MATERIALS OFF SITE UNLESS OTHERWISE DIRECTED BY OWNERS.

LEGEND



EXISTING DEMOLITION FLOOR PLAN

SCALE 3/16"=1'-0"



REVISION	BY
PLANNING	
03/15/18	VTK

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209 BEVERLY DR
SAN CARLOS, CA

DATE	03/15/18
SCALE	3/16"=1'-0"
DRAWN	VTK
JOB	JULIA
SHEET	A-1.2
OF	SHEETS

FLOOR PLAN NOTES

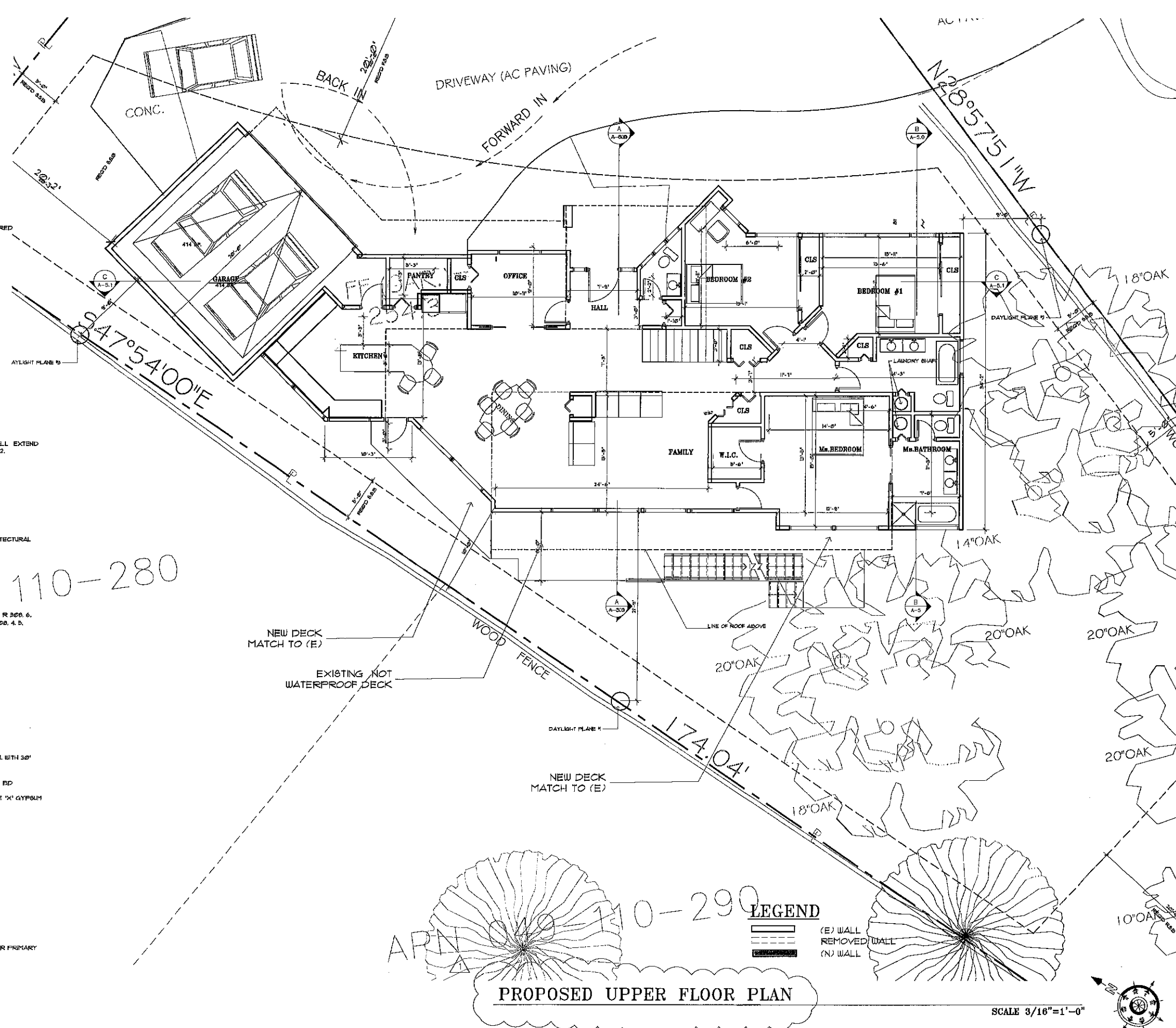
ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING, BUT NOT LIMITED TO:

- GN-1 2016 California Building Code
2016 California Residential Code
2016 California Mechanical Code
2016 California Electrical Code
2016 California Plumbing Code
2016 California Fire Code (California)
2016 California Fire Code (local amendments)
2016 International Property Maintenance Code
2016 State of California Title 24 Energy Regulations
Surgeville Municipal Code (including local amendments to the adopted codes and local green building requirements)
- GN-2 WALL FRAMING:
ALL EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C. (120). ALL OTHER WALLS AND PARTITIONS TO BE 2x4 STUDS @ 16" O.C.
- GN-3 INSULATION:
ALL EXTERIOR WALLS TO BE 2x6 STUDS w/ R-15 BATT INSULATION. INTERIOR PARTITION WALLS AND/OR EXTERIOR WALLS SURROUNDING TOILETS/BATHROOMS TO BE A MINIMUM OF R-15. INSULATION BELOW ENTIRE FIRST FLOOR EXCEPT SLAB ON GRADE TO BE R-15 MINIMUM. SECOND FLOOR TO BE SOUND INSULATED FROM FIRST FLOOR WITH 3-1/2" SOUND ATTENUATION BATT (R-15) THROUGHOUT. FIRST AND SECOND FLOOR CEILING TO BE BATT OR LOOSE FIBER INSULATED TO R-15.
- GN-4 ALL HEATING, VENTILATING AND AIR CONDITIONING WORK SHALL BE TO APPLICABLE CODES TO CALIFORNIA MECHANICAL CODE 2016 CMC EDITION AND THE RECOMMENDED PRACTICES OF ASHRAE AND SMACNA.
- GN-5 GLUED LAMINATED TIMBERS SHALL BE MANUFACTURED AND IDENTIFIED AS REQUIRED
- GN-6 ALL HARDWOOD FLOORING TO BE INSTALLED IN ACCORDANCE WITH THE LATEST NFAA SPECIFICATIONS AND RECOMMENDATIONS.
- GN-7 ALL CERAMIC OR STONE TILE WORK TO BE INSTALLED IN ACCORDANCE WITH THE LATEST TILE COUNCIL OF AMERICA SPECIFICATIONS AND RECOMMENDATIONS.

- STAIRS:
SN-1 RISERS SHALL NOT BE GREATER THAN 7 3/4".
THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE RUN SHALL NOT BE LESS THAN 10". THE LARGEST RUN SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8" CRC SEC. R 301.5
- SN-2 THE TOP OF THE GUARDRAIL SHALL NOT BE LESS THAN 3'-6" IN HEIGHT. INTERMEDIATE RAILS SHOULD BE SPACED SO THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. CRC SEC. 302.1
- SN-3 THE HAND GRIP PORTION OF ALL STAIR HANDRAILS SHALL NOT BE LESS THAN 1 1/4" x AND NOT GREATER THAN 2" PER CRC SEC. 302.2.5 WITH SMOOTH SURFACE WITH NO SHARP CORNERS.
- BATHROOMS:
BN-1 WATER CLOSETS TO HAVE A MINIMUM CLEAR STALL WIDTH OF 30" AND SHALL BE LOW FLASHING TYP. 1.6 GALLON MAXIMUM.
- BN-2 SHOWERS TO HAVE A MINIMUM AREA OF 104 SQ. FT. AND MINIMUM CLEAR HORIZONTAL DIMENSION OF 30" MEASURED AT 1" ABOVE DRAIN. SHOWER DOOR TO BE MINIMUM 27" WIDE.
- BN-3 INSTALL TUB WITH FULL MORTAR SET TILE SURROUND. EXTEND TILE SURROUND DOWN SIDES OF TUB A MINIMUM OF ONE FULL TILE WIDTH. INSTALL SHOWER HEAD OVER TUB WHERE SHOWN ON DRAWINGS.
- BN-4 SHOWER WALL SURFACES SHALL BE FINISHED WITH A NONABSORBENT SURFACE SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6' (72) INCHES ABOVE THE FLOOR PER CRC SEC. R 302.2. MATERIALS OTHER THAN STRUCTURAL ELEMENTS, USED IN SUCH WALLS SHALL BE OF A TYPE WHICH IS NOT ADVERSELY AFFECTED BY MOISTURE, I.E. CERAMIC TILE, WATER-RESISTANT GYPSUM, CRC SEC. 302.9.
- BN-5 WHEN GYPSUM IS USED AS A BASE FOR TILE OR WALL IN WATER CLOSET COMPARTMENT WALLS, WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE USED, EXCEPT THAT IN SHOWER OR BATHTUB COMPARTMENTS AND IN AREA SUBJECT TO CONTINUOUS HIGH HUMIDITY SUCH AS SAUNAS, STEAM ROOMS AND CEILING. USE TILE BASE PER CRC SEC. R 102.3.8

- GLAZING:
GN-1 ALL GLASS AND GLAZING SHALL COMPLY WITH U.S. SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS, AND WITH FEDERAL SPECIFICATIONS, CRC SEC. 302.8.
- GN-2 ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24". AND WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR. CRC SEC. R 302.1.
- GN-3 CONSTRUCTION OF SKYLIGHT GLAZING SYSTEM TO MEET REQUIREMENTS OF CRC SEC. R 302.6.
- GN-4 GLASS SHOWER AND TUB ENCLOSURES TO BE TEMPERED GLASS PER CRC SEC. R 302.6. 4.
- VENTILATION:
VN-1 PROVIDE ONE 80 SQ. FT. OF VENT AREA FOR EACH 150 SQ. FT. OF UNDERLOOR AREA TO CONFORM TO CRC SEC. R 402.1. CENTER VENTS UNDER WINDOWS OR AS CLOSE TO CORNERS WHERE POSSIBLE.
- VN-2 PROVIDE UNDER ROOF CROSS VENTILATION AT THE RATE OF 1/150 TH OF THE ATTIC AREA. CRC SEC. 402.2 AND CMC FOR ATTIC FURNACE.
- VN-3 GIRDER ENTERING CONCRETE WALLS SHALL HAVE 1/2" AIR SPACE ON TOPS, SIDES AND ENDS PER CRC SEC. 311 (4).
- VN-4 ALL PLUMBING VENTS TO BE A MINIMUM OF 10" FROM ANY OPERABLE SKYLIGHTS AS PER CRC SEC. R 302.4.1

- ACCESS:
AN-1 PROVIDE 18" (MIN) BY 24" (MIN) ACCESS TO ALL FOUNDATION CRAWL SPACES. CRC SEC. R 402.4.
- PROVIDE 1 ACCESS WITHIN 30" OF BATHROOM AND KITCHEN PLUMBING.
- AN-2 PROVIDE 24" (MIN) BY 30" (MIN) ACCESS TO ALL ATTIC SPACES MORE 30 SQFT THIN WITH 30" CLEAR HEIGHT OR MORE PER CRC SEC. 801.1
- FIRE PROTECTION:
FP-1 ALL GARAGE WALLS COMMON WITH THE HOUSE, SHALL BE SEPARATED BY 1/2" GYP. BD ON GARAGE SIDE. CEILING SUPPORTING LIVING AREA ABOVE, TO BE 1-HR CONSTRUCTION WITH 5/8" TYPE 'X' GYPSUM BOARD (MINIMUM) ON GARAGE SIDE. DOORS FROM GARAGE TO HOUSE TO BE SOLID WOOD 1 3/8" THICK MINIMUM WITH SELF-CLOSING DEVICE PER CRC SEC. R 302.5.1
- FP-2 UNHABITABLE SPACE UNDER STAIRS TO BE 1-HR CONSTRUCTION OF 1/2" TYPE 'X' GYPSUM BOARD (MINIMUM) AT ALL WALLS AND CEILING.
- FP-3 PROVIDE 6" MINIMUM CLEARANCE ON SIDES AND BACK OF FURNACE.
- FP-4 INSTALL ZERO CLEARANCE PRE-FAB FIREPLACES AS DIRECTED BY THE MANUFACTURERS INSTALLATION DIRECTIONS.
- FP-5 TOP OF FIREPLACE CHIMNEY TO EXTEND 2 FT. (MIN) ABOVE ANY ROOFING MATERIAL WITHIN 10 FEET (MEASURED HORIZONTALLY) OF CHIMNEY. COMPLY WITH CRC SEC. R 1023.3. PROVIDE A SPARK ARRESTER THAT COMPLIED WITH CRC SEC. 1023.3.3 AND CARRIES A ICC TESTED ASSEMBLY NUMBER.
- FP-6 A SMOKE DETECTOR SHALL BE INSTALLED IN EACH BEDROOM AND ON A CEILING OR WALL AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. WHEN BEDROOMS ARE ON THE UPPER LEVEL, THE DETECTOR SHALL BE PLACED ON THE CEILING OF THE UPPER LEVEL, CLOSE TO THE STAIRWAY CRC SEC. R 314.3. DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. EXCEPTIONS: SMOKE DETECTORS MAY BE SOLIDLY BATTERY OPERATED WHEN INSTALLED INTO EXISTING BUILDINGS OR IN BUILDINGS WHICH UNDERGO ALTERATIONS, REPAIRS OR ADDITIONS PER CRC SEC. R 314.4.
- FP-7 CEMENT PLASTER, IF ANY, SHALL BE MINIMUM 1/2" THICK (3 COATS) WITH WIRE (MESH) OVER 2 LAYERS OF GRADE 'D' PAPER PER CRC SEC. 102.6.3.
- FP-8 CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS FUEL BURNING APPLIANCES ARE INSTALLED AND / OR HAVE ATTACHED GARAGES CRC SEC. 310.1

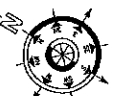


PROPOSED UPPER FLOOR PLAN

LEGEND

- (E) WALL
- (R) REMOVED WALL
- (N) WALL

SCALE 3/16" = 1'-0"



REVISION	BY
PLANNING	
23/3/18	VTK

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SANTA CLARA, CA 95051

209 BEVERLY DR
SAN CARLOS, CA

DATE	01/20/18
SCALE	3/16" = 1'-0"
DRAWN	VTK
JOB	JULIA
SHEET	A-2.0
OF	5 SHEETS

FLOOR PLAN NOTES

ALL WORK SHALL COMPLY WITH APPLICABLE CODES AND TRADE STANDARDS WHICH GOVERN EACH PHASE OF WORK, INCLUDING, BUT NOT LIMITED TO:

- GN-1 2016 California Building Code
2016 California Residential Code
2016 California Mechanical Code
2016 California Plumbing Code
2016 California Electrical Code
2016 California Green Building Code (CALGreen)
2016 California Fire Code (with local amendments)
2018 International Property Maintenance Code
2016 State of California Title 24 Energy Regulations
Bunyavilla Municipal Code (including local amendments to the adopted codes and local green building requirements)
- GN-2 WALL FRAMING:
ALL EXTERIOR WALLS TO BE 2x6 STUDS @ 16" O.C. (160N). ALL OTHER WALLS AND PARTITIONS TO BE 2x4 STUDS @ 16" O.C.
- GN-3 INSULATION
ALL EXTERIOR WALLS TO BE 2x6 STUDS w/ R-19 BATT INSULATION. INTERIOR PARTITION WALLS AND/OR EXTERIOR WALLS SURROUNDING TOILETS/BATH-ROOMS TO BE A MINIMUM OF R-13. INSULATION BELOW ENTIRE FIRST FLOOR EXCEPT SLAB ON GRADE TO BE R-13 MINIMUM. SECOND FLOOR TO BE 60MM INSULATED FROM FIRST FLOOR WITH 3-1/2" SOUND ATTENUATION BATT (R-15) THROUGHOUT. FIRST AND SECOND FLOOR CEILINGS TO BE BATT OR LOOSE FIBER INSULATED TO R-19.
- GN 4 ALL HEATING, VENTILATING AND AIR CONDITIONING WORK SHALL BE TO APPLICABLE CODES TO CALIFORNIA MECHANICAL CODE 2016 CHC EDITION AND THE RECOMMENDED PRACTICES OF ASHRAE AND SMACNA.
- GN 5 GLUED LAMINATED TIMBERS SHALL BE MANUFACTURED AND IDENTIFIED AS REQUIRED
- GN 6 ALL HARDWOOD FLOORING TO BE INSTALLED IN ACCORDANCE WITH THE LATEST NORMA SPECIFICATIONS AND RECOMMENDATIONS.
- GN 7 ALL CERAMIC OR STONE TILE WORK TO BE INSTALLED IN ACCORDANCE WITH THE LATEST TILE COUNCIL OF AMERICA SPECIFICATIONS AND RECOMMENDATIONS.

- STAIRS**
- SN 1 RISERS SHALL NOT BE GREATER THAN 1 3/4". THE GREATEST RISER HEIGHT SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8". THE RUN SHALL NOT BE LESS THAN 10". THE LARGEST RUN SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8" CRC SEC. R 311.3
 - SN 2. THE TOP OF THE GUARDS SHALL NOT BE LESS THAN 3'-6" IN HEIGHT. INTERMEDIATE RAILS SHOULD BE SPACED SO THAT A 4" DIAMETER SPHERE CANNOT PASS THROUGH. CRC SEC. 312.1
 - SN 3. THE HAND GRIP PORTION OF ALL STAIR HANDRAILS SHALL NOT BE LESS THAN 1 1/4" x AND NOT GREATER THAN 2" x PER CRC SEC. 311.3.3 WITH SMOOTH SURFACE WITH NO SHARP CORNERS.

- BATHROOMS**
- BN 1. WATER CLOSETS TO HAVE A MINIMUM CLEAR STALL WIDTH OF 30" AND SHALL BE LOW FLASHING TYP 16 GALLON MAXIMUM.
 - BN 2. SHOWERS TO HAVE A MINIMUM AREA OF 10'4 SQ. IN AND MINIMUM CLEAR HORIZONTAL DIMENSION OF 36" MEASURED AT 1' ABOVE DRAIN. SHOWER DOOR TO BE MINIMUM 72" WIDE.
 - BN 3. INSTALL TUB WITH FULL MORTAR SET TILE SURROUND. EXTEND TILE SURROUND DOWN SIDES OF TUB A MINIMUM OF ONE FULL TILE WIDTH. INSTALL SHOWER HEAD OVER TUB WHERE SHOWN ON DRAWINGS.
 - BN 4. SHOWER WALL SURFACES SHALL BE FINISHED WITH A NONABSORBENT SURFACE SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6" (12) INCHES ABOVE THE FLOOR PER CRC R302.12. MATERIALS OTHER THAN STRUCTURAL ELEMENTS, USED IN SUCH WALLS SHALL BE OF A TYPE WHICH IS NOT ADVERSELY AFFECTED BY MOISTURE, I.E., CERAMIC TILE, WATER-RESISTANT GYPSUM, CRC SEC. 2609.
 - BN 5. WHEN GYPSUM IS USED AS A BASE FOR TILE OR WALL IN WATER CLOSET COMPARTMENT WALLS, WATER-RESISTANT GYPSUM BACKING BOARD SHALL BE USED, EXCEPT THAT IN SHOWER OR BATHTUB COMPARTMENTS AND IN AREA SUBJECT TO CONTINUOUS HIGH HUMIDITY SUCH AS SAUNAS, STEAM ROOMS AND CEILING. USE TILE BASE PER CRC SEC. R 102.3.8

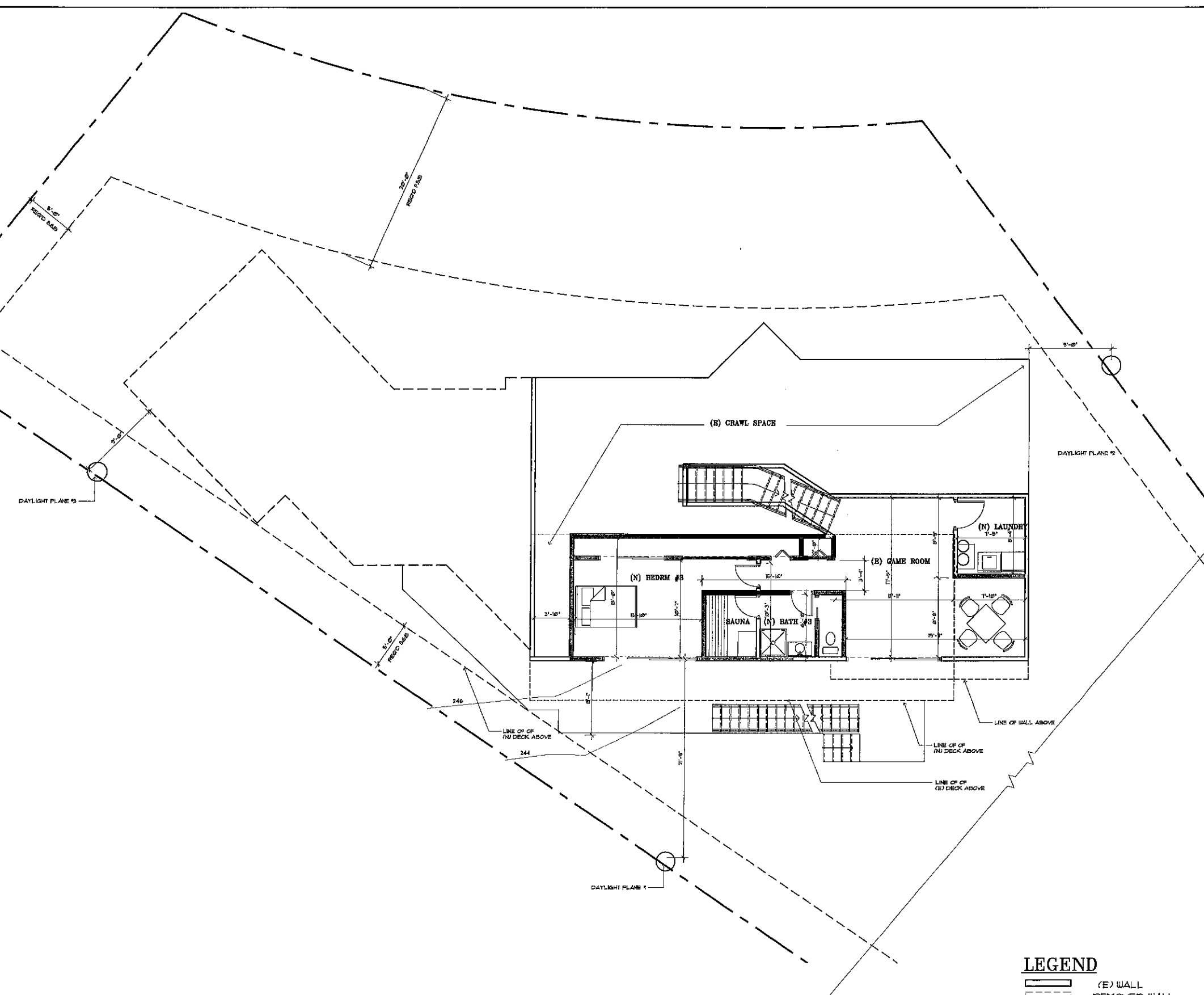
- GLAZING**
- ZN 1 ALL GLASS AND GLAZING SHALL COMPLY WITH U.S. SAFETY STANDARDS FOR ARCHITECTURAL GLAZING MATERIALS, AND WITH FEDERAL SPECIFICATIONS, CRC SEC. 306.
 - ZN 2 ALL ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPERABLE AREA OF 5.7 SQ. FT. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24", AND WIDTH DIMENSION SHALL BE 20". WHEN WINDOWS ARE PROVIDED AS A MEANS OF ESCAPE OR RESCUE, THEY SHALL HAVE A SILL HEIGHT NOT MORE THAN 44" ABOVE THE FLOOR. CRC SEC. R 302.1
 - ZN 3 CONSTRUCTION OF SKYLIGHT GLAZING SYSTEM TO MEET REQUIREMENTS OF CRC SEC. R 302.6.
 - ZN 4 GLASS SHOWER AND TUB ENCLOSURES TO BE TEMPERED GLASS PER CRC SEC. R302.4.5.

- VENTILATION**
- VN 1 PROVIDE ONE 80. FT. OF VENT AREA FOR EACH 150 SQ. FT. OF UNDERFLOOR AREA TO CONFORM TO CRC SEC. R 408. CENTER VENTS UNDER WINDOWS OR AS CLOSE TO CORNERS WHERE POSSIBLE.
 - VN 2 PROVIDE UNDER ROOF CROSS VENTILATION AT THE RATE OF 1/150 TH OF THE ATTIC AREA. CRC SEC. 406.2 AND CHC FOR ATTIC FURNACE.
 - VN 3 GIRDER ENTERING CONCRETE WALLS SHALL HAVE 1/2" AIR SPACE ON TOPS, SIDES AND ENDS PER CRC SEC. 311 (4).
 - VN 4 ALL PLUMBING VENTS TO BE A MINIMUM OF 10" FROM ANY OPERABLE SKYLIGHTS AS PER CRC SEC. R 503.4.

- ACCESS**
- AN 1 PROVIDE 18" (MIN) BY 24" (MIN) ACCESS TO ALL FOUNDATION CRAWL SPACES. CRC SEC. R408.4.
 - PROVIDE 1 ACCESS WITHIN 20' OF BATHROOM AND KITCHEN PLUMBING.
 - AN 2 PROVIDE 22" (MIN) BY 30" (MIN) ACCESS TO ALL ATTIC SPACES MORE 30 SQFT THIN WITH 36" CLEAR HEIGHT OR MORE PER CRC SEC. 501.1.

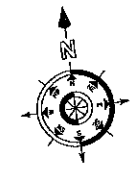
- FIRE PROTECTION**
- FP 1 ALL GARAGE WALLS COMMON WITH THE HOUSE, SHALL BE SEPARATED W/ 1/2" GYP. BD ON GARAGE SIDE. CEILING SUPPORTING LIVING AREA ABOVE, TO BE 1-HR. CONSTRUCTION WITH 5/8" TYPE 'X' GYPSUM BOARD (MINIMUM) ON GARAGE SIDE. DOORS FROM GARAGE TO HOUSE TO BE SOLID WOOD 1 3/8" THICK MINIMUM WITH SELF-CLOSING DEVICE PER CRC SEC. R 302.5.
 - FP 2 USEABLE SPACE UNDER STAIRS TO BE 1-HR. CONSTRUCTION OF 1/2" TYPE 'X' GYPSUM BOARD (MINIMUM) AT ALL WALLS AND CEILING.
 - FP 3 PROVIDE 6" MINIMUM CLEARANCE ON SIDES AND BACK OF FURNACE.
 - FP 4 INSTALL ZERO CLEARANCE FIRE-FAB FIREPLACES AS DIRECTED BY THE MANUFACTURERS INSTALLATION DIRECTIONS.
 - FP 5 TOP OF FIREPLACE CHIMNEY TO EXTEND 2 FT. (MIN) ABOVE ANY ROOFING MATERIAL WITHIN 12 FEET (MEASURED HORIZONTALLY) OF CHIMNEY. COMPLY WITH CRC SEC. R 1062.5. PROVIDE A SPARK ARRESTER THAT COMPLIES WITH CRC SEC. 1023.5.2 AND CARRIES A ICC TESTED ASSEMBLY NUMBER.
 - FP 6 A SMOKE DETECTOR SHALL BE INSTALLED IN EACH BEDROOM AND ON A CEILING OR WALL AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO BEDROOMS. WHEN BEDROOMS ARE ON THE UPPER LEVEL, THE DETECTOR SHALL BE PLACED ON THE CEILING OF THE UPPER LEVEL, CLOSE TO THE STAIRWAY CRC SEC. R 314.3. DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION. EXCEPTIONS: SMOKE DETECTORS MAY BE SOLELY BATTERY OPERATED WHEN INSTALLED INTO EXISTING BUILDING OR IN BUILDINGS WHICH UNDERGO ALTERATIONS, REPAIRS OR ADDITIONS PER CRC SEC. R 314.4.

- FP 7 CEMENT PLASTER, IF ANY, SHALL BE MINIMUM 1/2" THICK 13 COATS WITH WIRE (STUCCO) MESH OVER 2 LAYERS OF GRADE 'D' PAPER PER CRC SEC. 103.6.3.
- FP 8 CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING UNITS FUEL BURNING APPLIANCES ARE INSTALLED AND / OR HAVE ATTACHED GARAGES CRC SEC. 315.1



LEGEND

- (E) WALL
- REMOVED WALL
- (N) WALL



PROPOSED LOWER FLOOR PLAN 817.8 sq.ft.

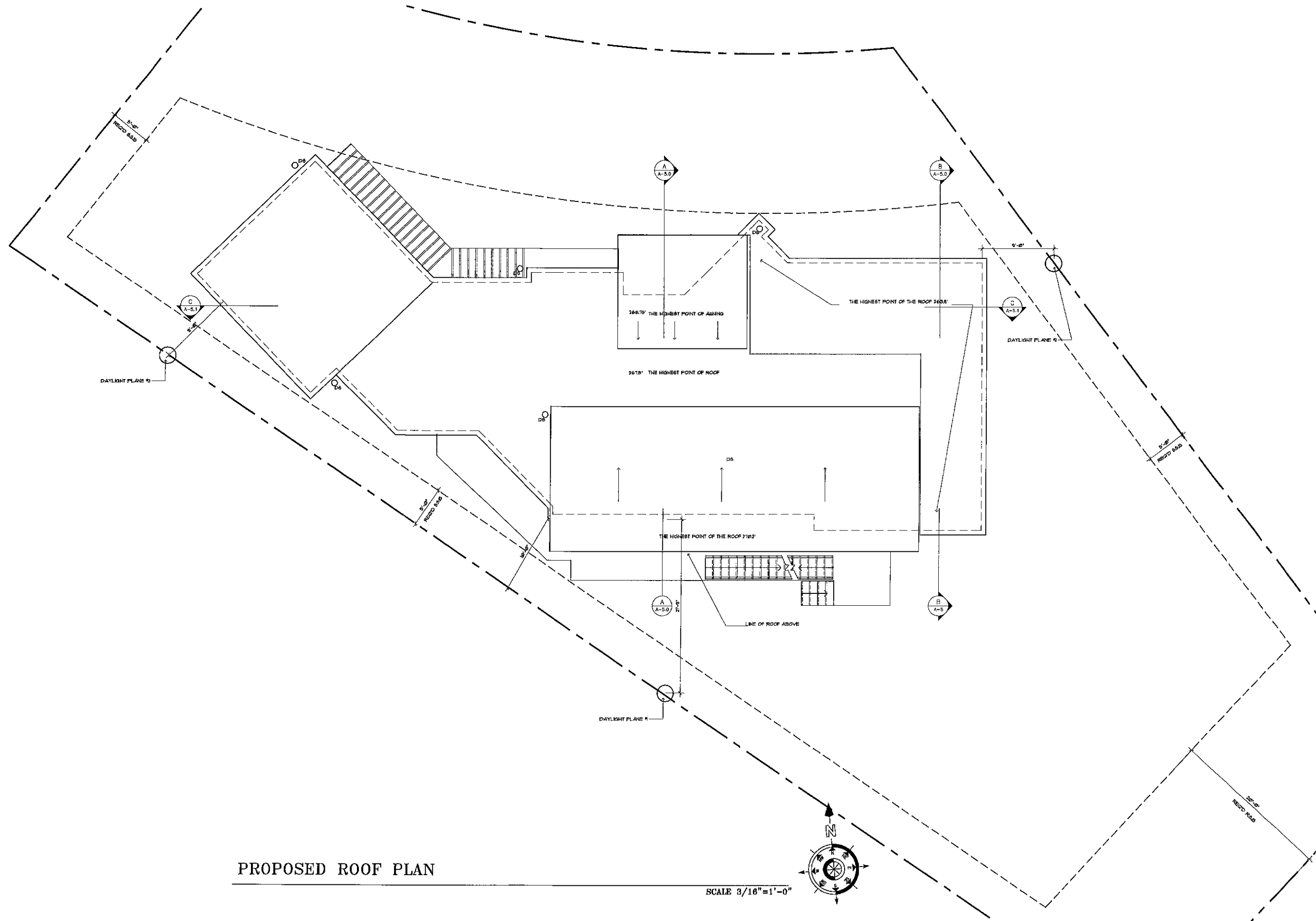
SCALE 3/16" = 1'-0"

REVISION	BY
PLANNING	VJK
03/15/18	VJK

V M K DESIGN GROUP
 VADIM MELIK-KARIMOV
 CONCEPTUAL DESIGN • PLANNING • INTERIOR PH: 408.554.6110
 WWW.VMKDESIGNGROUP.COM VMK@VPS.NET Fax: 408.516.9490
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 SANTA CLARA CA 95051

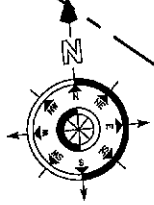
209 BEVERLY DR
 SAN CARLOS, CA

DATE	01/10/18
SCALE	3/16" = 1'-0"
DRAWN	VJK
JOB	JULIA
SHEET	A-2.1
OF	8 SHEETS



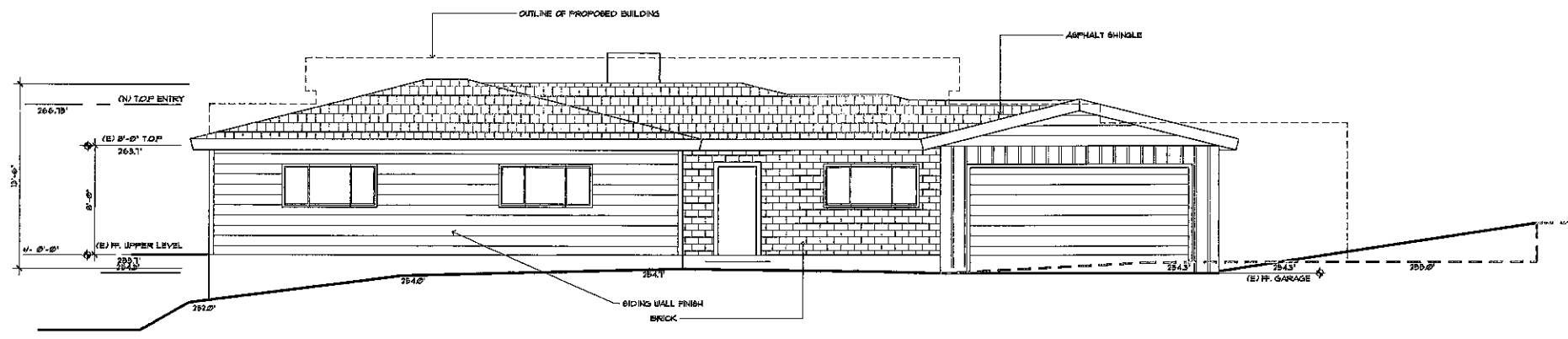
PROPOSED ROOF PLAN

SCALE 3/16"=1'-0"



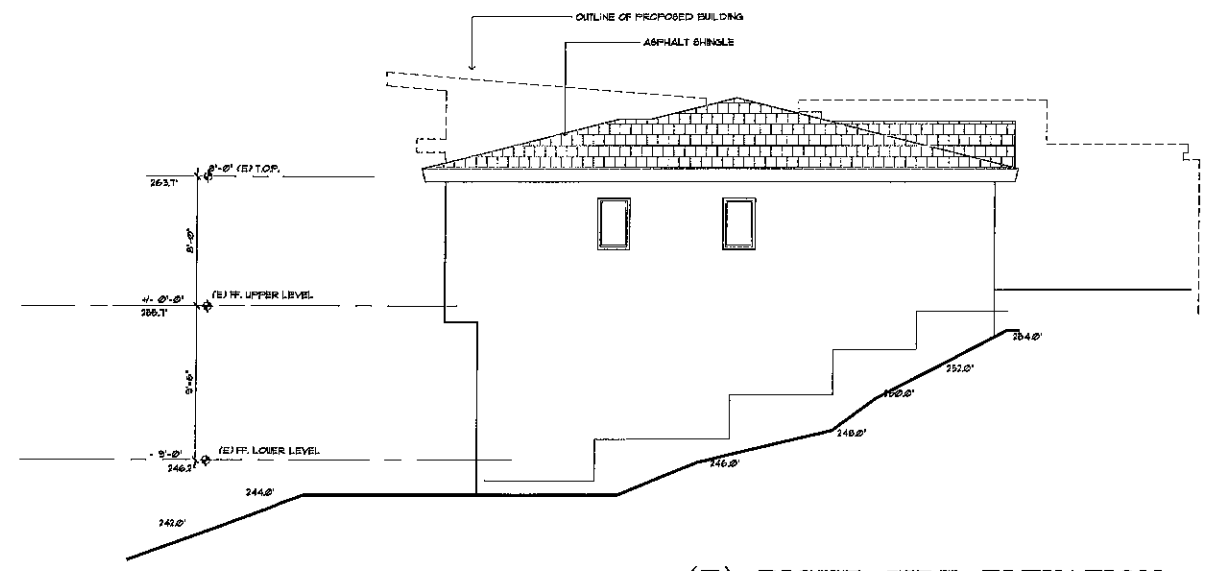
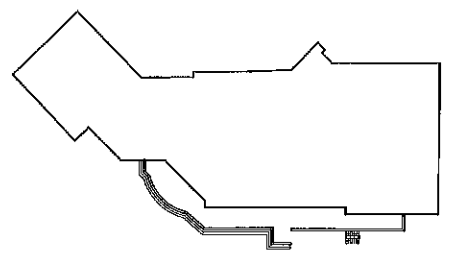
REVISION	BY
PLANNING	VTK
03/13/16	VTK

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209 BEVERLY DR SAN CARLOS, CA	
DATE	03/13/16
SCALE	3/16"=1'-0"
DRAWN	VTK
JOB	JULIA
SHEET	A-3.0
OF	SHEETS



(E) FRONT ELEVATION

SCALE 3/16"=1'-0"



(E) RIGHT SIDE ELEVATION

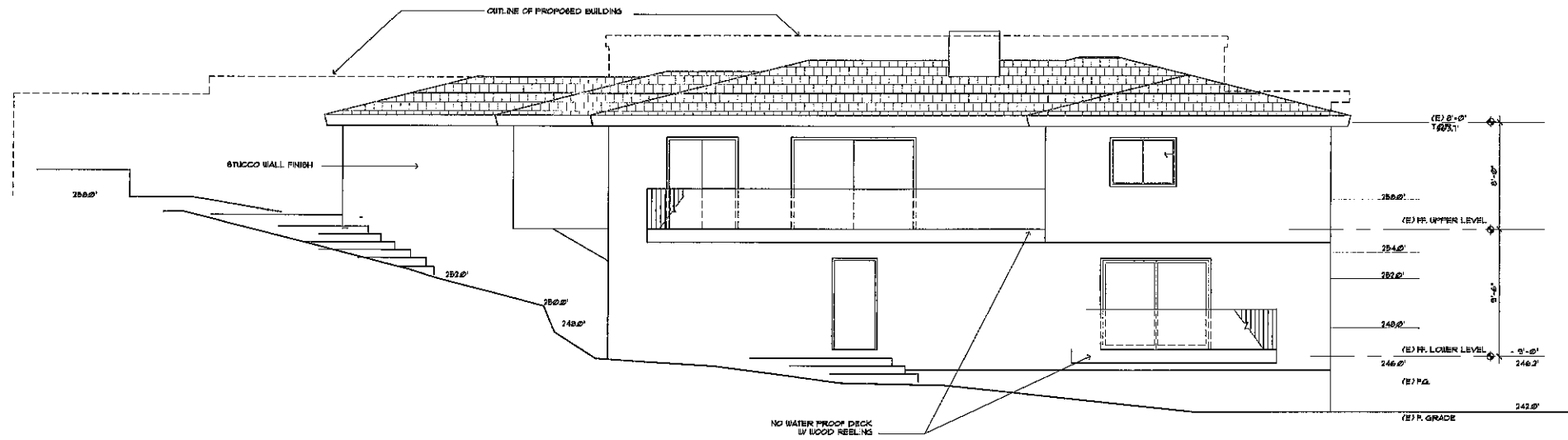
SCALE 3/16"=1'-0"

REVISION	BY
PLANNING	VJK
03/13/18	VJK

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 WWW.VMKDESIGNGROUP.COM VMK@VPS.NET Fsx: 408.516.9490
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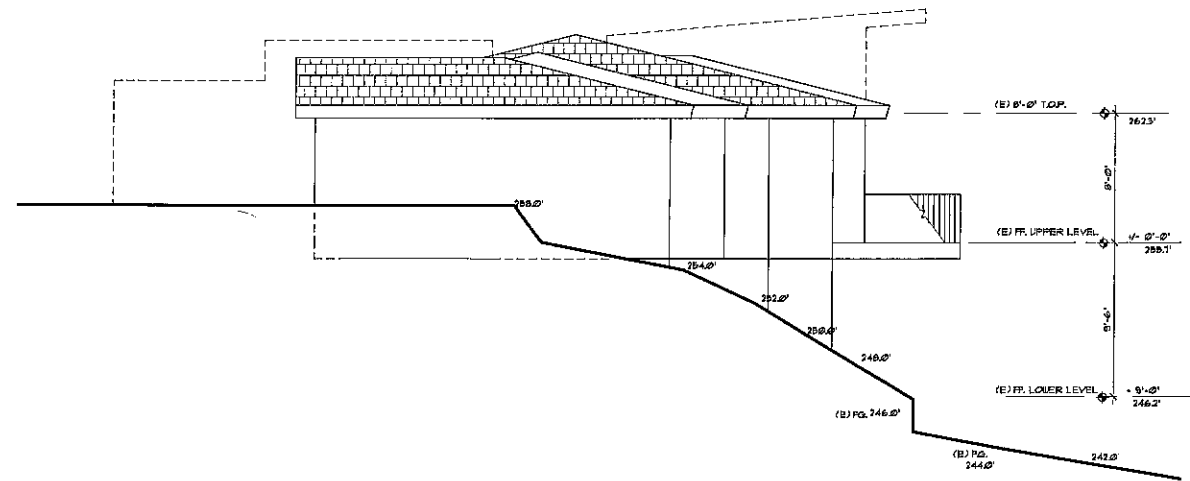
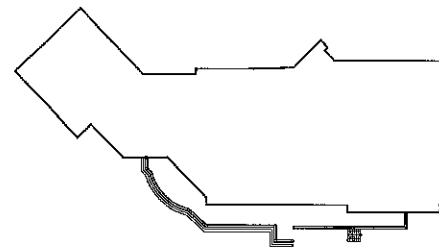
209 BEVERLY DR
 SAN CARLOS, CA

DATE	01/12/18
SCALE	3/16"=1'-0"
DRAWN	VJK
JOB	JULIA
SHEET	A-4.0
OF	SHEETS



(E) REARELEVATION

SCALE 3/16"=1'-0"



(E) LEFT SIDE ELEVATION

SCALE 3/16"=1'-0"

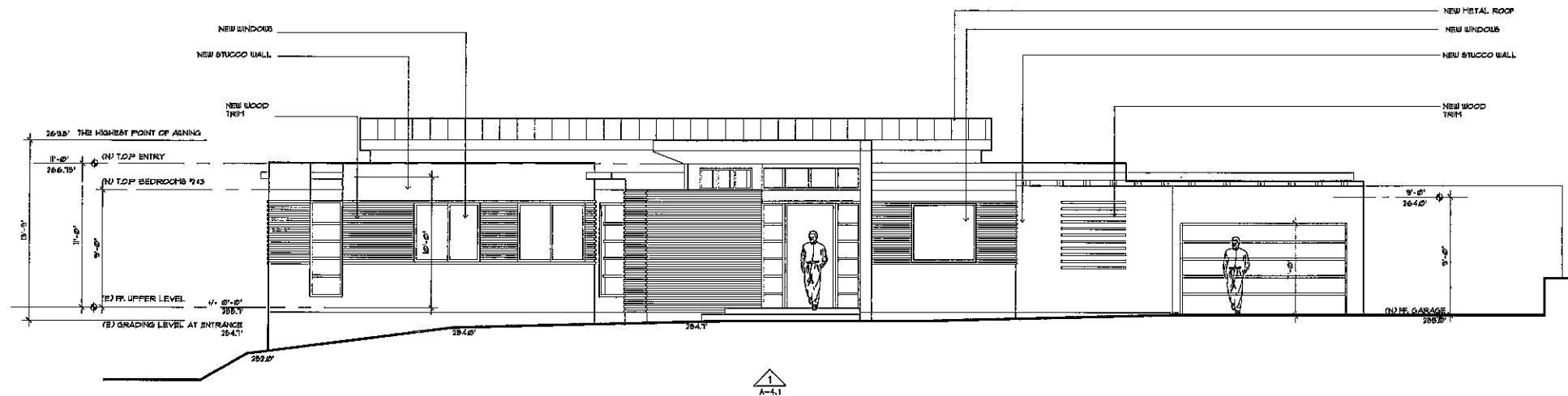
REVISION	BY
PLANNING	VJK
03/13/18	VJK

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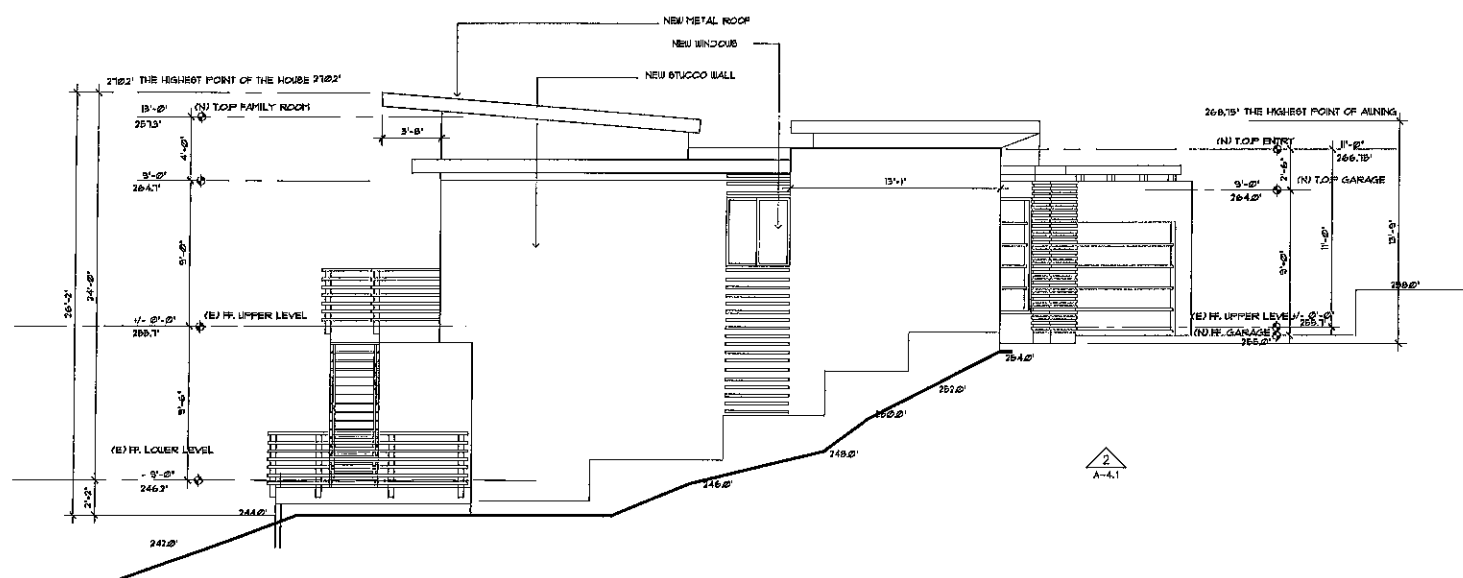
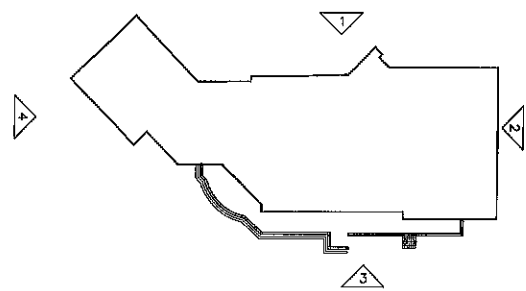
209 BEVERLY DR
 SAN CARLOS, CA

DATE	01/02/18
SCALE	3/16"=1'-0"
DRAWN	VJK
JOB	JULIA
SHEET	A-4.0.1
OF	SHEETS



FRONT ELEVATION

SCALE 3/16"=1'-0"



RIGHT SIDE ELEVATION

SCALE 3/16"=1'-0"

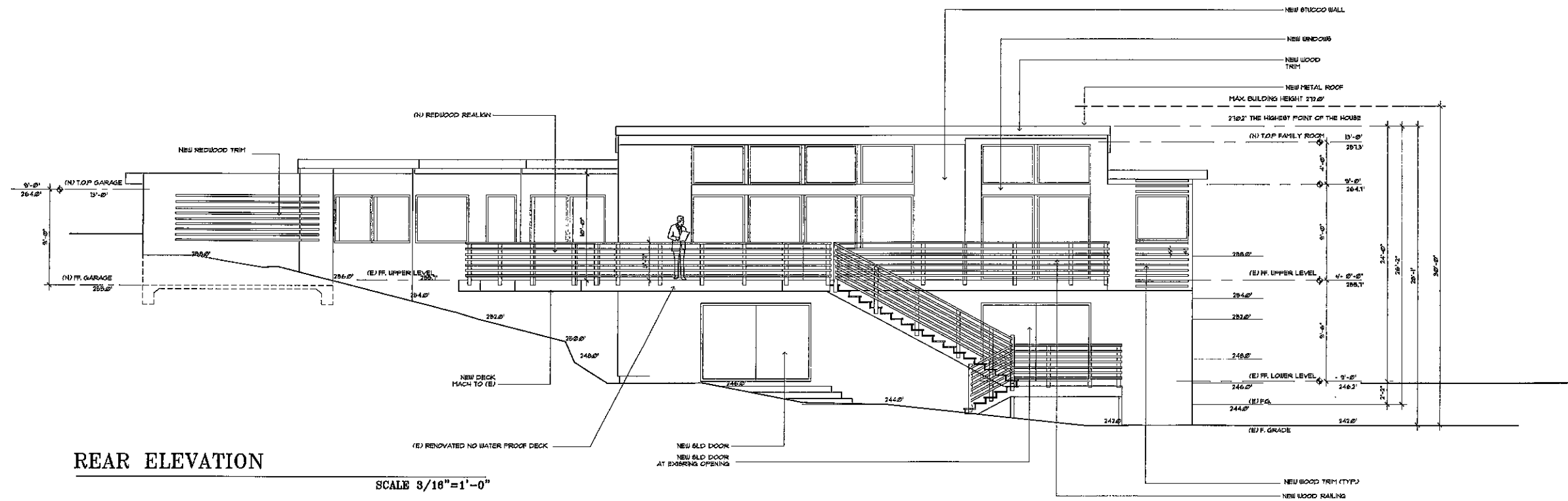
REVISION	BY
PLANNING	VJK
02/13/10	VJK

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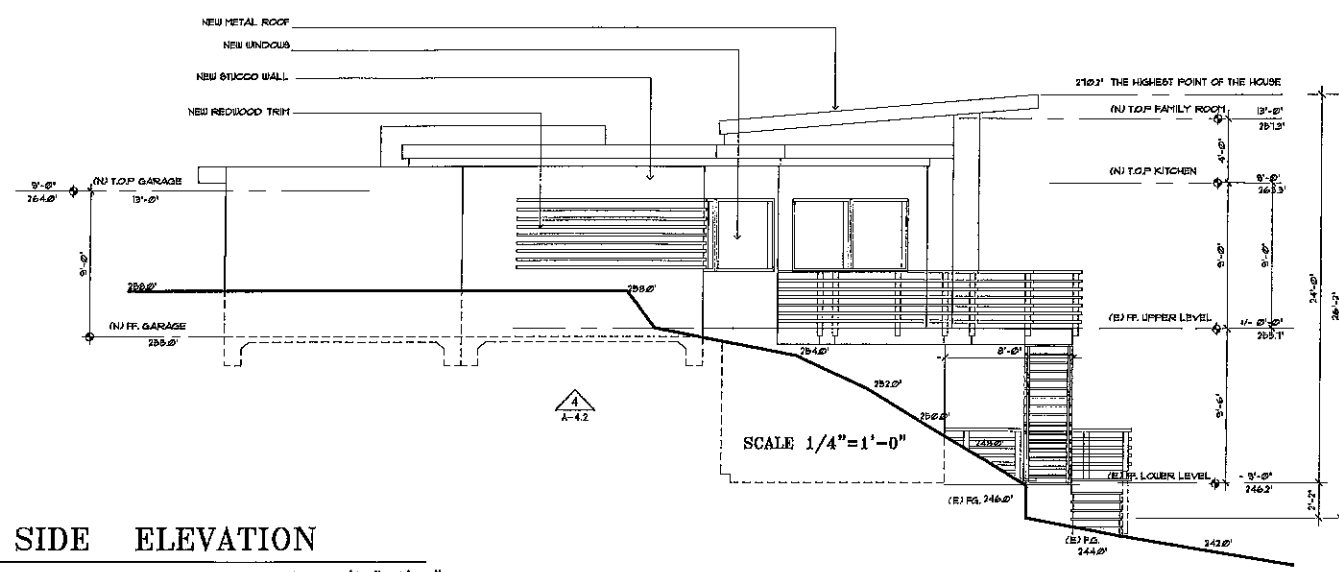
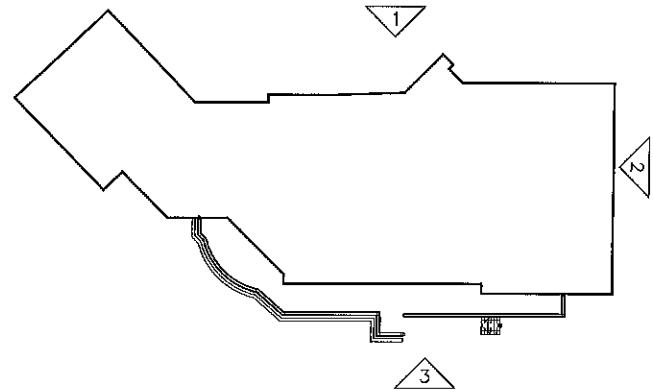
209 BEVERLY DR
 SAN CARLOS, CA

DATE	01/10/10
SCALE	3/16"=1'-0"
DRAWN	VJK
JOB	JULIA
SHEET	A-4.1
OF	SHEETS



REAR ELEVATION

SCALE 3/16"=1'-0"



LEFT SIDE ELEVATION

SCALE 3/16"=1'-0"

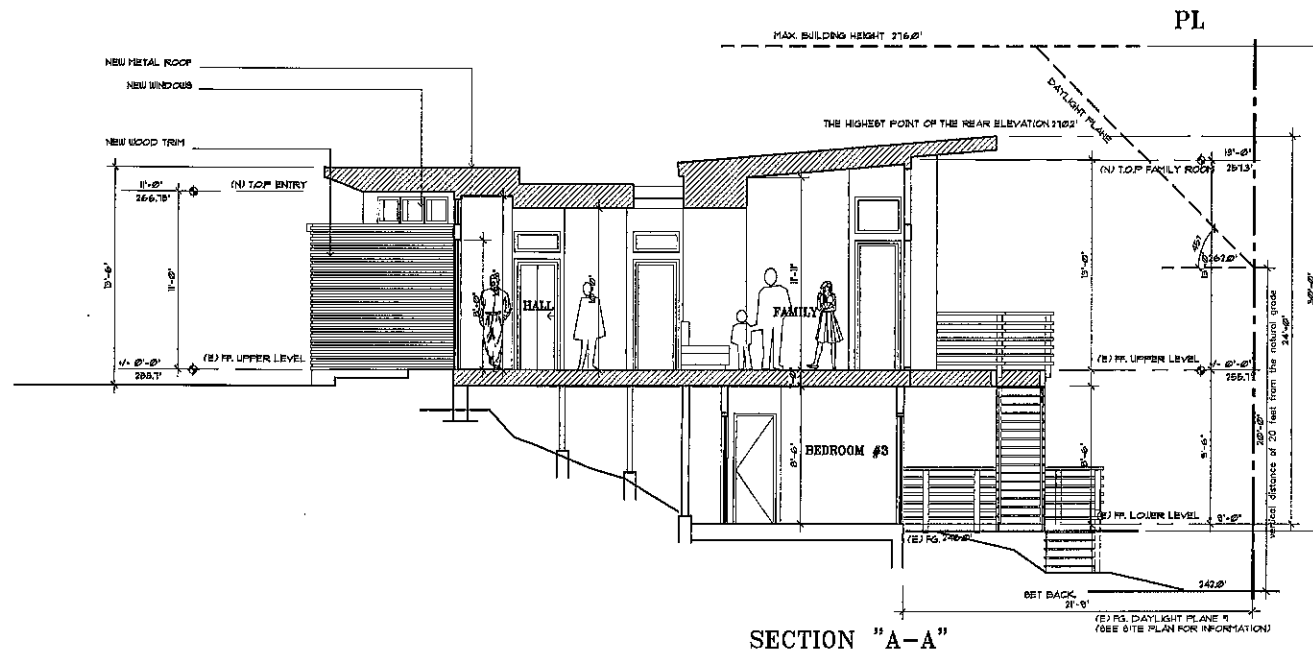
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PLANNING	
02/13/18	YJK

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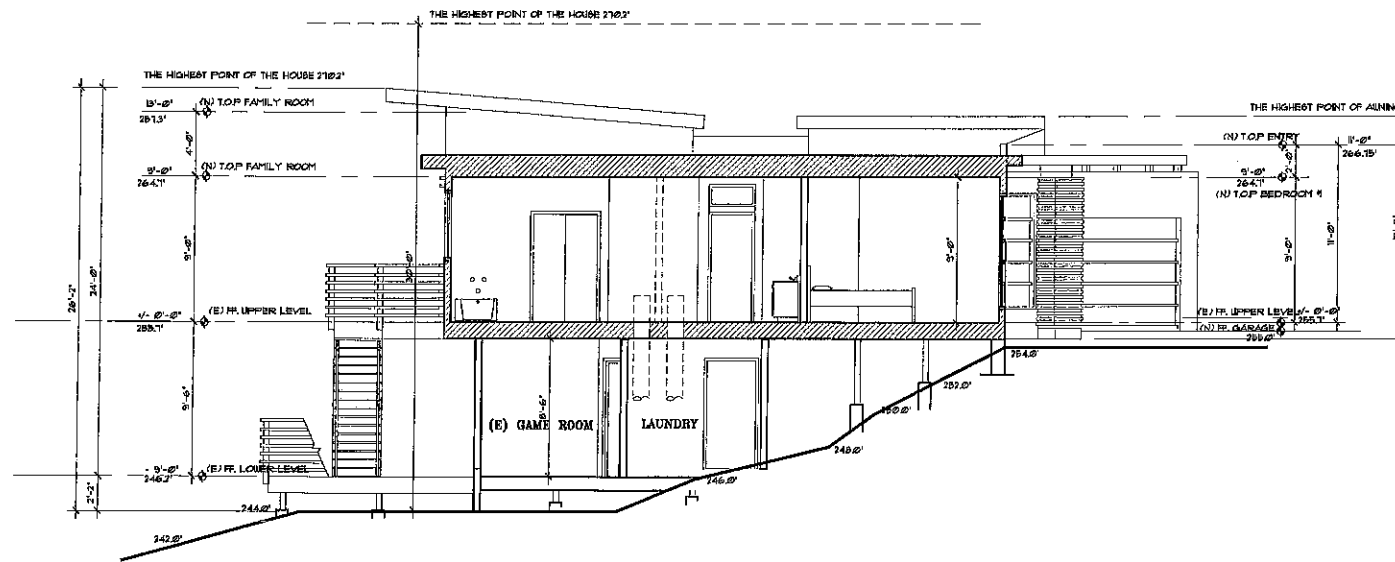
209 BEVERLY DR
 SAN CARLOS, CA

DATE	01/10/17
SCALE	3/16"=1'-0"
DRAWN	YJK
JOB	JULIA
SHEET	A-4.2
OF	SHEETS



SECTION "A-A"

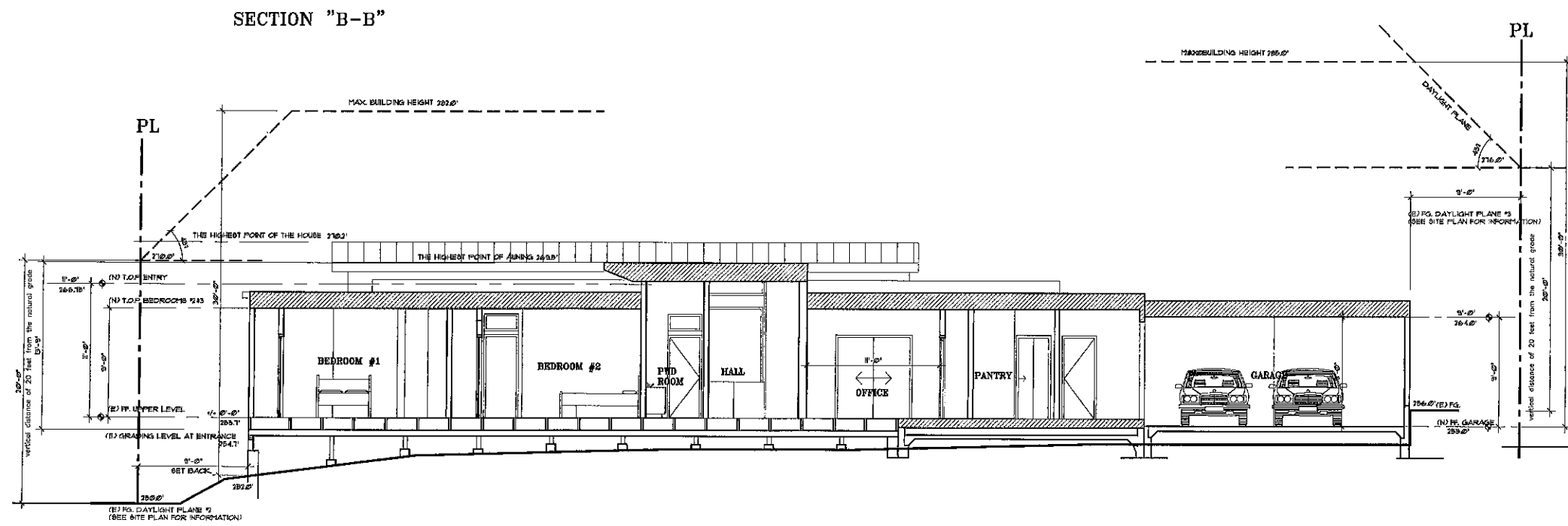
SCALE 3/16"=1'-0"



SECTION "B-B"

SCALE 3/16"=1'-0"

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03/15/08	VJK
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<p>209 BEVERLY DR SAN CARLOS, CA</p>	
DATE	01/12/08
SCALE	1/4"=1'-0"
DRAWN	VJK
JOB	JUL1A
SHEET	A-5.0
OF	SHEETS



SECTION "C-C"

SCALE 3/16" = 1'-0"

REVISION	BY
PLANNING	
23/12/18	VPK

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 WWW.VMKDESIGNGROUP.COM
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209 BEVERLY DR
SAN CARLOS, CA

DATE	01/10/18
SCALE	3/16" = 1'-0"
DRAWN	VPK
JOB	JULIA
SHEET	A-5.1
OF	SHEETS

APN 049-110-100

BEVERLY DRIVE
(60' WIDE)

L=83.00
R=180.00
DELTA=26°25'11"
Tan=42.25

APN 049-110-280

APN 049-110-360

APN 049-110-290

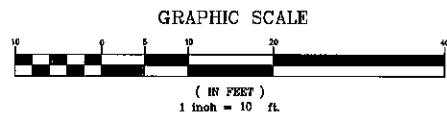
APN 049-110-730

209 BEVERLY DRIVE, SAN CARLOS CA 94070
APN 049-110-350

LOT AREA =
11,193 SF

FF (GAR.) = 254.3
FF = 255.7
FF (LOWER LEVEL) = 246.2

EASEMENT FOR
DRIVEWAY/INGRESS/EGRESS



SWIFT ENGINEERING

SWIFT ENGINEERING

3520 CEDAR SPRINGS LN., MEADOW VISTA, CA 95722

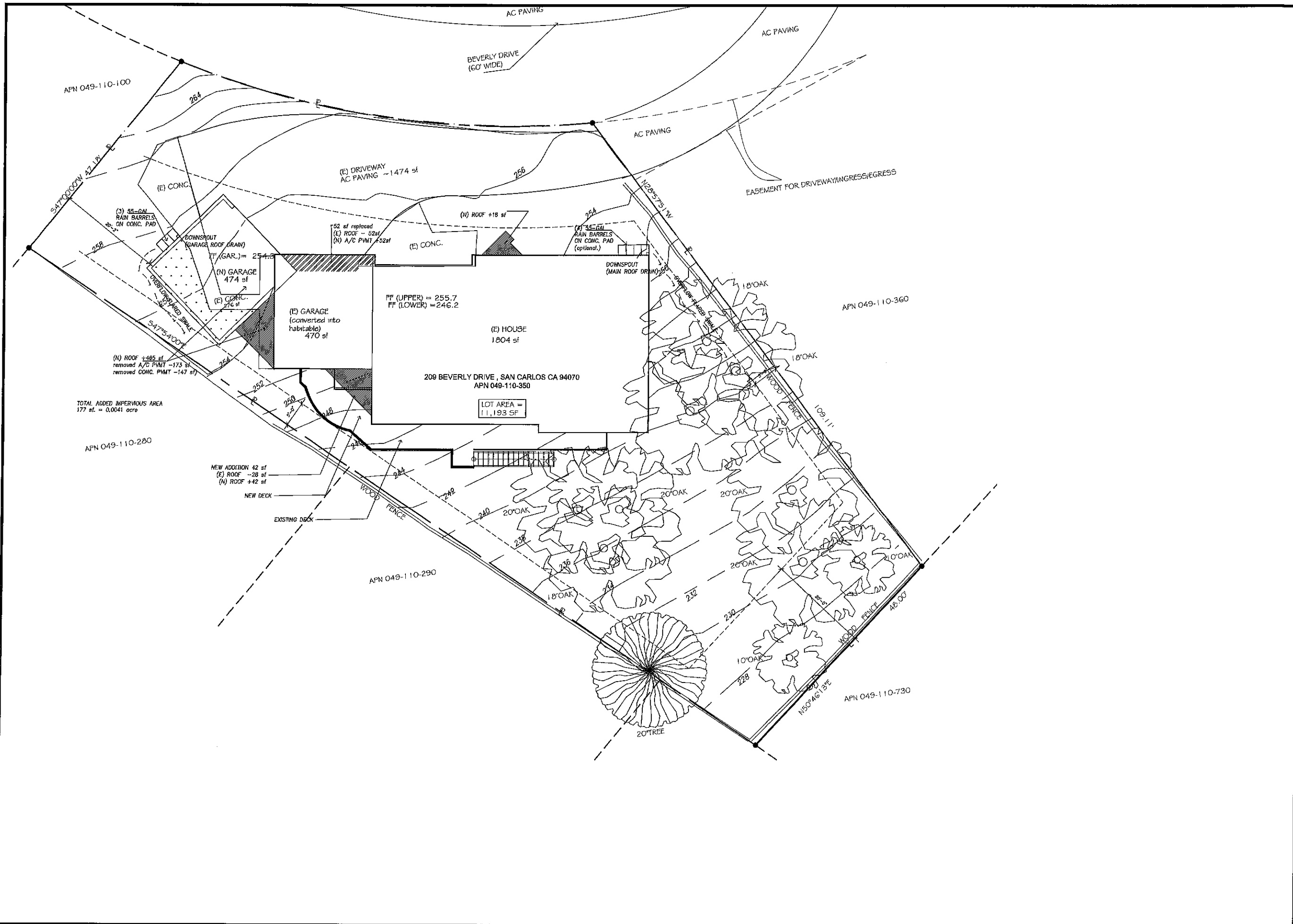
530-878-6732 CELL: 916-838-0185

EMAIL: donswift@swiftengineering.net

PRELIMINARY
BOUNDARY AND TOPOGRAPHIC SURVEY

209 BEVERLY DRIVE, SAN CARLOS CA 94070

APN 049-110-350



TOTAL ADDED IMPERVIOUS AREA
177 sf. = 0.0041 acre

BY	
DATE	
SYN.	
DATE	
SYN.	
DATE	
SYN.	
DATE	



PEG
PROJECT ENGINEERING GROUP
Civil and Structural Engineering
1827 CARMELITA DRIVE
SAN CARLOS, CALIFORNIA 94070
PHONE/FAX (650) 631-3850
vzelenko@peginc.com

KEINTZ PROPERTY
ADDITION AND ALTERATIONS
209 Beverly Dr
San Carlos, CA

SHEET TITLE C-1 PRELIMINARY DRAINAGE SITE PLAN	DATE	January 5, 2018
	SCALE	1/8" = 1'-0"
OF x SHEETS	DRAWN	VZ
NO. #1803	CHECKED	VZ

APN 049-110-100

BEVERLY DRIVE
(60' WIDE)

$L=83.00$
 $R=180.00$
 $\Delta=26^{\circ}25'11''$
 $\tan=42.25$

APN 049-110-280

APN 049-110-360

APN 049-110-290

APN 049-110-730

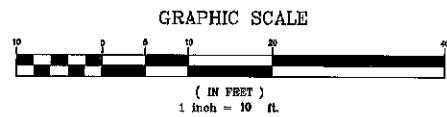
PRELIMINARY
BOUNDARY AND TOPOGRAPHIC SURVEY

209 BEVERLY DRIVE, SAN CARLOS CA 94070
APN 049-110-350

209 BEVERLY DRIVE, SAN CARLOS CA 94070
APN 049-110-350

LOT AREA =
11,193 SF

FF (GAR.) = 254.3
FF = 255.7
FF (LOWER LEVEL) = 246.2



— Tree Protection Fencing

SWIFT ENGINEERING

SWIFT ENGINEERING

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EMAIL: donswift@swiftengineering.net

TR-1