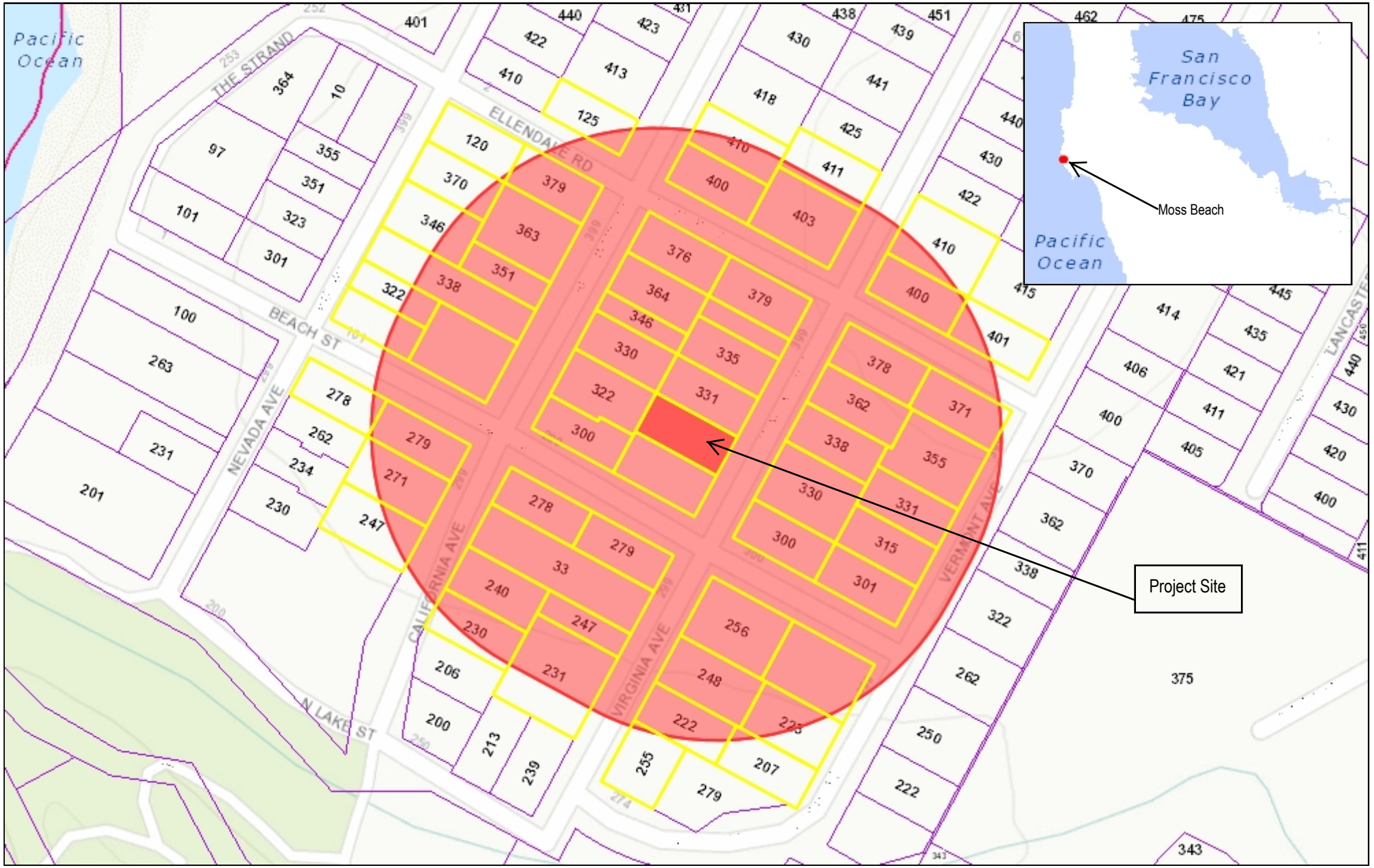
San Mateo County

Property Owners: Bryce and Joyce DeWett
Project Site: Virginia Avenue, Moss Beach

APN: 037-118-100



0.07 0 0.04 0.07 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere

1: 2,256

San Mateo County
Planning and Building Department

Planning Permit Application Form

455 County Center, 2nd Floor ▪ Redwood City CA 94063
Mail Drop: PLN 122 ▪ TEL (650) 363-4161 ▪ FAX (650) 363-4849
www.co.sanmateo.ca.us/planning

PLN:

BLD:

Applicant/Owner Information

Applicant: Bryce & Jovi DeNett
Mailing Address: 2230 Boxwood Dr.
San Jose, CA Zip: 95128
Phone, W: (909) 263-1278 H:
E-mail Address: jovi johnston@hotmail.com FAX:

Name of Owner (1): Same as applicant
Mailing Address:
Zip:
Phone, W:
H:
E-mail Address:

Name of Owner (2):
Mailing Address:
Zip:
Phone, W:
H:
E-mail Address:

Project Information

Project Location (address):
Virginia Ave
Moss Beach, CA 94038

Zoning:

Assessor's Parcel Numbers: 037-118-100

Parcel/lot size: 5200 SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)

New single story residence (1608 sq ft) with attached 2-car garage (390 sq ft.). Front entry stairs with landing. Small backyard composite deck. Completion of side perimeter fencing.

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):

Vacant lot with no significant slope.

Describe Existing Structures and/or Development:

Vacant lot with no structures or trees/vegetation.

Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature:

Owner's signature:

Applicant's signature:

San Mateo County

Planning and Building Department

Application for Design Review by the County Coastside Design Review Committee

County Government Center ▪ 455 County Center ▪ Redwood City CA 94063
Mail Drop PLN 122 ▪ 650 • 363 • 4161 ▪ FAX 650 • 363 • 4849

Permit #: PLN _____

Other Permit #: _____

1. Basic Information

Applicant:

Name: Bryce and Jovi DeWett

Address: 2230 Boxwood Dr.

San Jose, CA Zip: 95128

Phone, W: 9092631278 H:

Email: jovijohnston@hotmail.com

Owner (if different from Applicant):

Name:

Address: [redacted]

Zip: [redacted]

Phone, W: H:

Email:

Architect or Designer (if different from Applicant):

Name: Cutting Edge Homes

Address: 270 Douglas Ave. El Cajon, CA Zip: 92020

Phone, W: 87706808175 H: Email: chris@cuttingedgehomes.net

2. Project Site Information

Project location:

APN: 037118100

Address: Virginia Ave.

Moss Beach, CA Zip:

Zoning:

Parcel/lot size: 5200 sq. ft.

Site Description:

☑ Vacant Parcel

☐ Existing Development (Please describe):

3. Project Description

Project:

☑ New Single Family Residence: _____ sq. ft

☐ Addition to Residence: _____ sq. ft

☐ Other: _____

Describe Project:

Modest single family residence (1608 sq. ft)

with 390 sq ft attached garage.

Additional Permits Required:

☐ Certificate of Compliance Type A or Type B

☐ Coastal Development Permit

☐ Fence Height Exception (not permitted on coast)

☐ Grading Permit or Exemption

☐ Home Improvement Exception

☐ Non-Conforming Use Permit

☐ Off-Street Parking Exception

☐ Variance

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish (If different from existing, attach sample)	Check if matches existing
a. Exterior walls	Hardie CemPlank Siding	Westchester Gray	☐
b. Trim		Nuance	☐
c. Windows	Vinyl	White	☐
d. Doors	Front (wood) Garage (alum.)	Medium wood stain	☐
e. Roof	Corning supreme shingle	Onyx black	☐
f. Chimneys	N/A		☐
g. Decks & railings	Composite	Medium wood look	☐
h. Stairs	Concrete(front)		☐
i. Retaining walls	N/A		☐
j. Fences	Wood	Match existing	☑
k. Accessory buildings	N/A		☐
l. Garage/Carport	Same as residence		☐

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

☐ (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: .....

Applicant: .....

Date: 1/5/2018

Date: 1/5/2018

San Mateo County
Planning and Building Department
455 County Center, 2nd Floor • Redwood City, CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Application for a Coastal Development Permit

Companion Page

Applicant's Name: Bryce & Jovi DeWett

Primary Permit #:

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

2. Basic Information

Does the owner or applicant own any adjacent property not listed?

☐ Yes ☒ No

If yes, list Assessor's Parcel Number(s):

___ – ___

___ – ___

___ – ___

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

☐ Yes ☒ No

If yes, explain (include date and application file numbers).

3. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	FIBER-CEMENT LAP SIDING	WESTCHESTER GRAY	☐
b. Trim	HARDIE TRIM	NUANCE SW7049	☐
c. Roof	ARCHIT. SUPREME SHINGLE	ONYX BLACK	☐
d. Chimneys	N/A	N/A	☐
e. Accessory Buildings	N/A	N/A	☐
f. Decks/Stairs			☐
g. Retaining Walls	N/A	N/A	☐
h. Fences	EXISTING/Comp. Perimeter	EXISTING	☐
i. Storage Tanks	N/A	N/A	☐

4. Project Information

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

	Yes	No
a. Demolition of existing housing units? (If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.)	☐	☑
b. Creeks, streams, lakes or ponds?	☐	☑
c. Wetlands (marshes, swamps, mudflats)?	☐	☑
d. Beaches?	☐	☑
e. Sand Dunes?	☐	☑
f. Sea cliff, coastal bluffs or blufftops?	☐	☑
g. Ridgetops?	☐	☑
h. Pampas Grass, invasive brooms or Weedy Thistle?	☐	☑
i. Removal of trees or vegetation?	☐	☑
j. Grading or alteration of landforms?	☐	☑
k. Landscaping?	☑	☐
l. Signs?	☐	☑
m. Phone or utility line extensions or connections, either above or below ground (explain which)?	☐	☑
n. Areas subject to flooding?	☐	☑
o. Development on slopes 30% or steeper?	☐	☑
p. Between the sea and the nearest public road?	☐	☑
q. Existing or proposed provisions for public access to the shoreline?	☐	☑
r. Public or commercial recreation facilities?	☐	☑
s. Visitor-serving facilities?	☐	☑
t. Existing or proposed public trail easements?	☐	☑

Explain all Yes answers below. Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

MODEST WATER SAFE LANDSCAPING AS PER LANDSCAPE PLAN.

5. Staff Use Only

California Coastal Commission Jurisdiction

A. Does the Proposed Project Involve:

1. A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?

   ☐ Yes ☐ No

2. Construction or grading within 100 feet of a stream or wetland?

   ☐ Yes ☐ No

3. A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?

   ☐ Yes ☐ No

Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal Commission; a public hearing is always required.

B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).

☐ Yes ☐ No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: _____

County of San Mateo
Planning and Building Department

Environmental Information Disclosure Form

PLN_____

BLD_____

Project Address: Virginia Ave.
Moss Beach, CA 94038

Assessor's Parcel No.: 037 _ 118 _ 100
_ _

Zoning District: R1-S17

Name of Owner: Bryce and Jovi DeWett
Address: 2230 Boxwood Dr
San Jose, CA 95128 Phone: 9092631278

Name of Applicant: Bryce and Jovi DeWett
Address: 2230 Boxwood Dr San Jose, CA 95128 Phone: 9092631278

Existing Site Conditions

Parcel size: 5200 SF

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).

We would like to build a single story single family residence with attached garage. There are no easements & no vegetation.

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
■	☐	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
☐	■	b. Construction of a new multi-family residential structure having 5 or more units?
☐	■	c. Construction of a commercial structure > 2,500 sq.ft?
☐	■	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
☒	☐	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : 160 c.y. Fill: _____ c.y.
☐	■	f. Subdivision of land into 5 or more parcels?
☐	■	g. Construction within a State or County scenic corridor?
☐	■	h. Construction within a sensitive habitat?
☐	■	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
☐	■	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:
New single family residence on vacant land.

Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review

Yes	No	*Will the project involve:*
☐	■	a. Construction outside of the footprint of an existing, legal structure?
☐	■	b. Exterior construction within 100-feet of a stream?
☐	■	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
☐	■	d. Land-use within a riparian area?
☐	■	e. Timber harvesting, mining, grazing or grading?
☐	■	f. Any work inside of a stream, riparian corridor, or shoreline?
☐	■	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	*Will the project involve:*
☐	■	a. A subdivision or Commercial / Industrial Development that will result in the addition or replacement of **10,000 sq. ft.** or more of impervious surface? If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
☐	■	b. Land disturbance of **1 acre** or more of area? If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: _____ Date: 1/4/2018

(Applicant may sign)

Dark sky compliant lighting fixture to be used:

Hampton Bay
1-Light Zinc Outdoor Wall Lantern

The Hampton Bay 1-Light Outdoor Zinc Wall Lantern is designed with an aged look that will enrich your home. Hand-painted in zinc and lightly stained, the lantern offers illuminating ambiance to a given outdoor area. Uses 1-60-Watt medium base bulb or CFL equivalent (not included).

- Durable steel construction with hand-painted zinc finish for charming look
- Uses 1-light 60-Watt medium based bulb or CFL equivalent
- Compatible with a standard wall dimmer
- UL certified
- Hardware included for ease of installation
- Design adds a modern touch to your living space
- Extra safe since no glass involved

BODY MATERIAL – LEVEL 1

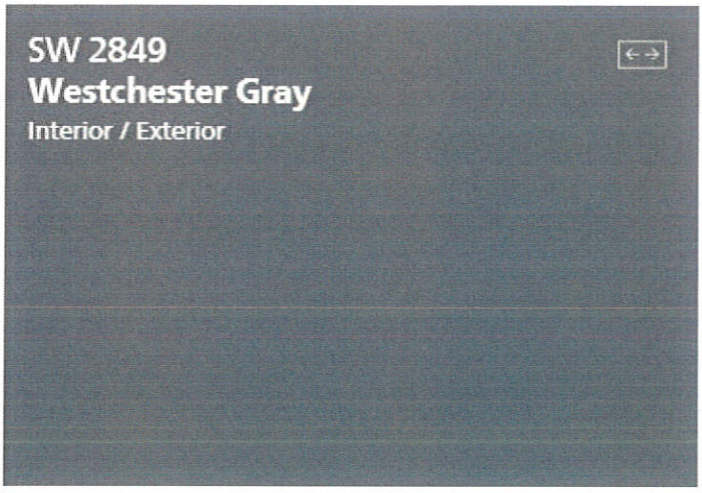
NON-COMBUSTIBLE FIBER-CEMENT LAP SIDING

WOOD GRAINED TEXTURE

COLOR: WESTCHESTER GRAY (SEE PAGE 2)

SHERWIN WILLIAMS PAINT

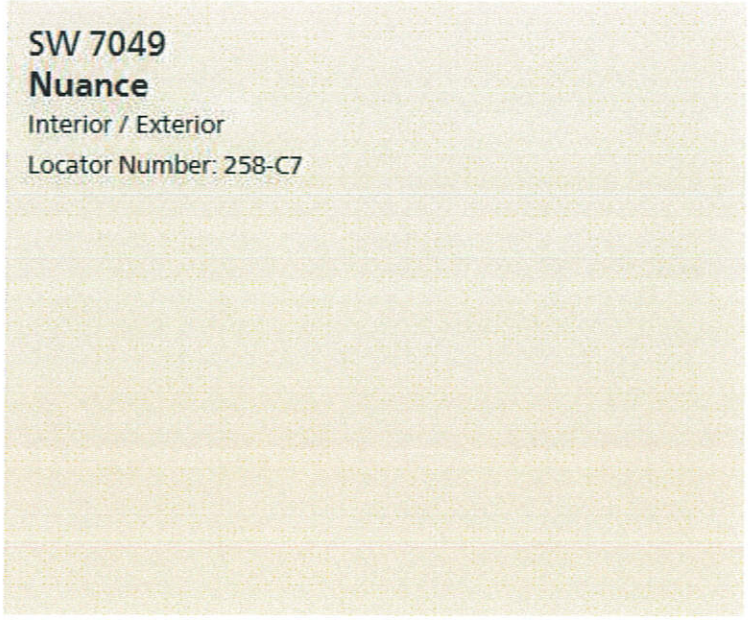
COLOR: WESTCHESTER GRAY SW2849



SHERWIN WILLIAMS PAINT

EXTERIOR TRIM

COLOR: NUANCE SW7049



25 YEAR MINIMUM SHINGLES

ARCHITECTURAL / DIMENSIONAL STYLE

OWENS CORNING SUPREME SHINGLE

ONYX BLACK

NPDES NOTES

NOTES MUST BE SHOWN AS WORDED, ON THE TITLE SHEET OF THE PLAN.
1. IN THE CASE OF EMERGENCY, CALL:
AT WORK PHONE #
OR CELL PHONE #

2. SEDIMENT FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING STRUCTURAL CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE.
3. STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TACKING, OR WIND.
4. APPROPRIATE BMPS FOR CONSTRUCTION – RELATED MATERIALS, WASTES, SPILLS SHALL BE IMPLEMENTED TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTIES BY WIND OR RUNOFF.
5. RUNOFF FROM EQUIPMENT AND VEHICLE WASHING SHALL BE CONTAINED AT CONSTRUCTION SITESUNLESS TREATED TO REDUCE OR REMOVE SEDIMENT AND OTHER POLLUTANTS.
6. ALL CONSTRUCTION CONTRACTOR AND SUBCONTRACTOR PERSONNEL ARE TO BE MADE AWARE OR THE REQUIRED BEST MANAGEMENT PRACTICES AND GOOD HOUSEKEEPING MEASURES FOR THE PROJECT SITE AND ANY ASSOCIATED CONSTRUCTION STAGING AREAS.
7. AT THE END OF EACH DAY OF CONSTRUCTION ACTIVITY ALL CONSTRUCTION DEBRIS AND WASTE MATERIALS SHALL BE COLLECTED AND PROPERLY DISPOSED IN TRASH OR RECYCLE BINS.
8. CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. DISCHARGES OF MATERIAL OTHER THAN STORM WATER ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE; OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302.
9. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS; WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES, HERBICIDES, WOOD PRESERVATIVES AND SOLVENTS; ASBESTOS FIBERS, PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER; CONCRETE, DETERGENT OR FLOATABLE WASTES; WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING AND SUPER – CHLORINATED POTABLE WATER LINE FLUSHING.
DURING CONSTRUCTION, PERMITTEE SHALL DISPOSE OF SUCH MATERIALS IN A SPECIFIED AND CONTROLLED TEMPORARY AREA ON – SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORM WATER RUNOFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS.
10. DE – WATERING OF CONTAMINATED GROUNDWATER, OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DE – WATERING OF NON – CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD.
11. GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE IS TO BE DIRECTED TOWARD DE– SILTING FACILITIES.
12. THE PERMITTEE AND CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
13. THE PERMITTEE AND CONTRACTOR SHALL INSPECT THE EROSION CONTROL WORK AND INSURE THAT THE WORK IS IN ACCORDANCE WITH THE APPROVED PLANS.
14. THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS,LESSEES, AND PROPERTY OWNERS: THAT DUMPING OF CHEMICALS INTO THE STORM DRAIN SYSTEM OR THE WATERSHED IS PROHIBITED.
15. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
16. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5 – DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
17. SEDIMENTS FROM AREAS DISTURBED BY CONSTRUCTION SHALL BE RETAINED ON SITE USING AN EFFECTIVE COMBINATION OF EROSION AND SEDIMENT CONTROLS TO THE MAXIMUM EXTENT PRACTICABLE, AND STOCKPILES OF SOIL SHALL BE PROPERLY CONTAINED TO MINIMIZE SEDIMENT TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES OR ADJACENT PROPERTIES VIA RUNOFF, VEHICLE TRACKING, OR WIND.
18. APPROPRIATE BMPS FOR CONSTRUCTION – RELATED MATERIALS, WASTES, SPILLS OR RESIDUES SHALL BE IMPLEMENTED AND RETAINED ON SITE TO MINIMIZE TRANSPORT FROM THE SITE TO STREETS, DRAINAGE FACILITIES, OR ADJOINING PROPERTY BY WIND OR RUNOFF.

APPLICABLE CODE:

2016 CALIFORNIA BUILDING CODE

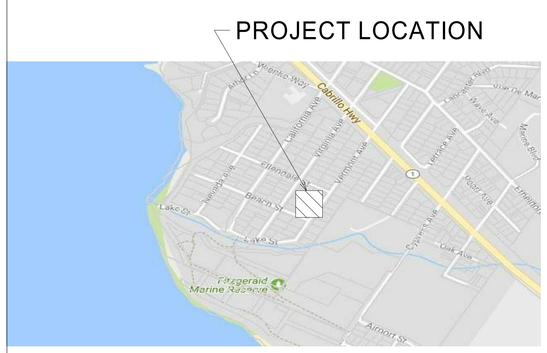
2016 CALIFORNIA ELECTRICAL CODE

2016 CALIFORNIA MECHANICAL CODE

2016 CALIFORNIA PLUMBING CODE

2016 CALIFORNIA GREEN BUILDING CODE 2013 T-24 ENERGY CODE

VICINITY MAP



NEW CONSTRUCTION
DEWETT RESIDENCE

VIRGINIA AVENUE
MOSS BEACH, CA 94038

ABBREVIATIONS

A/C	Air Conditioning	JAN.	Janitor
ABV.	Above	JT.	Joint
A.C.P	Asphaltic Concrete Paving		
A.F.F.	Above Finish Floor	LAV.	Lavatory
A.F.S	Above Finish Slab	LAM.	Laminate
ALT.	Alternate		
ALU	Aluminum	MAX.	Maximum
ARCH	Architect(ural)	MECH.	Mechanical
		MEMB.	Membrane
BD.	Board	M.F.	Manufacturer Finish
BLW.	Below	MFR.	Manufacturer
BLDG.	Building	MIN.	Minimum
BLCK.	Blocking	M.O.	Masonry Opening
BM.	Beam	MTL.	Metal
CAB	Cabinet	(N)	New
C.J.	Ceiling Joist	NIC.	Not in Contract
C/J	Control Joint	NOM	Nominal
CL.	Center Line	NTS	Not To Scale
CLG.	Ceiling		
CLR.	Clear	O/	Over
COL.	Column	O.C.	On Center
CONC.	Concrete	OCC.	Occupancy
CONT.	Continuous	O.D.	Outside Diameter
CPT.	Carpet	O.H.	Overhang
C.T.	Ceramic Tile	OPNG.	Opening
CTR.	Center	OPP.	Opposite
		O.F.C.I	Owner Furnished Contractor Installed
D	Dryer		
D.A.	Disabled Access	(P)	Paint
D.F.	Drinking Fountain	PR.	Pair
DIA.	Diameter	PLYWD.	Plywood
D.S.	Downspout	PL.	Property Line
DN.	Down	PLAST	Plaster
DIM	Dimension	P.T.	Pressure Treated
DTL(S).	Detail		
DWG(S).	Drawing	Q.T.	Quarry Tile
(EX)	Existing	R	Riser
EA.	Each	REF.	Refer (to)
E/J	Expansion Joint	REQD.	Required
ELEC.	Electrical	REINF.	Reinforced
EL.	Elevation	RD.	Roof Drain
ELEV.	Elevator	R.O.	Rough Opening
EQ.	Equal	Rm.	Room
EQUIP.	Equipment	S.A.C.	Suspended Acoustical Ceiling
E.W.C.	Electric Water Cooler	S.C.	Solid Core
EXT.	Exterior	SQ. FT./SF.	Square Foot
		SIM.	Similar
FAU.	Forced Air Unit	SPEC.	Specifications
FIN.	Finish	STL.	Steel
F.D.	Floor Drain	S.STL.	Stainless Steel
FT.	Feet	STD.	Standard
FDN.	Foundation	STRUCT.	Structural (Engineer)
F.E.	Fire Extinguisher	SUSP.	Suspended
F.E.C.	Fire Extinguisher Cabinet	SHT.	Sheet
F.F.	Finish Floor	T	Tread
F.S.	Finish Slab	T.O.B.	Top of Beam - Steel
F.O.C.	Face of Concrete	T.O.C.	Top of Concrete
F.O.F.	Face of Finish	T.O.S.	Top of Sheathing
F.O.M.	Face of Masonry	T.O.SL.	Top of Slab
F.O.S.	Face of Stud	T.O.W.	Top of Wall
F.R.	Fire-Retardant	T.P.	Top Plate
FUR.	Furring	TYP.	Typical
		TEMP	Tempered
GA.	Gauge or Gage	THK.	Thick
GI.	Galvanized Iron		
GALV.	Galvanized	UL	Underwriters Laboratory
GL.	Glass	U.N.O.	Unless Noted Otherwise
G.C.	General Contractor		
G.W.B.	Gypsum Wall Board	V.C.T.	Vinyl Composition Tile
G.W.B.-M.R.	GWB Moisture Resistant	VERT.	Vertical
G.W.B.-X	GWB Fire Rated "X"	V.W.C.	Vinyl Wall Covering
		VIF	Verify in Field
H.B.	Hose Bib		
H.C.	Hollow Core	W	Washer
HDR.	Header	W/	With
HDWR.	Hardware	WI	Wrought Iron
H.M.	Hollow Metal	W.I.C.	Walk in Closet
HORZ.	Horizontal	WC	Water Closet
HT.	Height	WD	Wood
HVAC.	Heating, Ventillation, and Air-conditioning	WIN	Window
		W.H.	Water Heater
I.D.	Inside Diameter	W.R.	Water Resistant
INSUL	Insulation	W.W.F.	Welded Wire Fabric
INT	Interior		

GREEN BUILDING CODE NOTES

1. THE CONSTRUCTION DOCUMENTS SHALL PROVIDE SUFFICIENT CLARIFY TO INDICATE THE LOCATION, NATURE, AND SCOPE OF THE PROPOSED GREEN BUILDING FEATURES. CGBC 102.2

2. PLUMBING FIXTURES AND FITTINGS SHALL MEET THE STANDARDS REFERENCED IN CGBC TABLE 4.303.3. CGBC 4303.3

3. SEAL OPENINGS IN THE BUILDING ENVELOPE IN COMPLIANCE WITH THE CALIFORNIA ENERGY CODE (CEC). AMMLAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN PLATES AT EXTERIOR WALLS SHALL BE PROTECTED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY. CGBC 4.406.1

4. REDUCE CONSTRUCTION WASTE BY RECYCLING OR SALVAGING FOR RE-USE A MMLMUM OF 50 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION DEBRIS, OR MEET THE LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE, WHICHEVER IS MORE STRINGENT. CGBC 4.408.1

5. CONSTRUCTION WASTE MANAGEMENT PLAN AND DOCUMENTATION DEMONSTRATING COMPLIANCE WITH THE PLAN SHALL BE SUBMITTED THAT:

A. IDENTIFIES THE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.

B. SPECIFIES IF MATERIALS WILL BE SORTED ON-SITE OR MIXED FOR TRANSPORTATION TO A DIVERSION FACILITY.

C. IDENTIFIES THE DIVERSION FACILITY WHERE THE MATERIAL COLLECTION WILL BE TAKEN.
D. IDENTIFIES CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF WASTE GENERATED.
E. SPECIFIES THAT THE AMOUNT OF MATERIALS

6. AN OPERATION AND MAINTENANCE MANUAL WITH CONTENT PER CGBC 4.410.1 AND IN A FORMAT ACCEPTABLE TO THE ENFORCING AGENCY SHALL BE PLACED IN THE BUILDING AT THE TIME OF FINAL INSPECTION. CGBC 4.410.1. REFER TO HCD RESIDENTIAL GUIDE FOR MANUAL FORMAT AND SUGGESTED CONTENT.

7.GAS FIREPLACES TO BE DIRECT-VENT SEALED-COMBUSTION TYPE. WOODSTOVES OR PELLET STOVES SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS. CGBC 4.503.1 NOTE: REFERENCE SCAQMD RULE 445.

8. ALL DUCT OPENINGS AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE PROTECTED DURING STORAGE ON THE CONSTRUCTION SITE UNTIL FINAL START-UP WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF DUST AND DEBRIS WHICH MAY COLLECT IN THE SYSTEM. CGBC 4.504.1
9. FINISH MATERIALS SHALL COMPLY WITH CGBC 4.504.2.

10. ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS, AND CAULKS SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE, OR MEET THE REQUIREMENT OF SCAQMD RULE 1168 VOC LIMITS AND PROHIBITION ON THE USE OF CERTAIN TOXIC CHEMICALS, EXCEPT PER SUBSECTION 2. CGBC 4.504.2.1, SUBSECTION 1

11. AEROSOL ADHESIVES, SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OLMCES SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON THE USE OF CERTAIN TOXIC COMPOUNDS, OF CCR, TITLE 17, COMMENCING WITH SECTION 94507. 4 CGBC.504.2.1, SUBSECTION 2

12. VOC CONTENT LIMITS FOR ARCHITECTURAL COATINGS (ARCHITECTURAL PAINTS) SHALL COMPLY WITH CGBC TABLE 4.504.3.

13. AEROSOL PAINTS AND COATINGS SHALL MEET THE REQUIREMENTS OF SECTIONS 94522(A)(3), 94522(C)(2), AND (D)(2) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17 COMMENCING WITH SECTION 94520. CGBC 4.504.2.3

14.VERIFICATION OF COMPLIANCE WITH FINISH MATERIALS SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTS MAY INCLUDE, BUT NOT LIMITED TO THE FOLLOWING:

A. MANUFACTURER'S PRODUCT SPECIFICATION.
B. FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS.
C. OTHER METHODS APPROVED BY THE LOCAL JURISDICTION.

15. CARPETS SHALL MEET ONE OF THE FOLLOWING: 1. CARPET AND RUG INSTITUTE'S GREEN LABEL PLUS PROGRAM, 2. CALIFORNIA DEPARTMENT OF PUBLIC HEALTH STANDARD PRACTICE FOR THE TESTING OFVOCS (SPECIFICATION 01350), 3. NSF/ANSI 140 AT THE GOLD LEVEL. 4. SCIENTIFIC CERTIFICATIONS SYSTEMS INDOOR ADVANTAGETM GOLD. CGBC 4.504.3

16. CARPET CUSHION SHALL MEET THE REQUIREMENTS OF THE CARPET AND RUG INSTITUTE GREEN LABEL PROGRAM, CARPET ADHESIVE SHALL MEET THE REQUIREMENTS OF CGBC TABLE 4.504.1. CGBC 4.504.3.1, 4.504.3.2

17. FOR RESILIENT FLOORING, AT LEAST 50 PERCENT OF THE FLOOR AREA SHALL COMPLY WITH VOC EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CI-HPS) LOW-EMITTING MATERIALS LIST OR CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM. CGBC 4.504.4

18. HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS SHALL MEET THE REQUIREMENTS FOR FORMALDEHYDE LIMITS IN CGBC TABLE 4.504.5. CGBC 4.504.5

19. DOCUMENTATION SHALL BE PROVIDED TO INDICATE COMPLIANCE WITH CGBC 4.504 AND SHALL INCLUDE AT LEAST ONE OF THE FOLLOWING: PRODUCT CERTIFICATIONS AND SPECIFICATIONS, CHAIN OF CUSTODY CERTIFICATIONS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY. CGBC 4.504.5.1

20. CONCRETE SLAB FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER BY CBC, CCR TITLE 24, PART 2, CHAPTER 19 SHALL ALSO COMPLY WITH THIS SECTION. PROVIDE A CAPILLARY BREAK INSTALLED IN. COMPLIANCE WITH ONE OF THE FOLLOWING:

A. A 4-INCH THICK BASE OF 1/2-INCH OR LARGER CLEAN AGGREGATE, WITH A VAPOR BARRIER IN DIRECT CONTACT WITH CONCRETE, AND A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE, AND CURLING.
B. OTHER EQUIVALENT METHODS APPROVED BY THE ENFORCING AGENCY.
C. A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL. CGBC 4.505.2.1
D. REFERENCE ACI 302.

21. ADD A NOTE TO PLANS THE BUILDING MATERIALS WITB VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. CGBC 4.505.3

22. MOISTURE CONTENT OF BUILDING MATERIALS, AND VERIFICATION, SHALL MEET THE REQUIREMENTS OF CGBC 4.505.3.

23. BATHROOM EXHAUST FANS SHALL BE ENERGY STAR COMPLIANT, DUCTED TO TERMINATE OUTSIDE THE BUILDING, AND CONTROLLED BY A HUMIDSTAT CAPABLE OF BEING ADJUSTED BETWEEN THE RELATIVE HUMIDITY RANGE OF 50 TO 80 PERCENT. CGBC 4.506

24. COVERS FOR WHOLE HOUSE EXHAUST FANS SHALL HAVE A MINIMUM INSULATION VALUE OFR-4.2 AND CLOSE WHEN THE FAN IS OFF. CGBC 4.507.

OWNER:
Bryce Alexander DeWett and
Jovi DeWett
2230 Boxwood Drive,
San Jose, CA 95128
909-263-1278

HOME PROVIDER
CUTTING EDGE HOMES
270 E DOUGLAS AVE.
EL CAJON, CA 92020
877-680-8175

Sheet List	
Sheet Name	Sheet Number
Title Sheet	A0
Site Plan	A1
Floor Plans	A2
Roof Plan	A3
Front & Right side Elevations	A4
Rear & Left Side Elevations	A4.1
Building Section	A5
Renderings	A6
Schedules	A7

SCOPE:

1. NEW SINGLE FAMILY RESIDENCE

PROJECT DATA:

BUILDING(S) OCCUPANCY:	R-1
ZONING:	R1/S17/DR/CD
CONSTRUCTION TYPE:	V-B
STORIES:	1

LOT COVERAGE	
Name	Area
Structure - SFR House Footprint	1608 SF
Site Built Landing and Stair	102 SF
Site Built Landing and Stair	40 SF
Site Built Garage	390 SF
Open Area	3060 SF
Open Area	Redundant Area
PARCEL COVERAGE	5201 SF

2141 (HOUSE+GARAGE+LANDINGS) / 5200 (LOT SIZE) X 100 = 41%

PARCEL COVERAGE = BUILDINGS, ACCESSORY BUILDINGS, OR STRUCTURES SUCH AS PATIOS, DECKS, BALCONIES, AND SIMILAR OVER 18" ABOIVE GROUND.

BUILDING FLOOR AREA

HOUSE (1608 SF) + SITE BUILT GARAGE (390 SF) =

1998 SF / 5200 = 0.38 (MAX. 50)

APN: 037-118-100

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877 680 8175

DEWETT RESIDENCE
MOSS BEACH, CA 94038
037-118-100

No.	Description	Date
A	PRELIMINARY DESIGN	2017.04.12
B	REVISED PLAN	

DEWETT RESIDENCE

1 STORY HOME

Title Sheet

Project number	
Date	2017.04.12
Drawn by	ECS
Checked by	CF

A0

Scale	As indicated

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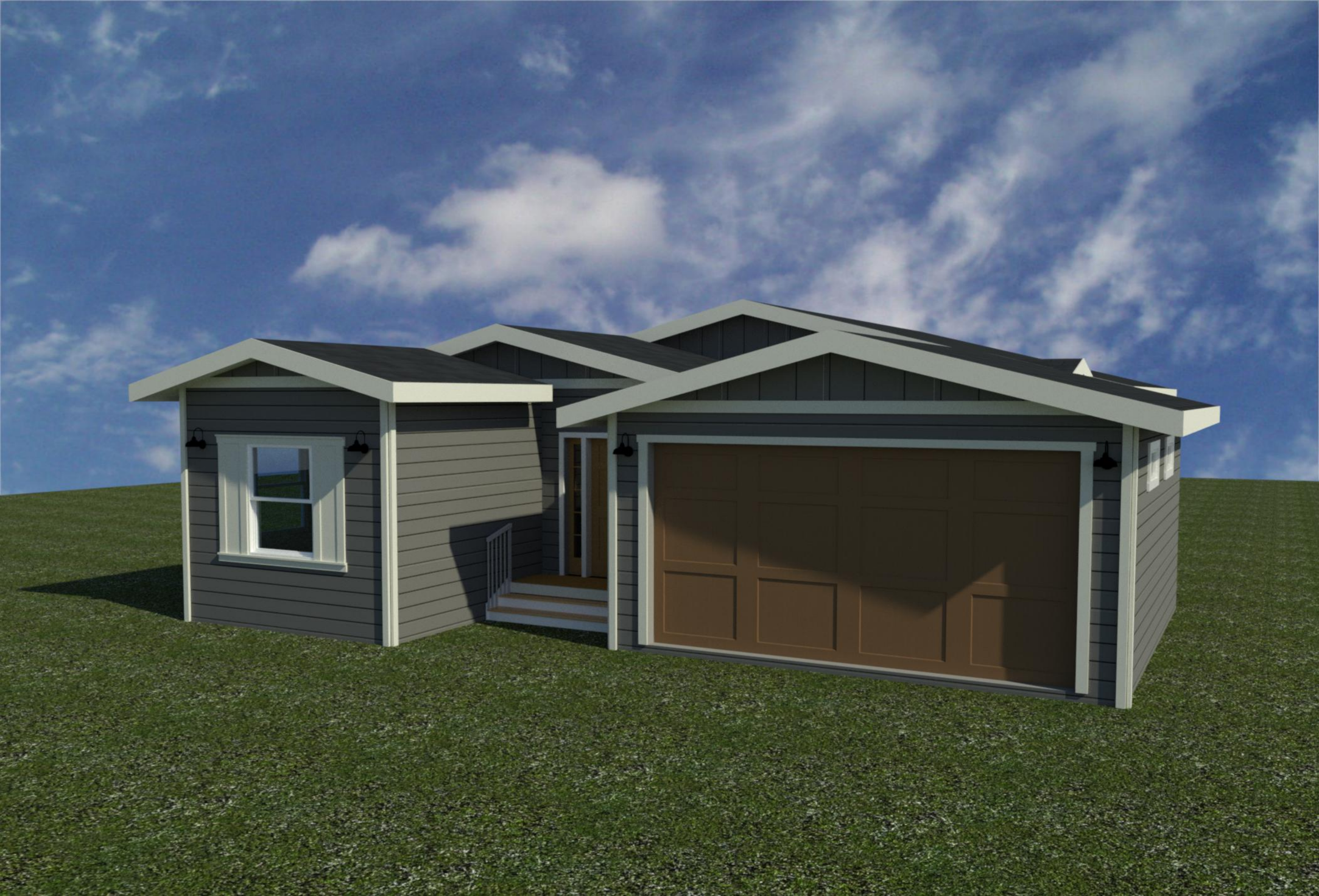

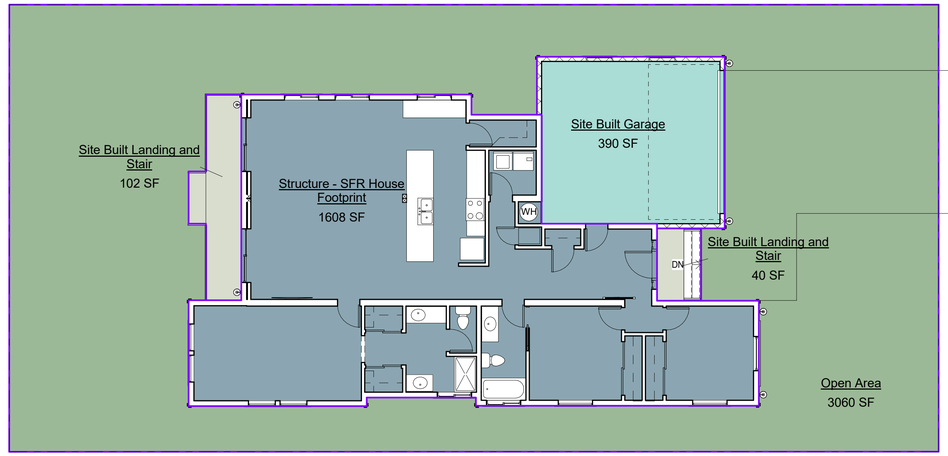

1 Areas
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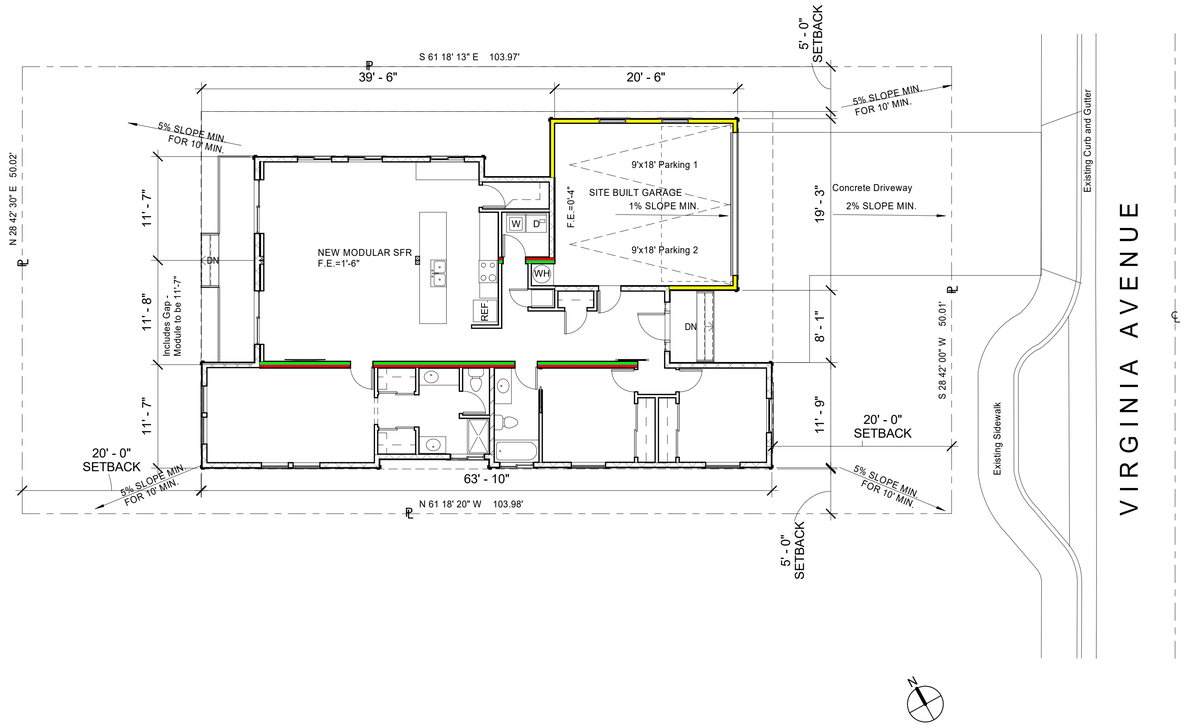

2 Site Plan Copy 1
1/8" = 1'-0"

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037-118-100

No.	Description	Date
A	PRELIMINARY DESIGN	2017.04.12
B	REVISED PLAN	

DEWETT RESIDENCE
1 STORY HOME
Site Plan

Project number	
Date	2017.04.12
Drawn by	ECS
Checked by	Checker

A1

Scale 1/8" = 1'-0"

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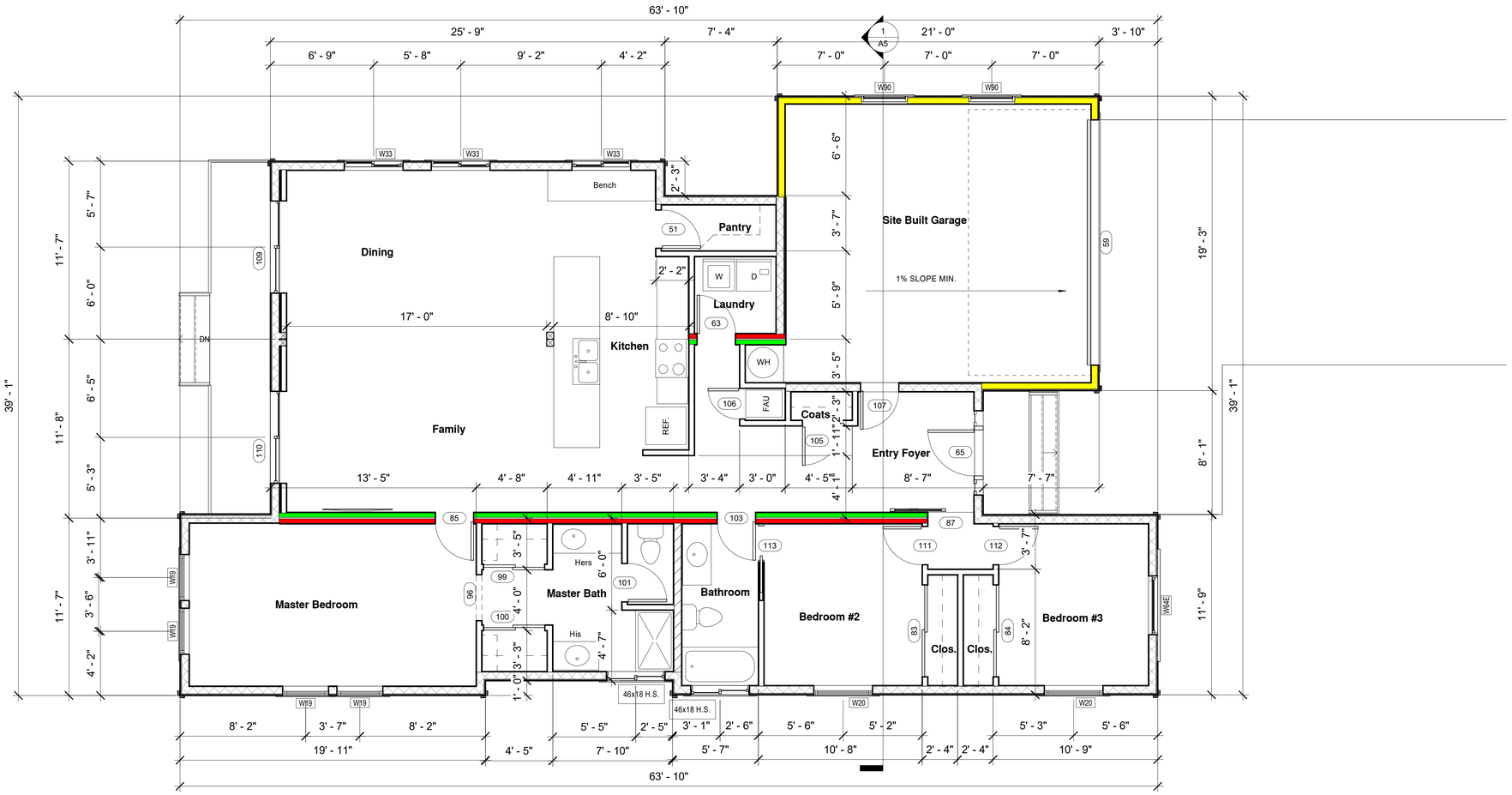

1 First Floor
1/4" = 1'-0"

WALL LEGEND

- MODULAR 2 X 6 EXTERIOR WALL
- SITE BUILT 2 X 6 WALL
- MODULAR 2 X 6 PLUMBING WALL
- STRUCTURAL INTERIOR WALL
- MODULAR NON STRUCTURAL INTERIOR WALL
- HALF WALL INTERIOR
- RAILING

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No.	Description	Date
A	PRELIMINARY DESIGN	2017.04.12
B	REVISED PLAN	

DEWETT RESIDENCE
1 STORY HOME
Floor Plans

Project number	
Date	2017.04.12
Drawn by	ECS
Checked by	CFW

A2

Scale 1/4" = 1'-0"

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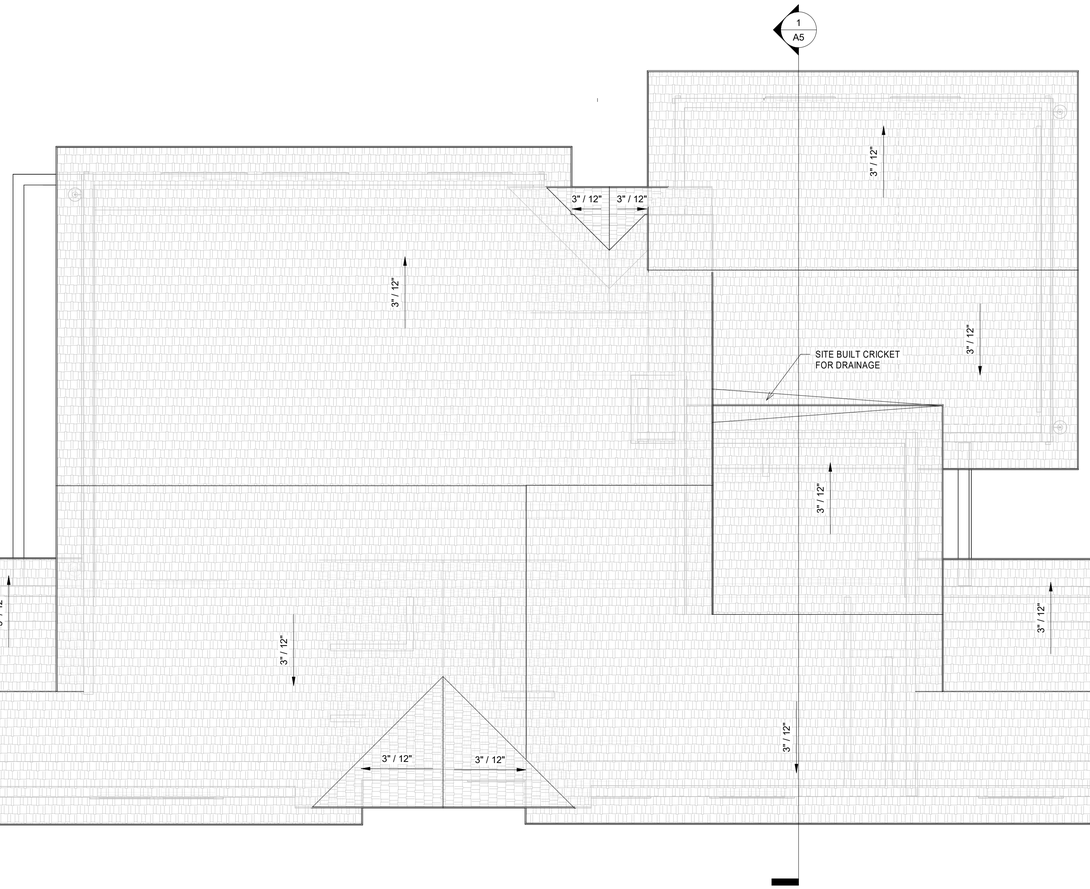

1 Roof Plan
1/4" = 1'-0"

- **OVERHANG FOR ROOF IS 1'-6"**
- **ROOF PITCH IS 3/12**
- **18" SIDEWALL EAVES SHIPPED LOOSE AND INSTALLED ON-SITE BY OTHERS**

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DEWETT RESIDENCE
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No.	Description	Date
A	PRELIMINARY DESIGN	2017.04.12
B	REVISED PLAN	

DEWETT
RESIDENCE
1 STORY HOME
Roof Plan

Project number	
Date	2017.04.12
Drawn by	ECS
Checked by	Checker
A3	
Scale	1/4" = 1'-0"

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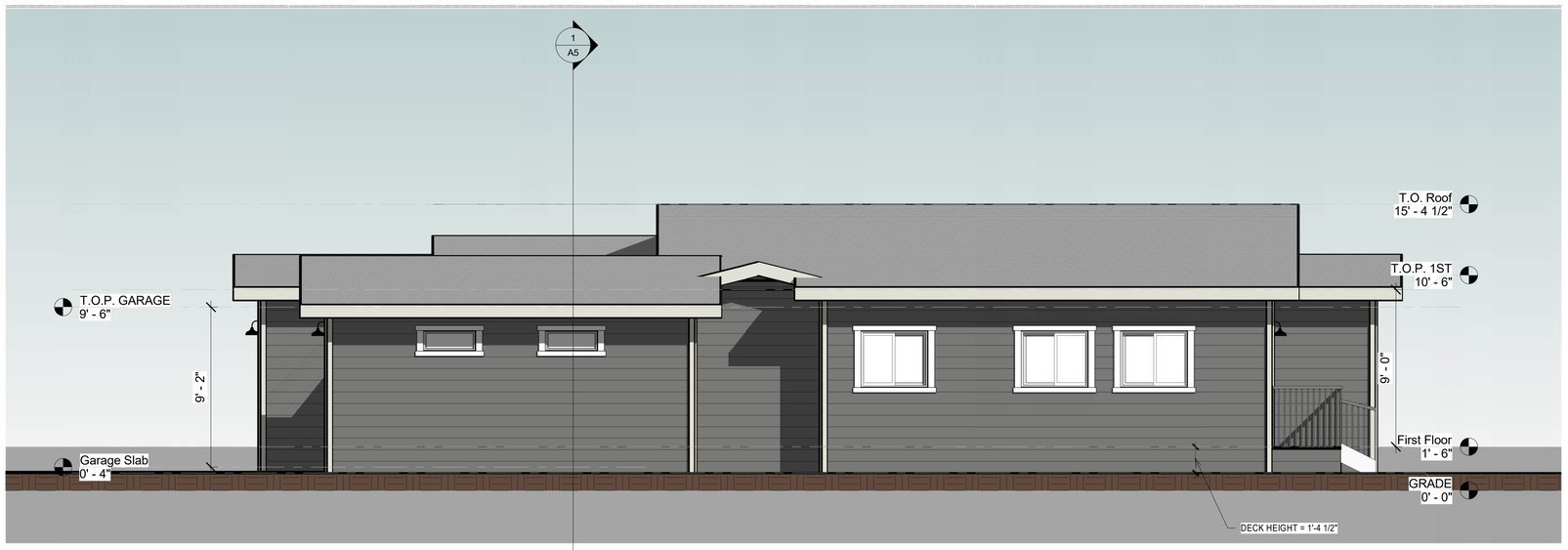
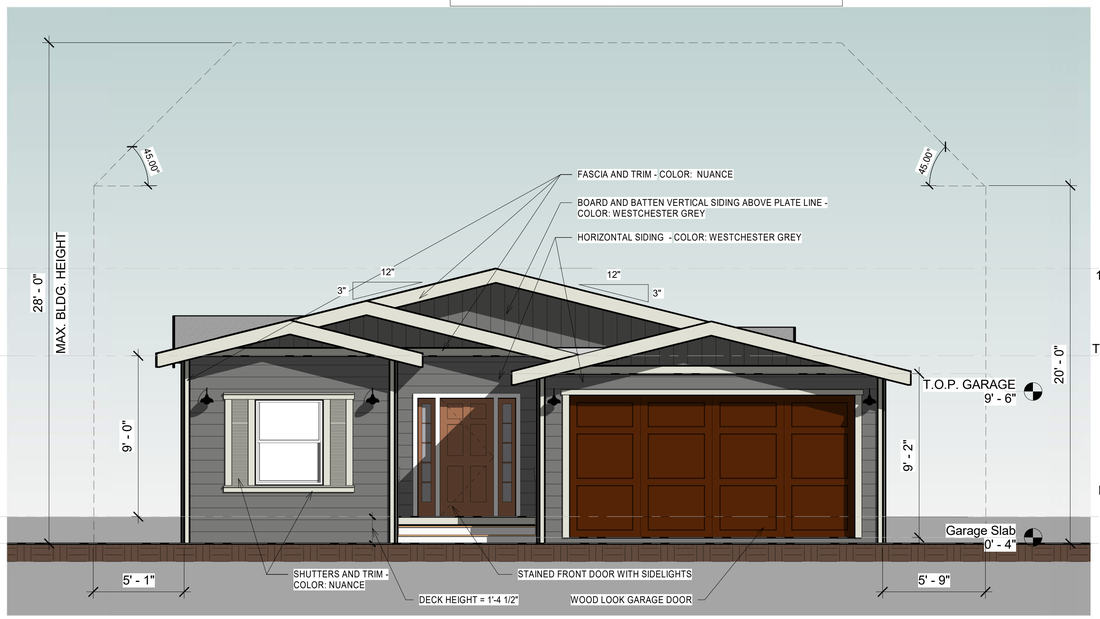


2 Right Side Elevation
1/4" = 1'-0"

NOTE:
AS PER CODE, 18" CRAWL SPACE IS REQUIRED. FOUNDATION AND DRAINAGE BY OTHERS.

PLANNING REQUIREMENTS:
MAX. HEIGHT: 28'-0"
MAX PARCEL COVERAGE: <16'-0" = 50%

- **18" SIDEWALL EAVES SHIPPED LOOSE AND INSTALLED ON-SITE (BY OTHERS)**
- **18" ENDWALL EAVES FACTORY INSTALLED**



1 Front Elevation
1/4" = 1'-0"

Materials Legend

Roofing: Owens Corning Supreme Shingle
25-Year Class 'A'
Color: Onyx Black

T.O. Roof
15' - 4 1/2"

Exterior Siding: James Hardie CemPlank
Fiber Cement Siding - Painted Sherwin
Williams Exterior Paint.
Color "Westchester Gray" SW2849

T.O.P. 1ST
10' - 6"

Window Trim and Fascia: Painted Sherwin
Williams Exterior Paint.
Color "Nuance" SW 7049

First Floor
1' - 6"

GRADE
0' - 0"

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No.	Description	Date
A	PRELIMINARY DESIGN	2017.04.12
B	REVISED PLAN	

DEWETT RESIDENCE
1 STORY HOME
Front & Right side Elevations

Project number	
Date	2017.04.12
Drawn by	ECS
Checked by	CFW

A4

Scale 1/4" = 1'-0"

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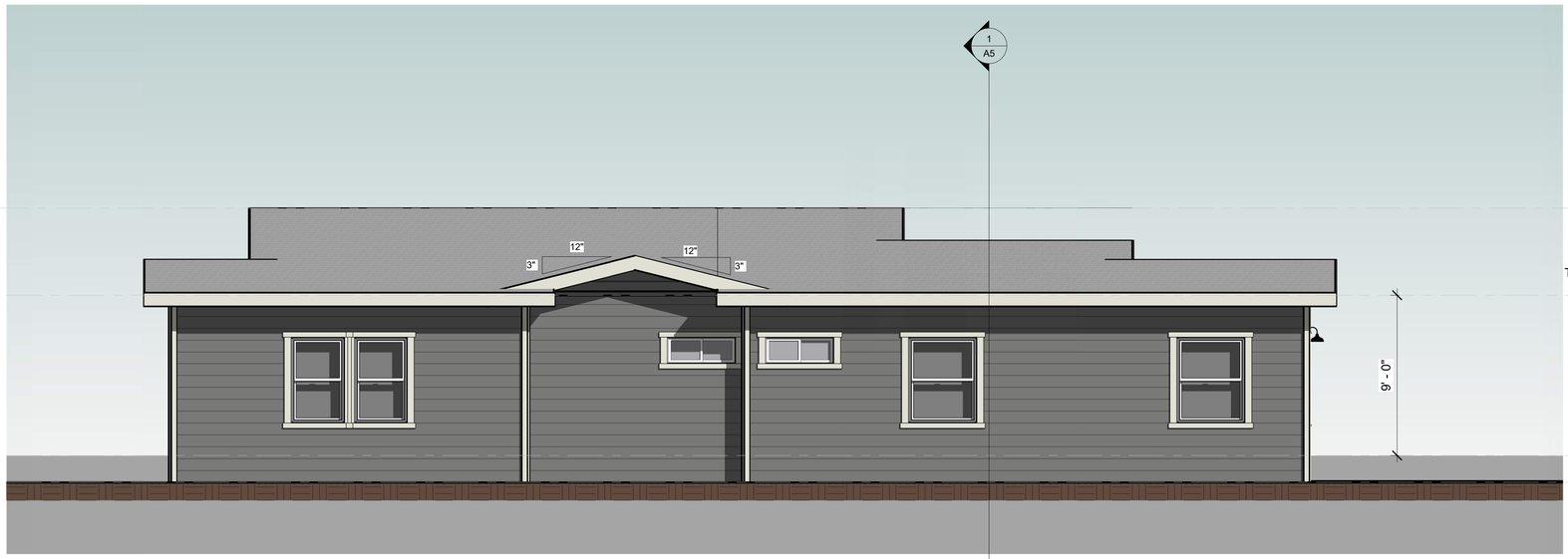


2 Left Side Elevation
1/4" = 1'-0"

NOTE:

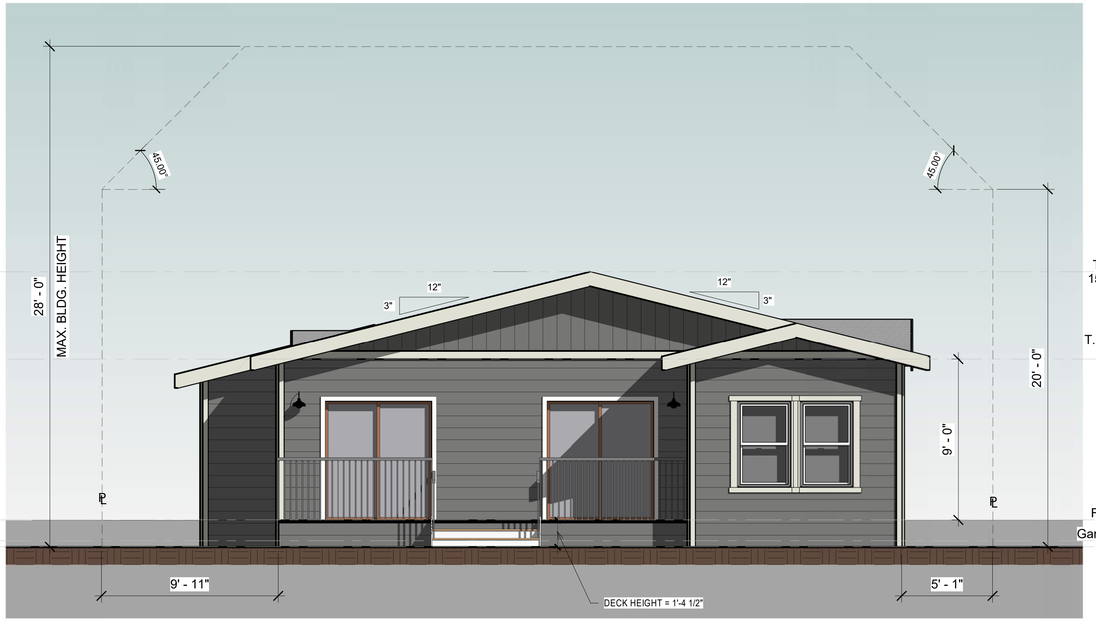
AS PER CODE, 18" CRAWL SPACE IS REQUIRED. FOUNDATION AND DRAINAGE BY OTHERS.

PLANNING REQUIREMENTS:

MAX. HEIGHT: 28'-0"

MAX PARCEL COVERAGE: <16'-0" = 50%

- **18" SIDEWALL EAVES SHIPPED LOOSE AND INSTALLED ON-SITE (BY OTHERS)**
- **18" ENDWALL EAVES FACTORY INSTALLED**



1 Rear Elevation
1/4" = 1'-0"

Materials Legend

Roofing: Owens Corning Supreme Shingle
25-Year Class 'A'
Color: Onyx Black

Exterior Siding: James Hardie CemPlank
Fiber Cement Siding - Painted Sherwin
Williams Exterior Paint.
Color "Westchester Gray" SW2849

Window Trim and Fascia: Painted Sherwin
Williams Exterior Paint.
Color "Nuance" SW 7049

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No.	Description	Date
A	PRELIMINARY DESIGN	2017.04.12
B	REVISED PLAN	

DEWETT RESIDENCE

1 STORY HOME

Rear & Left Side Elevations

Project number	
Date	2017.04.12
Drawn by	ECS
Checked by	CFW

A4.1

Scale	1/4" = 1'-0"

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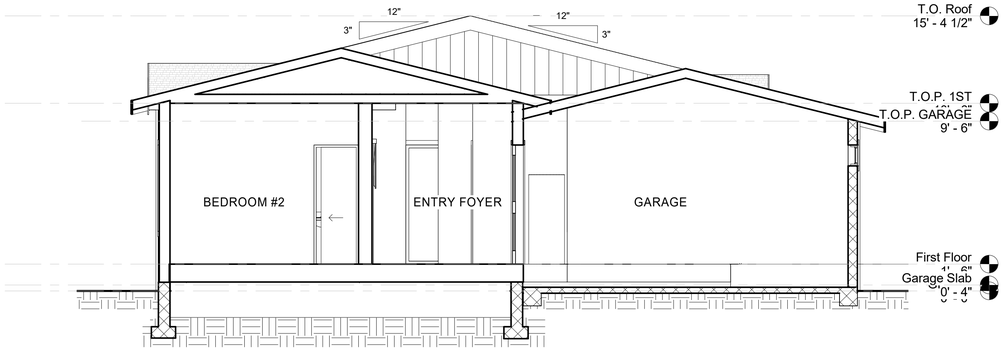

1 Section 1
1/4" = 1'-0"

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DEWETT RESIDENCE
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037-118-100

No.	Description	Date
A	PRELIMINARY DESIGN	2017.04.12
B	REVISED PLAN	

DEWETT
RESIDENCE
1 STORY HOME
Building Section

Project number	
Date	2017.04.12
Drawn by	ECS
Checked by	Checker

A5

Scale 1/4" = 1'-0"

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4 3D View 18_1
12" = 1'-0"

3 3D View 17_1
12" = 1'-0"

2 3D View 16_1
12" = 1'-0"

1 3D View 15_1
12" = 1'-0"

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037-118-100

No.	Description	Date
A	PRELIMINARY DESIGN	2017.04.12
B	REVISED PLAN	

DEWETT
RESIDENCE
1 STORY HOME
Renderings

Project number	
Date	2017.04.12
Drawn by	ECS
Checked by	CFW

A6

Scale	12" = 1'-0"

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Cutting Edge Homes Window Schedule
Gold & Sterling Series
Vinyl Windows - Dual Paned - Low-E

STANDARD OPENING WINDOWS									
Revised:			7/12/2015						
WINDOW NUMBER	CALL OUT	EGRESS	ROUGH OPENING	DESCRIPTION	SQ. FT. LIGHT	SQ. FT. VENT	SQ. FT. R.O.	SQ. FT. LT. AREA 8%	SQ. FT. VT. AREA 4%
W- 2			46 1/2 x 84	PARTIAL FIXED 1/4 VENT	21.30	3.70	27.13	266.25	92.50
W- 4			24 1/2 x 38 1/2	V.S.	4.48	2.14	6.55	56.00	53.50
W- 5	40 x 38 H		40 1/2 x 38 1/2	H.S.	8.01	4.33	10.83	100.13	108.25
W- 6	56 x 38 H		56 1/2 x 38 1/2	H.S.	11.81	6.30	15.11	147.63	157.50
W- 7			24 1/2 x 46 1/2	H.S.	5.58	2.58	7.91	69.75	64.50
W- 8	96 x 39 H	Yes	96 1/2 x 40	H.S. XOX	21.26	11.19	26.81	265.75	279.75
W- 9E	96 x 58 H	Yes	96 1/2 x 59	H.S. XOX	31.85	16.18	39.54	398.13	404.50
W-10E	78 x 58 H	Yes	78 1/2 x 59	H.S. XOX	26.01	15.37	32.16	325.13	384.25
W-12	46 x 10 H		46 1/2 x 10 1/4	H.S.	1.57	1.25	3.23	19.63	31.25
W-16	24 x 27 H		24 1/2 x 27 1/4	H.S. OBS	2.83	1.61	4.63	35.38	40.25
W-17	46 x 48 H OBS	Yes	46 1/2 x 48 1/4	H.S. (SAFETY) OBS	12.12	6.46	15.54	151.50	161.50
W-20	24 x 80 V		24 1/2 x 80 1/2	PARTIAL FIXED 1/4 VENT	10.17	3.98	13.70	127.13	99.50
W-21E	36 x 80 V	(mulled)	36 1/2 x 80 1/2	PARTIAL FIXED 1/4 VENT	16.10	6.19	20.40	201.25	154.75
W-22E	46 x 80 V	(mulled)	46 1/2 x 80 1/2	PARTIAL FIXED 1/4 VENT	21.04	8.04	25.99	263.00	201.00
W-24	46 x 52 VS		46 1/2 x 52 1/2	PARTL FIXED 1/4 VENT(SAFETY)	12.91	3.42	16.95	161.38	85.50
W-25	36 x 52 V		36 1/2 x 52 1/2	PARTIAL FIXED 1/4 VENT	9.90	2.63	13.31	123.75	65.75
W-28E	30 x 80 V	(mulled)	30 1/2 x 80 1/2	V.S. 1/2 VENT	13.14	5.11	17.05	164.25	127.75
W-33	46 x 39 H OBS		46 1/2 x 40	H.S. (SAFETY) OBS	9.82	5.27	12.92	122.75	131.75
W-35E	30 x 58 V		30 1/2 x 59	V.S. 1/2 VENT	9.48	5.08	12.50	118.50	127.00
W-37	24 1/2 x 58 7/8			V.S.	7.31	3.98	10.01	91.38	99.50
W-38	14 1/2 x 58 7/8			V.S.	3.70	2.13	5.93	46.25	53.25
W-45	24 x 39 V		24 1/2 x 40	V.S.	4.65	2.41	6.80	58.13	60.25
W-46	30x12 P		30 1/2 x 12 1/2	FIXED	1.89	0.00	2.65	23.63	0.00
W-47			21 1/2 x 59	V.S.	6.23	3.42	8.81	77.88	85.50
W-48	36 x 25 P		36 1/2 x 25	FIXED	5.17	0.00	6.33	64.63	0.00
W-49	30 x 25 P		30 1/2 x 25	FIXED	4.24	0.00	5.30	53.00	0.00
W-50	46 x 25 P		46 1/2 x 25	FIXED	6.70	0.00	8.07	83.75	0.00
W-63E	36 x 58 V	Yes	36 1/2 x 59	V.S. 1/2 VENT	11.65	6.19	14.95	145.63	154.75
W-64E	46 x 58 V	Yes	46 1/2 x 59	V.S. 1/2 VENT	15.27	8.04	19.05	190.88	201.00
W-65E	62 x 52 H	Yes	62 1/2 x 52 1/2	H.S.	18.65	9.82	22.79	233.13	245.50
W-71			40 1/2 x 36 1/4	V.S. 1/2 VENT	7.49	2.56	10.20	93.63	64.00
W-72	30 x 39 V		30 1/2 x 40	V.S. 1/2 VENT	6.03	3.08	8.47	75.38	77.00
W-73	30 x 36 V		30 1/2 x 36 1/4	V.S. 1/2 VENT	5.37	2.73	7.60	67.13	68.25
W-74E			30 1/2 x 54 1/2	V.S. 1/2 VENT	8.65	4.25	11.54	108.13	106.25
W-75	24 x 54 VS		24 1/2 x 54 1/2	V.S. VENT (SAFETY)	6.60	3.32	9.27	82.50	83.00
W-76	14 x 39 VO		14 1/2 x 40	V.S. VENT OBS	2.35	1.29	4.02	29.38	32.25
W-77E			36 1/2 x 54 1/2	V.S. 1/2 VENT	10.63	5.18	13.81	132.88	129.50
W-79	24 x 54 V		24 1/2 x 54 1/2	V.S. VENT OBS (SAFETY)	6.60	3.32	9.27	82.50	83.00
W-80			24 1/2 x 84 1/2	PARTL FIXED 1/4 VENT	10.77	3.98	14.09	134.63	99.50
W-81E			36 1/2 x 84 1/2	PARTL FIXED 1/4 VENT	17.03	6.19	21.10	212.88	154.75
W-82E			46 1/2 x 84 1/2	PARTL FIXED 1/4 VENT	22.25	8.04	25.95	278.13	201.00
W-84			46 1/2 x 60 1/2	PARTL FIXED 1/4 VENT(SAFETY)	15.26	3.42	19.26	190.75	85.50
W-85			36 1/2 x 60 1/2	PARTL FIXED 1/4 VENT	11.71	2.63	15.08	146.38	65.75
W-88			36 1/2 x 65 1/4	V.S. (SAFETY)	13.08	6.94	16.54	163.50	173.50
W-91	30 x 27 V		30 1/2 x 27 1/4	V.S. 1/2 VENT	3.73	2.06	5.77	46.63	51.50
W-93E	73 x 59 V DBL		73 1/4 x 59	V.S. 1/2 VENT, MULLED	23.30	12.38	30.01	291.25	309.50
W-98			36 1/2 x 42 1/4	V.S.	7.94	4.03	10.71	99.25	100.75
XXX	46 x 18		46 x 18	ABOVE SHOWERS/COMBOS HS					

STANDARD FIXED WINDOWS									
Revised:			7/12/2015						
WINDOW NUMBER	CALL OUT	EGRESS	ROUGH OPENING	DESCRIPTION	SQ. FT. LIGHT	SQ. FT. VENT	SQ. FT. R.O.	SQ. FT. LT. AREA	SQ. FT. VT. AREA
W- 1			46 1/2 x 16 7/8 x 25 3/4	FIXED PENTAGON	4.83	0.00	6.88	60.38	0.00
W- 3			24 1/2 x 30 1/2	FIXED	4.24	N/A	5.19	53.00	0.00
W-13	46 x 10 P		46 1/2 x 10 1/4	FIXED	2.23	0.00	3.23	27.88	0.00
W-14*	18 x 18 BLOCK		17 5/8 x 17 5/8	18" SQUARE ACRILIC BLOCK	1.77	0.00	2.16	22.13	0.00
W-15*	48 x 48 BLOCK		48 1/4 X 48 1/4	48" SQUARE ACRILIC BLOCK	14.69	0.00	16.17	183.63	0.00
W-23	36 x 10 P		36 1/2 x 10 1/4	FIXED	1.72	0.00	2.53	21.50	0.00
W-26	12 x 72 P		12 1/2 x 72 1/4	FIXED (SAFETY)	4.64	0.00	6.00	58.00	0.00
W-29	72 x 12 P		72 x 12 1/4	FIXED	4.50	0.00	6.13	56.25	0.00
W-30	75 x 12 P		75 x 12 1/4	FIXED	4.71	0.00	6.38	58.88	0.00
W-31	PRISM		62 1/2 x15 x 26 1/2 x 15	FIXED PENTAGON	4.70	0.00	4.76	58.75	0.00
W-39			31 x 15 1/2	1/2 ROUND FIXED	1.80	0.00	2.62	22.50	0.00
W-40			47 x 23 1/2	1/2 ROUND FIXED	4.70	0.00	6.02	58.75	0.00
W-83			36 1/2 x 16	FIXED	3.06	0.00	4.15	38.25	0.00
W-89	24 x 14 P		24 1/2 x 14 1/4	FIXED	1.71	0.00	2.42	21.38	0.00
W-90	36 x 14 P		36 1/2 x 14 1/4	FIXED	2.66	0.00	3.61	33.25	0.00
W-92	73 x 14 P		73 1/4 x 14 1/4	FIXED	5.56	0.00	7.25	69.50	0.00
W-94			23 x 23	FIXED - OCTAGON	2.18	0.00	2.37	27.25	0.00
W-97			49 x 49	PW	14.77	0.00	17.01	184.63	0.00

2016

WINDOW SCHEDULE 1

Door Schedule (EXTERIOR)						
Mark	Type	Width	Height	Function	Level	Style
59	16'-0" x 8'-0"	16' - 0"	8' - 0"	Exterior	Garage Slab	
65	36" x 80"	3' - 0"	6' - 8"	Exterior	First Floor	

Door Schedule (INTERIOR)				
Mark	Width	Height	Function	Comments
51	2' - 6"	7' - 0"	Interior	
63	2' - 6"	7' - 0"	Interior	
83	6' - 0"	6' - 8"	Interior	
84	6' - 0"	6' - 8"	Interior	
85	2' - 6"	6' - 8"	Interior	
87	3' - 0"	6' - 8"	Interior	
99	4' - 0"	6' - 8"	Interior	
100	4' - 0"	6' - 8"	Interior	
101	2' - 6"	6' - 8"	Interior	
103	2' - 6"	6' - 8"	Interior	

Door Schedule (INTERIOR)				
Mark	Width	Height	Function	Comments
105	2' - 6"	6' - 8"	Interior	
106	2' - 0"	6' - 8"	Interior	
107	2' - 6"	6' - 8"	Interior	
109	6' - 0"	6' - 8"	Interior	
110	6' - 0"	6' - 8"	Interior	
111	2' - 6"	6' - 8"	Interior	
112	2' - 6"	6' - 8"	Interior	
113	2' - 6"	6' - 8"	Interior	

CUTTING EDGE HOMES
Cutting Edge Homes
270 E Douglas Avenue
El Cajon, CA 92020
877 680 8175

DEWETT RESIDENCE
MOSS BEACH, CA 94038
037-118-100

No.	Description	Date
A	PRELIMINARY DESIGN	2017.04.12
B	REVISED PLAN	

DEWETT RESIDENCE
1 STORY HOME
Schedules

Project number	
Date	2017.04.12
Drawn by	ECS
Checked by	CFW

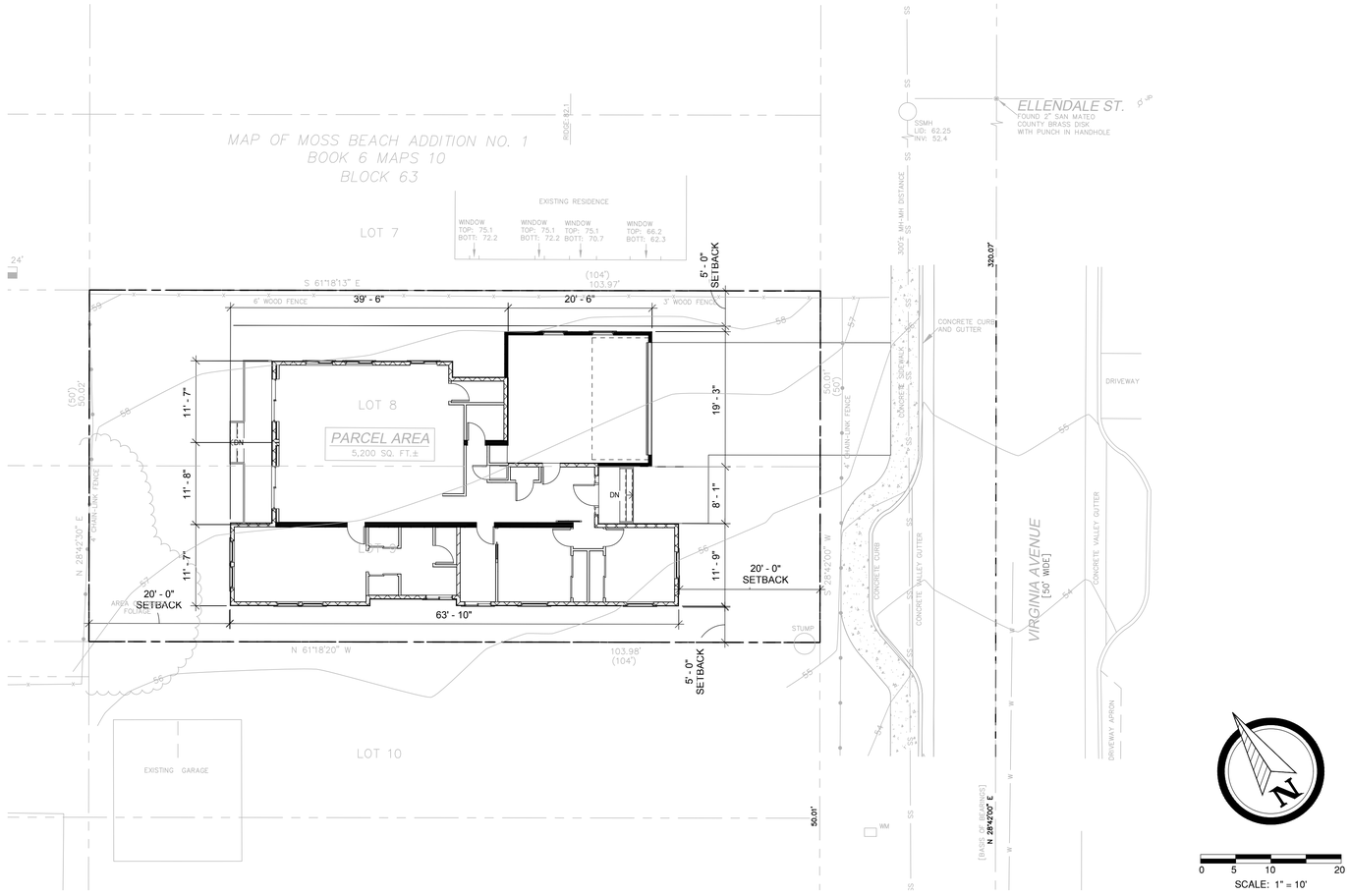
A7

Scale

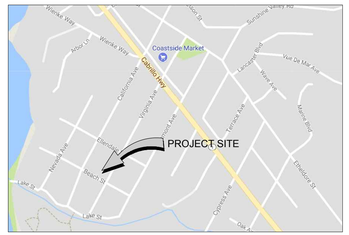
1/19/2018 11:31:59 AM

DEWETT RESIDENCE

VIRGINIA AVENUE
MOSS BEACH, CALIFORNIA



VICINITY MAP



N.T.S

LOT AREA:

5,200 SQUARE FEET

APN: 037-118-100

LEGEND:

- 0.00 (E) OR 0.00 (E) — EXISTING SPOT ELEVATION
- DIRECTION OF DRAINAGE FLOW
- CEDAR FENCE LINE
- PROPERTY LINE
- BIO RETENTION
- CONCRETE
- DRIVEWAY

FLOOD ZONE NOTE

THIS PROJECT IS IN FLOOD ZONE X – AREA WHERE THERE ARE MINIMAL FLOOD HAZARDS, FEDERAL EMERGENCY MANAGEMENT AGENCY (F.E.M.A.) FLOOD INSURANCE RATE MAP (F.I.R.M.) ON IN COMMUNITY

PANEL NO: 06081C0119F
DATED: AUGUST 2, 2017

BASIS OF BEARINGS

THE BEARING, NORTH 28°42'00" EAST, OF THE MONUMENTED CENTERLINE OF VIRGINIA AVENUE, AS SHOWN ON THAT CERTAIN RECORD OF SURVEY BY THE COUNTY OF SAN MATEO WHICH WAS FILED FOR RECORD IN VOLUME 14 OF LLS MAPS AT PAGE 18 ON APRIL 23, 1992, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

PROJECT BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM. BENCHMARK USED WAS THE NGS DISK "S 1240" (PID HT1812), A BRONZE DISK IN THE TOP AND 1.2 FEET NORTHWEST OF THE SOUTHEAST END OF THE NORTHEAST CONCRETE HEADWALL AT THE NORTHEASTERLY JUNCTION OF STATE HIGHWAY 1 AND ETHELDORE STREET. ELEVATION: 60.91 FEET. LOCAL BENCHMARK IS THE SAN MATEO COUNTY BRASS DISK IN HANDHOLE AT THE INTERSECTION OF VIRGINIA AVENUE AND BEACH STREET WITH AN ELEVATION OF 50.75 FEET.

ENCROACHMENT PERMIT

AN ENCROACHMENT PERMIT FOR THE DRIVEWAY APPROACH AND SANITARY SEWER CONNECTIONM NEEDS TO BE ISSUED PRIOR TO BUILDING PERMIT ISSUANCE.

GENERAL NOTES

1. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
2. *1' CONTOUR INTERVAL.*

SHEET INDEX:

YANG CONSULTING GROUP

CIVIL ENGINEERING & LAND PLANNING

YANG CONSULTING GROUP
490 Post Street, Suite 406
San Francisco, CA, 94102
Ph. 510.730.2080
andrew@ycg-inc.com
Andrew Yang, PE QSD
PRINCIPAL CIVIL ENGINEER

REGISTERED PROFESSIONAL ENGINEER — No. 70086 — EXP. 9/30/20 — CIVIL — STATE OF CALIFORNIA

11/29/2018

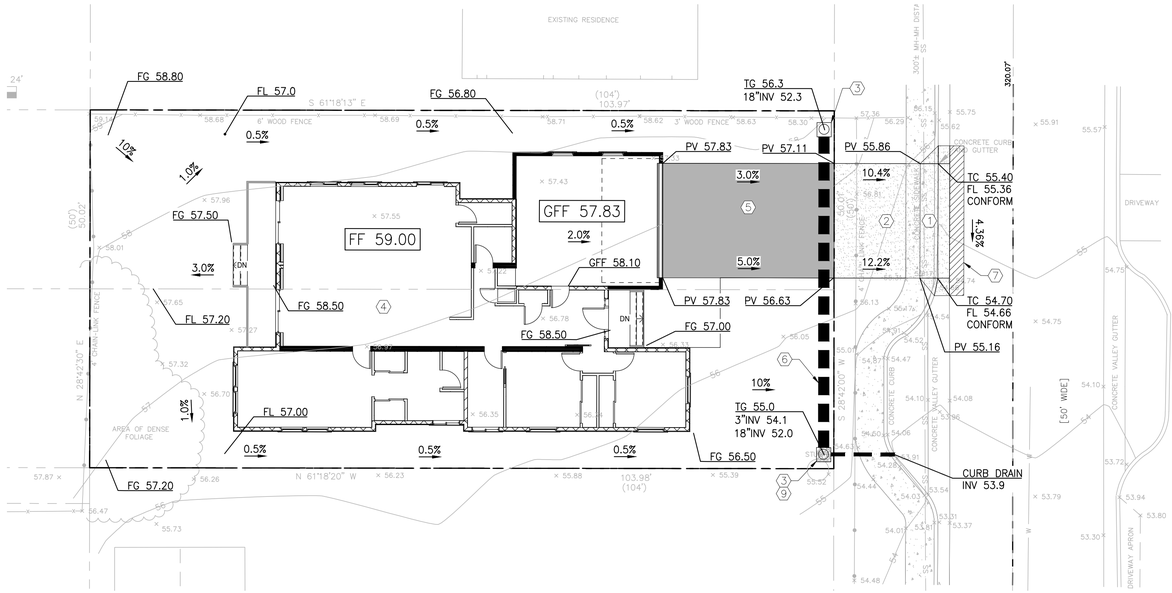
MARK	DATE	REVISION
1	1-29-18	RESPONSE TO COMMENTS
2	11-29-18	RESPONSE TO COMMENTS

NEW S.F.R. CONSTRUCTION FOR
DEWETT RESIDENCE
VIRGINIA AVENUE
MOSS BEACH, CA 94038

Project Number
CTE17006

Sheet Name
SITE PLAN

Sheet Number
C1



KEY NOTES:

ITEM	DESCRIPTION
1	REMOVE EXISTING SIDEWALK CURB AND GUTTER.
2	NEW RESIDENTIAL DRIVEWAY APPROACH PER COUNTY DETAIL D-1. COORDINATE ALL RIGHT OF WAY ENCROACHMENT WORK WITH COUNTY ROAD INSPECTOR AT PRE-CONSTRUCTION MEETING.
3	INSTALL NDS 18"X18" EXPANDABLE CATCH BASIN SKU#1804 OR EQUIVALENT. CONNECT DRAIN TO UNDER CURB DRAIN VIA 3" PVC PIPE.
4	BUILDING FOUNDATION, REFER TO SOIL ENGINEER'S RECOMMENDATION FOR PAD PREPARATION AND FOUNDATION SECTIONS.
5	CONCRETE PAVING, REFER TO DETAIL 1 ON THIS SHEET FOR RECOMMENDED PAVING SECTIONS. ALSO CONSIDER SOIL REPORT PART OF THIS PLAN.
6	18" SOLID PVC PIPE AS UNDERGROUND DETENTION PIPE SYSTEM.
7	SAWCUT 2' FROM EXISTING EDGE OF PAVEMENT, GRIND AND OVERLAY AT 0.17' DEPTH.
8	INSTALL SPLASH BLOCKS AT DOWNSPOUT LOCATIONS.
9	PROVIDE 24" OF ¾" CLASS II CRUSHED ROCK UNDER CATCH BASIN. DRILL HOLES AT BOTTOM OF THIS CATCH BASIN TO PREVENT STANDING WATER.

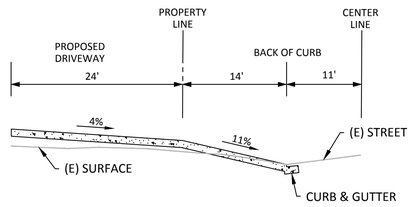
GRADING LEGEND:

0.00 (E) OR 0.00 (E)	EXISTING SPOT ELEVATION
0.00	PROPOSED ELEVATION
	DIRECTION OF DRAINAGE FLOW
	RIDGE LINE/ GRADE BREAK
	LIMIT OF WORK
	CONCRETE PAVING
	NEW AC & AB
	GRIND & OVERLAY

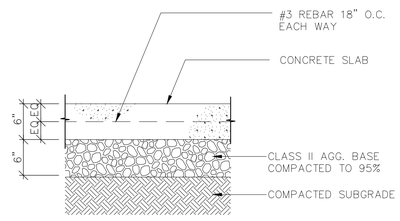
PV	EDGE OF PAVEMENT	HP	HIGH POINT
BW	BACK OF WALK	ME	MATCH EXISTING
FF	FINISH FLOOR	TC	TOP OF CURB
FG	FINISH GRADE	C	CONCRETE
FL	FLOW LINE	TS	TOP OF SLAB
GFF	GARAGE FINISH FLOOR	TG	TOP OF GRATE
GB	GRADE BREAK		
LIP	EDGE OF SWALE OR GUTTER		

EARTHWORKS:

FILL:	**35 CUBIC YARDS**
CUT:	**45 CUBIC YARDS**
EXPORT:	**10 CUBIC YARDS**



DRIVEWAY PROFILE
N.T.S.



NOTES:
1. EXPANSION JOINTS @ 40.0' MAX.
2. CONTROL JOINTS @ 10.0' O.C. MAX.

1 CONCRETE DRIVEWAY PAVING

SCALE: N.T.S.

DRAINAGE CALCULATION:

(BASIN REQUIRED)

TOTAL IMPERVIOUS AREA=2,140 S.F.
10 YEAR 1 HR. EVENT P=1.1 INCHES
RUNOFF COEFFICIENT $C=C_{IMP} - C_{PERVIOUS}$
$C = 0.9 - 0.4 = 0.5$
$VOL = C \times A \times P$
VOL= 0.5 (1.1/12)FT x 2,140 S.F.
VOL= 98.1 C.F.

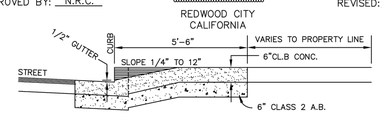
BASIN VOLUME PROVIDED:

DETENTION PIPE
VOLUME = $\pi R^2 \times$ LENGTH
= $\pi (9")^2 \times 45'$
= 106.0 CF

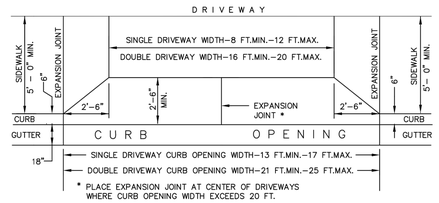
VOL PROVIDED > VOL REQUIRED

SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS
REDWOOD CITY CALIFORNIA

DRAWN BY: D.P.
CHECK BY: J.A.L.
APPROVED BY: N.R.C.
SCALE: NONE
DATE: 6/95
REVISED: 4/97



SECTION



PLAN

ELEVATION

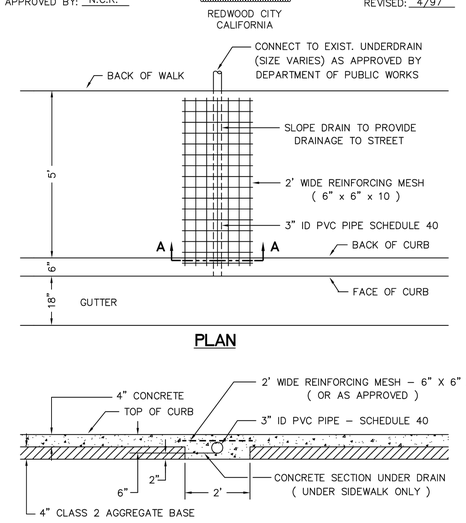
NOTE:
WHERE POSSIBLE, 22 FT. DISTANCES OR MULTIPLES OF 22 FT. DISTANCES SHOULD BE OBTAINED BETWEEN CURB OPENINGS. CONSTRUCT MONOLITHIC CURB, GUTTER, DRIVEWAY AND APRON. WHERE DRIVEWAYS OF SEPARATE RESIDENTIAL DWELLINGS ARE CONSTRUCTED ADJACENT TO ONE ANOTHER, DOUBLE THE DIMENSIONS SHOWN ABOVE. USE NO. 4 REINFORCING BAR DOWELS AS SHOWN ON STANDARD CURB, GUTTER AND SIDEWALK DETAIL.

STANDARD STRUCTURES DRIVEWAY WIDTHS AND CURB OPENINGS FOR SINGLE FAMILY RESIDENTIAL DWELLINGS

D–1

SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS
REDWOOD CITY CALIFORNIA

DRAWN BY: M.L.
CHECK BY: J.A.L.
APPROVED BY: N.C.R.
SCALE: NONE
DATE: 6/95
REVISED: 4/97



PLAN

SECTION A–A

DRAINAGE UNDER SIDEWALK

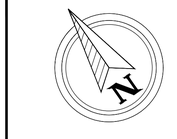
D–6

GRADING NOTES

1. THE GRADING AREAS SHOULD BE PREPARED FOR GRADING BY REMOVING EXISTING VEGETATION, LARGE ROOTS, DEBRIS, AND OTHER POTENTIALLY DELETERIOUS MATERIALS. THE SITE PREPARATION OPERATIONS SHOULD BE OBSERVED BY THE GEOTECHNICAL ENGINEER.
2. EXISTING UTILITY LINES THAT WILL NOT REMAIN IN SERVICE SHOULD BE EITHER REMOVED OR PROPERLY ABANDONED. THE APPROPRIATE METHOD OF UTILITY ABANDONMENT WILL DEPEND UPON THE TYPE, DEPTH, AND LOCATION OF THE UTILITY. RECOMMENDATIONS FOR ABANDONMENT CAN BE MADE AS NECESSARY.
3. EXCAVATION OR OTHER REMEDIAL GRADING MEASURES MAY BE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THE OVEREXCAVATION OPERATIONS SHOULD BE OBSERVED BY THE GEOTECHNICAL ENGINEER PRIOR TO GRADING.
4. THE OVEREXCAVATED SURFACES SHOULD BE CROSS–SCARIFIED TO A DEPTH OF APPROXIMATELY 8 INCHES. THE SOIL SHOULD THEN BE MOISTURE CONDITIONED TO A LEVEL ABOVE OPTIMUM MOISTURE CONTENT AND RECOMPACTED. CUT SURFACES TO RECEIVE IMPROVEMENTS SHOULD BE SCARIFIED, MOISTURE CONDITIONED, AND RECOMPACTED IN A SIMILAR MANNER.
5. WATER CONDITIONING AND COMPACTION OF ON–SITE SOIL SHOULD BE PERFORMED AS RECOMMENDED ON GEOTECHNICAL ENGINEER'S REPORT.
6. THE SUB GRADE AND BASE SHOULD BE FIRM AND UNYIELDING WHEN PROOFROLLED WITH HEAVY, RUBBER–TIRED EQUIPMENT PRIOR TO CONTINUING CONSTRUCTION. THE SUBGRADE SOIL SHOULD BE PERIODICALLY MOISTENED AS NECESSARY PRIOR TO PLACEMENT OF THE AGGREGATE BASE TO MAINTAIN THE SOIL MOISTURE CONTENT ABOVE OPTIMUM.
7. DUE TO THE FINE–GRAINED NATURE OF THE UPPER SOILS, THERE IS A POTENTIAL FOR THE SOILS TO BECOME UNSTABLE DURING GRADING. UNSTABLE SOILS HINDER COMPACTIVE EFFORT AND ARE INAPPROPRIATE FOR PLACEMENT OF FILL. ALTERNATIVES TO CORRECT INSTABILITY INCLUDE AERATION TO DRY THE SOILS AND THE USE OF GRAVEL OR GEOTEXTILES, AND CHEMICAL (QUICKLIME/CEMENT) TREATMENT AS STABILIZING MEASURES. RECOMMENDATIONS FOR STABILIZATION SHOULD BE PROVIDED BY THE GEOTECHNICAL ENGINEER AS NEEDED DURING CONSTRUCTION.
8. CUT AND FILL SLOPES SHOULD NOT BE STEEPER THAN 2:1, MEASURED HORIZONTALLY TO VERTICALLY.
9. THE CONTRACTOR SHALL REQUIRE WATER TRUCKS TO OPERATE IN CONJUNCTION WITH GRADING EQUIPMENT AND APPLICATION OF WATER SHALL BE MADE AS FREQUENTLY AS IS NECESSARY TO CONTROL DUST AT A MINIMUM OF THREE TIMES A DAY. IF THE DUST IS NOT ADEQUATELY CONTROLLED THROUGH THE APPLICATION OF WATER, GRADING ACTIVITIES WILL BE SUSPENDED AND AN HOURLY WATERING SCHEDULE AND/OR MAXIMUM LIMIT ON THE DAILY NUMBER OF CUBIC YARDS TO BE GRADED WILL BE IMPOSED PRIOR TO THE RESUMPTION OF GRADING. IN ADDITION, ALL GRADING ACTIVITIES DURING PERIODS OF HIGH WINDS (OVER 15 MPH) ARE PROHIBITED.

MAINTENANCE NOTE:

IT SHALL BE THE OWNER'S RESPONSIBILITY TO ENSURE THAT ALL DRAINAGE IMPROVEMENTS SHOWN HEREON ARE MAINTAINED IN GOOD WORKING ORDER. THIS INCLUDES PERIODICALLY INSPECTING THE STORM DRAIN PIPES FOR SEDIMENT AS WELL AS THE DRAIN INLETS FOR SEDIMENT. ANY BUILT UP SEDIMENT SHOULD BE PERIODICALLY CLEANED TO ENSURE THE DRAINAGE FEATURES FUNCTION AS INTENDED. THE SWALES ALONG THE SIDES OF THE BUILDING SHALL BE MAINTAINED AS SHOWN PER THIS PLAN.



SCALE: 1" = 10'

YANG CONSULTING GROUP
CIVIL ENGINEERING & LAND PLANNING
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490 Post Street, Suite 406
San Francisco, CA. 94102
Ph. 510.730.2080
andrew@ycg-inc.com
Andrew Yang, PE QSD
PRINCIPAL CIVIL ENGINEER

REGISTERED PROFESSIONAL ENGINEER ANDREW M. YANG No. 70086 EXP. 9/30/20 CIVIL STATE OF CALIFORNIA

1/17/2019

MARK	DATE	REVISION
1	11-29-18	RESPONSE TO COMMENTS
2	11-29-18	RESPONSE TO COMMENTS

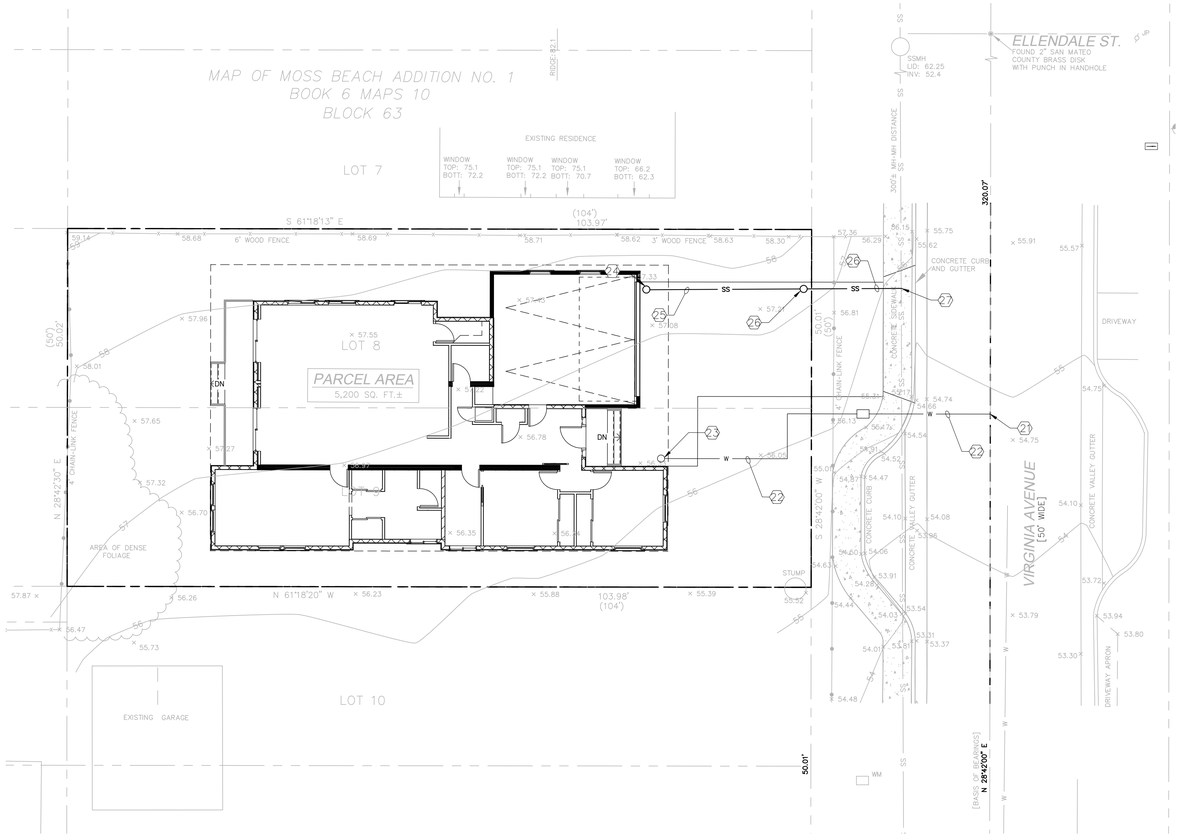
NEW S.F.R. CONSTRUCTION FOR DEWETT RESIDENCE

VIRGINIA AVENUE
MOSS BEACH, CA 94038

Project Number
CTE17006

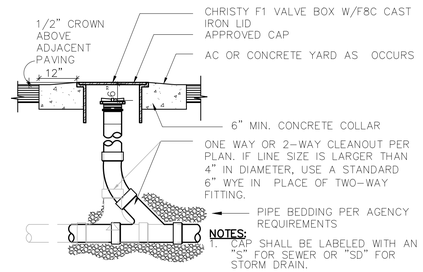
Sheet Name
GRADING PLAN

Sheet Number
C2



KEY NOTES:

ITEM	DESCRIPTION
21	PROVIDE NEW WATER METER. METER SIZE REFER TO MECHANICAL DRAWING. CONNECT PROPOSED WATER LATERAL TO WATER MAIN PER MONTARA WATER & SANITARY DISTRICT STANDARDS. TRENCH BACKFILL PER DETAIL SD-4.0 ON THIS SHEET.
22	NEW 1" DOMESTIC WATER LINE: TYPE "K" COPPER
23	P.O.C 1" DOMESTIC WATER: REFER TO PLUMBING PLANS FOR MORE DETAILS.
24	P.O.C 4" SEWER: ADD CLEANOUT TO GRADE PER DETAIL ON THIS SHEET.
25	NEW 4" SEWER LINE: SDR-26 PVC AT 0.02 SLOPE MINIMUM.
26	NEW SEWER CLEANOUT AND LATERAL: REFER TO MONTARA WATER & SANITARY DISTRICT STANDARD DETAILS SD-5 AND SD-6.
27	SEWER MAIN SIZE WAS NOT PROVIDED: CONTRACTOR TO LOCATE SEWER MAIN LOCATION, VERIFY SIZE, AND PROVIDE LATERAL CONNECTION. CONTACT ENGINEER IF THERE ARE ANY CONFLICTS.



24 CLEANOUT TO GRADE N.T.S.

UTILITY LEGEND:

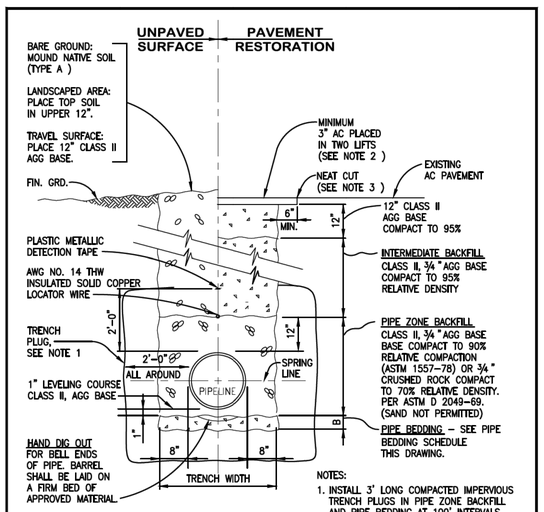
0.00 (E) OR 0.00 (E)	EXISTING SPOT ELEVATION
0.00	PROPOSED ELEVATION
	DIRECTION OF DRAINAGE FLOW
N 0° 0' 00" W	PROPERTY LINE
CO	CLEAN-OUT TO GRADE
DS	DOWNSPOUT
P.O.C.	POINT OF CONNECTION
	EXISTING CONCRETE CURB TO REMAIN
	NEW CONCRETE CURB
SS	EXISTING SAN. SEWER
SD	EXISTING STORM DRAIN
E	EXISTING UNDRGROUND ELECTRICAL
W	EXISTING WATER LINE
T	EXISTING PHONE SERVICE
W	NEW 2" WATER LINE
SS	NEW 6" SANITARY SEWER LINE
F	NEW 6" FIRE SERVICE LINE

UTILITY VERIFICATION:

PRIOR TO START OF ANY WORK, THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MATERIAL TYPE FOR ALL EXISTING UNDERGROUND UTILITIES THROUGHOUT THE SITE AND AT THE POINTS OF CONNECTION. THE CONTRACTOR SHALL VERIFY THAT THE PROPOSED UTILITY SERVICE WILL MEET THE INDICATED PIPE SLOPES AND IMMEDIATELY NOTIFY THE CLIENT REPRESENTATIVE AND STANTEC OF ANY CONDITION(S) THAT WILL PREVENT CONSTRUCTION OF NEW UTILITY SERVICES AS INDICATED ON THE PLANS. THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ALL ADDITIONAL COST INCLUDING BUT NOT LIMITED TO REDESIGN, CONSTRUCTION, INSPECTION, AND LIQUIDATED DAMAGES RESULTING FROM THE CONTRACTOR'S FAILURE TO PERFORM UTILITY VERIFICATION.

UTILITY NOTES:

1. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL RUNS.
2. INSTALL IRRIGATION SLEEVES MIN. 12" FROM BACK OF CURB AND MINIMUM 18" DEEP, CAP ENDS.
3. PLUMBING DESIGN BASED ON MINIMUM PSI OF 65 PSI AT BACK OF EACH METER. IF PRESSURE TESTED AT THE BACK OF METER IS LESS THAN THE MINIMUM DESIGN VALUE NOTED, CONTRACTOR SHALL IMMEDIATELY NOTIFY CLIENT REPRESENTATIVE AND CONSULTANT.
4. THE LOCATION OF EXISTING UNDERGROUND UTILITIES SHOWN HEREON ARE AN APPROXIMATION OF THEIR ACTUAL LOCATION AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR DUE TO THE CONTRACTOR'S FAILURE TO PHYSICALLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.
5. THE CONTRACTOR SHALL SECURE ALL ENCROACHMENT PERMITS FROM ALL APPLICABLE AGENCIES BEFORE THE COMMENCEMENT OF WORK.
6. USE SDR-26 FOR ALL DRAIN, WASTE & VENT PIPING.



PIPE BEDDING DETAIL

PIPE BEDDING SCHEDULE

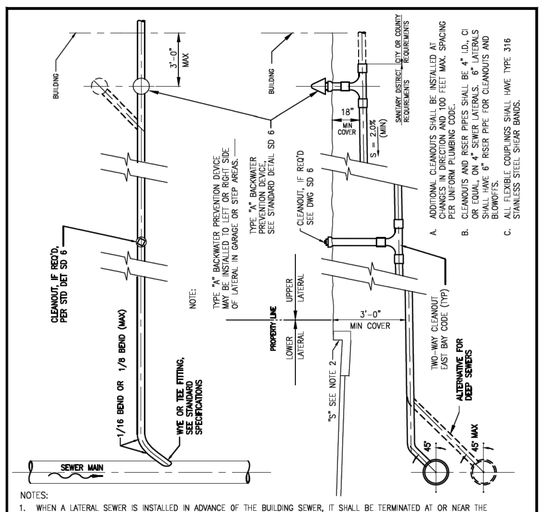
TRENCH MATERIAL	BEDDING DEPTH – B	BEDDING MATERIAL
SOIL – DRY	6"	¾ " CRUSHED ROCK OR CLASS II, AGG BASE
SOIL W/ WATER	12"	1 ½ " CRUSHED ROCK
ROCK OR HARD PAN – DRY	6"	¾ " CRUSHED ROCK OR CLASS II AGG BASE
ROCK OR HARD PAN W/ WATER	6"	1 ½ " CRUSHED ROCK
BAY MUD	SEE BAY MUD TRENCH DETAIL DRAWING SD 4.1	

NOTES:
1. INSTALL 3' LONG COMPACTED IMPERVIOUS TRENCH PLUGS IN PIPE ZONE BACKFILL AND PIPE BEDDING AT 100' INTERVALS.
2. ASPHALT THICKNESS SHALL CONFORM TO THE REQUIREMENTS OF THE AGENCY WITH JURISDICTION OVER STREET.
3. CONSULT LOCAL JURISDICTION FOR ASPHALT CUTTING REQUIREMENTS.

MONTARA WATER & SANITARY DISTRICT

TYPICAL TRENCH SECTION

2014		SD 4.0

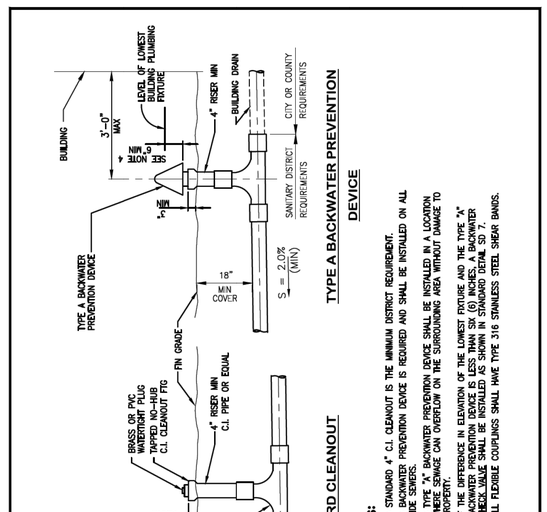


NOTES:
1. WHEN A LATERAL SEWER IS INSTALLED IN ADVANCE OF THE BUILDING SEWER, IT SHALL BE TERMINATED AT OR NEAR THE PROPERTY LINE. THE END OF THE LATERAL SHALL BE MARKED WITH A 4" x 4" REDWOOD STAKE, PAINTED GREEN, FROM THE TOP OF THE PIPE TO A MINIMUM OF 6" ABOVE THE FINISHED GROUND SURFACE.
2. WHERE CONCRETE CURBS AND GUTTERS EXIST OR ARE TO BE A PART OF AN IMPROVEMENT, EACH SIDE SEWER SHALL BE PERMANENTLY LOCATED BY IMPRINTING OR CHISELING AN "S" (3" size) IN THE FACE OF THE CURB VERTICALLY ABOVE THE SEWER PIPE.
3. BACKFILL SHALL NOT BE PLACED UNTIL PIPE INSTALLATION HAS BEEN INSPECTED AND APPROVED BY THE DISTRICT. PIPE BEDDING 3" AROUND PIPE ON PRIVATE PROPERTY MAY BE SAND WHERE REQUIRED BY COUNTY BUILDING PERMIT.
4. TYPE A BACKWATER PREVENTION DEVICE (CONTRA COSTA RELIEF VALVE, ALSO KNOWN AS MUSHROOM CAP) SHALL BE INSTALLED ON A 4" MINIMUM RISER PIPE NOT MORE THAN 3' FROM BUILDING WALL, PER STANDARD DETAIL SD6.
5. LATERAL TRENCHES IN AREA OF PUBLIC STREET CURB, GUTTER AND SIDEWALK SHALL BE COMPACTED THE SAME AS TYPICAL TRENCH DETAIL SD 4. AREAS AROUND NEW CONCRETE CLEAN-OUT BOXES SHALL BE SOILS TESTED TO 90% COMPACTED. CONTRACTOR IS TO USE WHATEVER MEANS NECESSARY TO ACHIEVE 90% COMPACTION.

MONTARA WATER & SANITARY DISTRICT

TYPICAL SIDE SEWER DETAILS

2014		SD 5



STANDARD CLEANOUT **TYPE A BACKWATER PREVENTION DEVICE**

NOTES:
1. A STANDARD 4" C.I. CLEANOUT IS THE MINIMUM DISTRICT REQUIREMENT.
2. A BACKWATER PREVENTION DEVICE IS REQUIRED AND SHALL BE INSTALLED ON ALL SEWER LINES.
3. A TYPE "A" BACKWATER PREVENTION DEVICE SHALL BE INSTALLED IN A LOCATION WHERE SEWAGE CAN OVERFLOW ON THE SURROUNDING AREA WITHOUT DAMAGE TO PROPERTY.
4. IF THE DIFFERENCE IN ELEVATION OF THE LOWEST FIXTURE AND THE TYPE "A" BACKWATER PREVENTION DEVICE IS LESS THAN 6" A SWING CHECK VALVE SHALL BE INSTALLED AS SHOWN IN STANDARD DETAIL SD 6.
5. ALL FLEXIBLE COUPLINGS SHALL HAVE TYPE 316 STAINLESS STEEL SHEAR BANDS.

MONTARA WATER & SANITARY DISTRICT

STANDARD CLEANOUT AND BACKWATER PREVENTION DEVICE

2014		SD 6

YANG CONSULTING GROUP
CIVIL ENGINEERING & LAND PLANNING
YANG CONSULTING GROUP
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San Francisco, CA. 94102
Ph. 510.730.2080
andrew@ycg-inc.com
Andrew Yang, PE QSD
PRINCIPAL CIVIL ENGINEER

REGISTERED PROFESSIONAL ENGINEER ANDREW M. YANG No. 70086 EXP. 9/30/20 CIVIL STATE OF CALIFORNIA

11/29/2018

MARK	DATE	REVISION
1	1-29-18	RESPONSE TO COMMENTS
2	11-29-18	RESPONSE TO COMMENTS

NEW S.F.R. CONSTRUCTION FOR DEWETT RESIDENCE

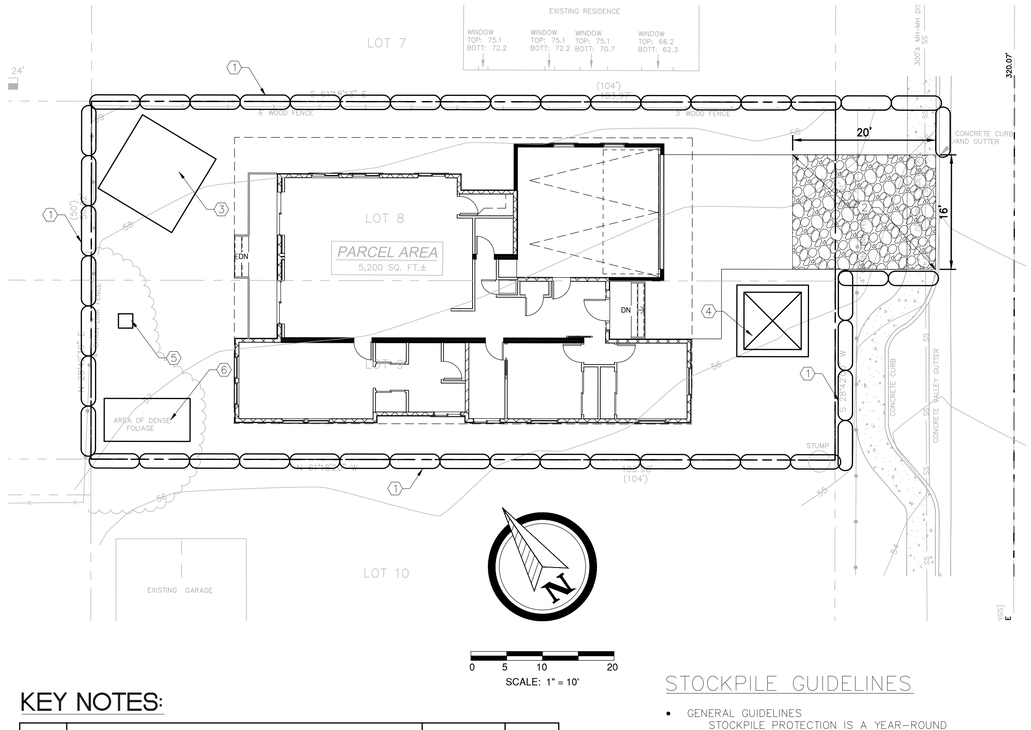
VIRGINIA AVENUE
MOSS BEACH, CA 94038

CALL BEFORE YOU DIG U S A 800-227-2600

Project Number
CTE17006

Sheet Name
UTILITY PLAN

Sheet Number
C3



KEY NOTES:

ITEM	DESCRIPTION	QUANTITY	UNIT
①	FIBER ROLL TO BE INSTALLED AT SITE PERIMETER :- REFER TO DETAILS 1 AND 2 ON THIS SHEET.	324	L.F.
②	POTENTIAL FOR CONSTRUCTION ENTRANCE: REFER TO DETAIL 3 ON THIS SHEET.	1	EA
③	RECOMMENDED LOCATION FOR GRADING STOCKPILE AREA. PROVIDE PROPER COVERAGE. SEE GUIDELINES ON THIS SHEET.	1	EA
④	RECOMMENDED LOCATION FOR CONCRETE WASHOUT PIT	1	EA
⑤	RECOMMENDED LOCATION FOR PORTABLE TOILET.	1	EA
⑥	RECOMMENDED LOCATION FOR MATERIALS AND DEBRIS STORAGE.	1	EA

STOCKPILE GUIDELINES

- GENERAL GUIDELINES
  STOCKPILE PROTECTION IS A YEAR-ROUND REQUIREMENT. INSTALL TEMPORARY BARRIERS AROUND STOCKPILE PERIMETERS TO PREVENT CONTACT WITH STORM WATER WHEN REQUIRED. TEMPORARY BARRIERS CAN BE BERMS, DIKES, SILT FENCES, STRAW BALES, OR SANDBAG BARRIERS. ALL ACTIVE STOCKPILES ARE TO BE PROTECTED BY LINEAR SEDIMENT BARRIERS PRIOR TO RAIN EVENTS.
- SOIL STOCKPILES
  DURING THE RAINY SEASON, COVER INACTIVE SOIL STOCKPILES OR PROTECT THEM WITH SOIL STABILIZATION AT ALL TIMES. DURING THE NON-RAINY SEASON, COVER INACTIVE SOIL STOCKPILES OR PROTECT THEM WITH LINEAR BARRIERS PRIOR TO RAIN EVENTS.
- PAVING MATERIAL STOCKPILES
  DURING THE RAINY SEASON, COVER INACTIVE STOCKPILES OF PCC, AC, AC/PCC RUBBLE, AND AGGREGATE BASE AND SUB-BASE, AND PROTECT WITH A TEMPORARY PERIMETER BARRIER AT ALL TIMES. DURING THE NON-RAINY SEASON, COVER INACTIVE STOCKPILES OR PROTECT WITH A LINEAR BARRIER PRIOR TO RAIN EVENTS.
- ASPHALT BASED CO/D-MIX STOCKPILES
  PLACE ACTIVE AND INACTIVE COLD-MIX STOCKPILES ON PLASTIC AND COVER WITH PLASTIC PRIOR TO RAIN EVENTS. THE KEY IS TO PREVENT CONTACT BETWEEN RAINFALL AND RUN-ON WITH THE STOCKPILES.

ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL STANDARDS. AN EPA EQUIVALENT NOTICE OF INTENT LETTER SHALL BE POSTED IN THE JOB TRAILER AT ALL TIMES. THIS SITE SHALL BE PROTECTED BY MEANS DESCRIBED IN THE ACCOMPANYING PLANS. IF THERE ARE ANY QUESTIONS REGARDING EROSION CONTROL MEASURES, THE CIVIL ENGINEER OF RECORD MUST BE CONTACTED.

A COPY OF THIS SHEET AND THE EROSION CONTROL PLAN MUST BE KEPT ON-SITE THROUGH THE DURATION OF CONSTRUCTION ACTIVITY. ANY CHANGES MADE TO THIS PLAN MUST BE NOTED, DATED, AND INITIALED BY THE GENERAL CONTRACTOR.

I. GENERAL

THE INTENT OF THIS PLAN IS TO CONTROL EROSION AND RESULTING SILT TRANSPORTATION OFF SITE. THE ITEMS INDICATED ARE THE ENGINEER'S BEST ESTIMATE OF REQUIREMENTS; MORE CONTROL MAY BE NEEDED DEPENDING ON SITE CONDITIONS, SEASON, ETC. CONTRACTOR SHALL INSTALL ADDITIONAL MEASURES AS NECESSARY TO COMPLY WITH THIS INTENT. ALL CHANGES TO THE SWPPP MUST BE NOTED.

A. BEST MANAGEMENT PRACTICES PLAN, WITH ALL SEDIMENT AND EROSION CONTROL PLANS, SHALL BE KEPT ON-SITE WITH COPIES OF ALL INSPECTION REPORTS.

B. EXISTING TOPOGRAPHY AND PROPOSED TOPOGRAPHY ARE SHOWN ON THE GRADING PLAN.

C. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE CONSTRUCTED PRIOR TO ANY LAND DISTURBING ACTIVITY TAKING PLACE.

D. OTHER FEDERAL, LOCAL, OR STATE STATUTES OR REQUIREMENTS THAT MAY AFFECT THE PERMIT REQUIREMENTS FOR THIS SITE:

1. NPDES CONSTRUCTION STORM WATER MANAGEMENT DISCHARGE CRITERION
2. UNITED STATES ARMY CORPS OF ENGINEERS
3. LOCAL SEDIMENT CONTROL ORDINANCES
4. HAZARDOUS WASTE CONCERNS
5. PROTECTED SPECIES, HISTORICAL PRESERVATION, ETC

E. MATERIAL NEEDS AFFECTING ENVIRONMENTAL ASPECTS OF THE SITE:

1. HAUL-IN / HAUL-OFF
2. TOPSOIL SPOIL OR HAUL-IN

F. PLANNED PHASES OF CONSTRUCTION.

1. FLAG ALL WORK LIMITS.
2. CALL THE STATE UTILITY PROTECTION SERVICE TO VERIFY LOCATION OF ANY EXISTING UTILITIES TWO (2) WORKING DAYS PRIOR TO START OF CONSTRUCTION.
3. NOTIFY SEDIMENT CONTROL INSPECTOR TWENTY-FOUR (24) HOURS PRIOR TO START OF CONSTRUCTION.
4. IDENTIFY AND PROTECT ALL EXISTING VEGETATION TO REMAIN.
5. PERFORM CLEARING AND GRADING REQUIRED FOR INSTALLATION OF PERIMETER CONTROLS.
6. INSTALL PERIMETER RUNOFF CONTROLS; NOTIFY SEDIMENT CONTROL INSPECTOR AND OBTAIN APPROVAL BEFORE PROCEEDING FURTHER.
7. INSTALL STORM DRAINAGE PROTECTION.
8. CLEAR AND STABILIZE CONSTRUCTION ACCESS.
9. COMPLETE ALL REQUIRED STOCKPILING, SITE CLEARING, AND GRADING.
10. APPLY TEMPORARY OR PERMANENT STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS WHERE WORK MAY BE DELAYED OR IS COMPLETE. DO NOT LEAVE LARGE AREAS UNPROTECTED FOR MORE THAN SEVEN (7) DAYS.
11. CONSTRUCT PARKING LOT BASE, BUILDING FOUNDATION, AND INSTALL SITE UTILITIES.
12. WEATHER-IN BUILDING.
13. COMPLETE PARKING LOT CONSTRUCTION.
14. COMPLETE FINAL GRADING, STABILIZATION, AND LANDSCAPING.
15. NOTIFY SEDIMENT CONTROL INSPECTOR AND OBTAIN APPROVAL TO REMOVE SEDIMENT AND EROSION CONTROL MEASURES.

II. IMPLEMENTATION

PLANNED CONSTRUCTION PHASING AND SPECIFIC REQUIRED SEDIMENT AND EROSION CONTROL MEASURES.

A. PHASE 1: TOPSOIL STRIPPING AND STOCKPILING – THIS IS THE PHASE AFTER ALL DEBRIS REMOVAL. TOPSOIL WILL BE STRIPPED AND STOCKPILED ON THE SITE AS SHOWN ON THE PLANS. THE FOLLOWING REQUIREMENTS WILL APPLY DURING THIS PHASE OF CONSTRUCTION:

1. CONSTRUCTION OF A "STONE" CONSTRUCTION ENTRANCE SHALL BE COMPLETED TO PREVENT SILT FROM BEING DEPOSITED ON ROADWAYS.
2. SILT FENCES AND/OR DIVERSIONS DIRECTING RUNOFF TO TEMPORARY SEDIMENT BASINS SHALL BE PLACED ON THE DOWNHILL SIDE OF WHEREVER DIRT HAS BEEN DISTURBED BY GRADING TO PREVENT SILT FROM LEAVING THE SITE. SPECIFIC ATTENTION SHOULD BE PAID TO CULVERTS AND CONSTRUCTION ENTRANCES.
3. ALL DEBRIS SHALL BE KEPT AWAY FROM DITCHES AND STREAMS TO PREVENT RUN-OFF ACCUMULATION WILL NOT CARRY DEBRIS DOWNSTREAM.
4. SILT FENCES OR DOUBLE SILT FENCES SHALL BE INSTALLED ALONG THE LOW SIDE OF THE SITE WHERE RUN-OFF FROM THE WORK AREA WILL LEAVE THE SITE OR ENTER A DITCH.
5. SILT TRAPS AND SEDIMENT BASINS SHALL BE INSTALLED WHERE SHOWN ON THE PLANS IN ACCORDANCE WITH DETAILS SHOWN TO CATCH AND FILTER RUN-OFF PRIOR TO DISCHARGE FROM THE SITE.
6. ADDITIONAL SILT FENCING AROUND THE STOCKPILE AREA SHOULD BE INSTALLED TO PREVENT SILT WASH OFF FROM THE SITE.

B. PHASE 2: GRADING OPERATIONS – THIS PHASE IS THAT TIME WHEN EARTH IS BEING MOVED FROM ONE PORTION OF THE SITE TO ANOTHER OR IS BEING HAULED INTO OR HAULED OFF FROM THE SITE. THIS IS A CRITICAL TIME WHEN SEDIMENT AND EROSION CONTROL FACILITIES MUST BE CONTINUALLY CHECKED TO ENSURE EFFECTIVENESS. MEASURES SHOULD BE CHANGED OUT AS OFTEN AS REQUIRED TO MEET DEMANDS OF CURRENT SITE CONDITIONS. THE FOLLOWING WILL APPLY TO THIS STAGE OF CONSTRUCTION:

1. ALL SEDIMENT CONTROL FACILITIES REQUIRED AND INSTALLED DURING PHASE 1 SHALL BE LEFT IN PLACE AND MAINTAINED AS APPROPRIATE.
2. WHENEVER A SILT CONTROL FACILITY IS REMOVED BECAUSE OF CHANGING SITE CONDITIONS IT SHALL BE IMMEDIATELY REPLACED WITH ANOTHER MEASURE OF EQUAL OR GREATER EFFECTIVENESS THAT WILL CONTRIBUTE TO THE PROGRAM OF SILT AND EROSION CONTROL.
3. CUT SLOPES SHALL BE PROTECTED BY CONSTRUCTING SWALES AT THE TOP OF CUT SLOPES TO INTERCEPT RUN-OFF. SWALES WILL BE CONSTRUCTED WITH RIP-RAP CHECK DAMS OR SILT FENCES AS NECESSARY TO PREVENT EROSION AND SILTATION.
4. FILL SLOPES SHALL BE PROTECTED BY THE CONSTRUCTION OF BERMS AT THE TOP OF ALL FILL SLOPES TO PREVENT UNCONTROLLED RUN-OFF DRAINING DOWN FACE OF SLOPES.
5. WHEN SHOWN ON PLAN, RUN-OFF DIRECTING BERMS FOR UPGRADE RUN-OFF SHALL BE CONSTRUCTED ALONG SLOPE TO DRAINS THAT WILL CARRY RUN-OFF DOWN THE SLOPE. SLOPE DRAINS SHALL HAVE INLET SILT PROTECTION TYPICAL OF OTHER SITE STORM INLET PROTECTION.
6. SILT FENCES SHALL BE IN PLACE AT THE TOE OF ALL FILL SLOPES.
7. TERRACES, BERMS, AND SWALES SHALL BE CONSTRUCTED AT INTERMEDIATE LOCATIONS THROUGHOUT THE SITE AS NECESSARY TO CONTROL EROSION AND SEDIMENT TRANSPORT. THESE DIVERSION FACILITIES SHALL BE SUPPLEMENTED AS APPROPRIATE WITH SILT FENCES AND RIP-RAP FILTER BERMS TO FILTER ACCUMULATED SEDIMENT FROM RUN-OFF PRIOR TO DISCHARGE FROM THE SITE.
8. SLOPES (CUT AND FILL) THAT ARE CONSTRUCTED IN THE FINAL CONFIGURATION SHALL BE COVERED WITH FOUR INCHES (4") OF TOPSOIL AND GRASSED AND MULCHED AS SOON AS GRADING IS COMPLETED. THIS GROWING VEGETATION WILL GIVE ADDED PROTECTION TO THE SLOPE.
9. PORTIONS OF THE SITE THAT ARE GRADED TO FINAL GRADE AND ARE NOT TO RECEIVE PAVEMENT OR BUILDINGS SHOULD HAVE FOUR INCHES (4") OF TOPSOIL SPREAD OVER THE SURFACE AND GRASSED AS SOON AS POSSIBLE IN CONSTRUCTION PROCESS. THIS PHASE OF CONSTRUCTION IS CRITICAL IN THE EROSION AND SEDIMENT CONTROL PROCESS.
10. STORM SEWERS SHOULD BE INSTALLED AS SOON AS POSSIBLE IN THE CONSTRUCTION PROCESS AND CONCURRENT TO GRADING OPERATIONS WHENEVER POSSIBLE TO ENSURE A SUCCESSFUL PROGRAM. CONSTRUCTION RUN-OFF SHALL BE DIRECTED TO STORM SEWER SYSTEM AS SOON AS POSSIBLE.

C. PHASE 3: STORM DRAINAGE AND UTILITY INSTALLATION PLAN – THIS PHASE WILL BE COMPLETED AFTER OR CONCURRENT WITH THE GRADING PHASE, PHASE 2. STORM SEWERS SHALL BE INSTALLED AND PUT INTO SERVICE AS EARLY IN THE GRADING PROCESS AS POSSIBLE. THE FOLLOWING WILL APPLY TO THIS PHASE OF CONSTRUCTION:

1. ALL ASPECTS OF THE PREVIOUS PHASES SHALL BE MAINTAINED AS APPLICABLE.
2. STORM SEWERS THAT ARE INSTALLED SHALL BE PUT INTO SERVICE IMMEDIATELY. THE INLETS OF ALL STORM SEWERS SHALL BE PROTECTED WITH SILT TRAPS THAT PREVENT SEDIMENT FROM ENTERING PIPE. THIS PROTECTION CAN BE SILT FENCE OR RIP-RAP FILTER BERMS AS APPLICABLE AND SHOWN ON THE PLANS.
3. RIP-RAP AS SHOWN ON THE PLANS AND AS REQUIRED ON THE SITE WILL BE INSTALLED AT EMERGENCY SPILLWAYS TO PREVENT EROSION DUE TO OUTFLOW WATER VELOCITY. RIP-RAP SHALL BE EXTENDED DOWNSTREAM AS NEEDED TO PREVENT EROSION.
4. ADDITIONAL SILT FENCING SHALL BE INSTALLED AS NECESSARY TO PREVENT EROSION AND SILTATION RESULTING FROM STOCKPILED EXCAVATION MATERIAL FROM UTILITY INSTALLATION OPERATIONS.

D. PHASE 4: FINISH GRADING, CURB AND PAVEMENT INSTALLATION, LANDSCAPING – THIS IS THE WRAP-UP STAGE WHEN ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES WILL BE PHASED OUT. THE FOLLOWING WILL APPLY TO THIS PHASE:

1. ALL FACILITIES FROM PHASE 1 THROUGH PHASE 4 WILL BE MAINTAINED, MODIFIED, OR REMOVED WHEN APPROPRIATE.
2. SILT TRAPS AROUND DRAINAGE INLETS WILL BE MAINTAINED, MODIFIED AS NECESSARY, AND REMOVED WHEN APPROPRIATE.
3. ALL AREAS NOT RECEIVING PAVEMENT OR BUILDINGS SHALL HAVE FOUR INCHES (4") OF TOPSOIL SPREAD OVER THE AREA AND GRASSED, OR HAVE LANDSCAPING, MULCHING AND/OR SOD INSTALLED PER THE PLANS.
4. CONTRACTOR MAY TEMPORARILY COVER SOME AREAS WITH 2½ " THICK GRADED AGGREGATE IN LIEU OF GRASSING FOR TEMPORARY EROSION CONTROL.

E. LANDSCAPING / SEEDING

REFER TO LANDSCAPING PLAN FOR ACTUAL REQUIREMENTS FOR THE INSTALLATION OF LIME, FERTILIZER, SEED, AND MULCH. GRASSING OPERATIONS SHALL BE COMPLETED THROUGHOUT CONSTRUCTION PROCESS AT THOSE TIMES WHEN PORTIONS OF THE SITE ARE FINISHED AND READY FOR PERMANENT GROUND COVER. THIS WILL REQUIRE MULTIPLE EFFORTS BY THE GRASSING SUBCONTRACTOR TO STABILIZE ALL IMPACTED AREAS OF THE SITE IN AN ORDERLY FASHION. NO AREA OF THE SITE THAT RECEIVES FINAL GRADE SHALL BE LEFT FOR MORE THAN SEVEN (7) DAYS WITHOUT THE APPLICATION OF SEED AND MULCH.

F. INSPECTION AND MAINTENANCE INSTRUCTIONS:
THE FOLLOWING WILL APPLY TO MAINTAINING EROSION AND SEDIMENT CONTROL FACILITIES

1. ALL EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE INSPECTED REGULARLY TO ENSURE THEY ARE EFFECTIVE IN THE EVENT OF RAINFALL MEASURES SHALL BE INSPECTED ONCE A WEEK (MINIMUM) AND WITHIN TWENTY-FOUR (24) HOURS AFTER EACH RAINFALL EVENT. ANY DAMAGED OR NONFUNCTIONAL FACILITY SHALL BE REPAIRED OR REPLACED IMMEDIATELY. WEEKLY INSPECTION REPORTS SHALL BE KEPT ON FILE IN THE CONSTRUCTION TRAILER.
2. SEDIMENT TRAPS SHALL BE CHECKED REGULARLY FOR SEDIMENT CLEANOUT. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF (½) THE DESIGN VOLUME OF THE WET STORAGE. SEDIMENT REMOVED FROM THE TRAP SHALL BE DEPOSITED IN SUITABLE AREAS AND IN SUCH A MANNER THAT IT WILL NOT ERODE AND CAUSE CONTINUED SEDIMENTATION PROBLEMS.
3. GRAVEL OUTLETS AND CHECK DAMS SHALL BE INSPECTED REGULARLY FOR SEDIMENT BUILDUP WHICH WILL PREVENT DRAINAGE. IF THE GRAVEL IS OBSTRUCTED BY SEDIMENT, IT SHALL BE REMOVED AND CLEANED OR REPLACED.
4. SILT FENCE BARRIERS SHALL BE CHECKED REGULARLY FOR UNDERMINING OR DETERIORATION OF THE FABRIC. SEDIMENT SHALL BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES ONE-THIRD THE HEIGHT OF THE BARRIER.
5. SEEDED AREAS SHALL BE CHECKED REGULARLY TO ENSURE A GOOD STAND IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RE-SEEDED AS NECESSARY.
6. IF ANY FACILITY IS DAMAGED DURING MAINTENANCE, OR OTHERWISE, THE DAMAGED PORTION SHALL BE REMOVED AND REPLACED ACCORDING TO THE ASSOCIATED DETAIL.
7. IF SILT HAS OBSTRUCTED THE SEDIMENT CONTROL FACILITY TO THE POINT OF ELIMINATING ALL FILTERING EFFECTIVENESS, THE STRUCTURE SHALL BE REMOVED AND REPLACED WITH A NEW STRUCTURE IN ACCORDANCE WITH THE ASSOCIATED DETAIL.
8. CONSTRUCTION STAGING AREA SHALL HAVE ADDITIONAL STONE ADDED AS MUD COVERS STONE, UNDER WET SOIL CONDITIONS, TIRES SHALL BE WASHED PRIOR TO ENTERING A PAVED ROADWAY.

G. MAINTAINING EFFECTIVENESS:

CONTRACTOR SHALL INSPECT OVERALL PERFORMANCE OF EROSION AND SEDIMENT CONTROL FACILITIES AND AREAS DOWNSTREAM. IF SILT IS APPARENT DOWNSTREAM FROM STRUCTURES, SOME FAILURE HAS OCCURRED. IF SEDIMENT IS OBSERVED DOWNSTREAM, NOTIFY THE CIVIL ENGINEER. THE CIVIL ENGINEER WILL INSPECT THE CONDITION AND AFTER INSPECTION, DIRECT THE REMOVAL OF ACCUMULATED SEDIMENT DOWNSTREAM AND ADD ADDITIONAL STRUCTURAL MEASURES AS NECESSARY. CONTRACTOR SHALL IMPLEMENT RECOMMENDED SOLUTIONS TO PROBLEM AREAS AS RECOMMENDED.

III. COMPLETION

A. PROJECT CLOSE OUT:
THE FOLLOWING SHALL BE DONE AT THE END OF THE PROJECT

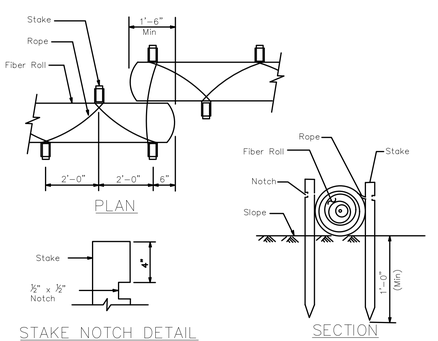
1. INSPECT SITE TO ENSURE THAT GROUND COVER IS COMPLETE AND ADEQUATE. ALL AREAS SHOULD BE EITHER PAVED OR HAVE SUFFICIENT GROUND COVER (MINIMUM 80% VEGETATIVE COVER) WITH NO APPARENT EROSION.
2. WHEN GROUND COVER INSPECTION IS MADE AND APPROVED, ALL STRUCTURAL EROSION CONTROL FACILITIES MAY BE REMOVED ALONG WITH ANY ACCUMULATED SILT AND DEBRIS. AREAS DISTURBED BY STRUCTURE REMOVAL SHALL BE FINE GRADED, GRASSED, AND MULCHED AS REQUIRED.
3. IF GROUND COVER INSPECTION IS MADE AND PROBLEMS DISCOVERED, PERFORM APPROPRIATE REPAIR MEASURES AND RE-INSPECT PRIOR TO STRUCTURE REMOVAL.
4. ALL CONSTRUCTED AND EXISTING STORM SEWERS SHALL BE INSPECTED UPON REMOVAL OF INLET PROTECTION. STRUCTURES CONTAINING SEDIMENT AND / OR CONSTRUCTION DEBRIS SHALL BE VACUUM CLEANED PRIOR TO FILING NOTICE OF TERMINATION WITH ENVIRONMENTAL PROTECTION AGENCY.

B. MISCELLANEOUS ISSUES

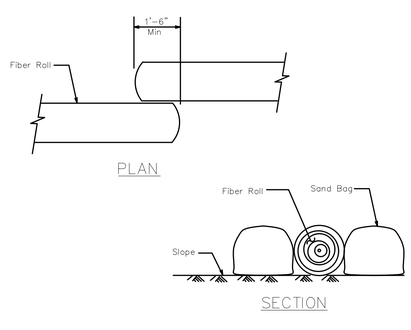
1. NO FUEL OR OIL SHALL BE STORED ON SITE WITHOUT PROPER CONTAINMENT.
2. NO OILS OR GAS SHALL BE DUMPED ON SITE.
3. LOCATION OF TRAILER AND PORTABLE RESTROOM FACILITY SHALL BE FIELD-DETERMINED TO AVOID CONSTRUCTION ACTIVITIES. LOCATION SHALL CHANGE DURING CONSTRUCTION AS NECESSARY.
4. DE-WATERING OPERATIONS ARE NOT REQUIRED ON THIS PROJECT. IF REQUIRED, PUMPED GROUND WATER SHALL BE ROUTED THROUGH SILT CONTROL FACILITY TO FILTER WATER PRIOR TO DISCHARGE.
5. PROJECT SITE SHALL BE KEPT CLEAR OF ALL TRASH AND CONSTRUCTION DEBRIS. CONTRACTOR SHALL HAVE TRASH COLLECTED WEEKLY AND PLACED IN DUMPSTER TO BE HAULED OFF-SITE.
6. ALL WATER SUPPLY WILL BE PROVIDED FROM PUBLIC WATER SUPPLY.
7. ALL HUMAN WASTE SHALL BE IN PORTABLE RESTROOM FACILITY OR IN TOILET CONNECTED TO PUBLIC SEWER SYSTEM. WASTES SHALL BE DISPOSED OF BY A LICENSED VENDOR OR IN A PUBLIC SANITARY SEWER SYSTEM.
8. ANY SPILLED OIL, GAS, ETC. RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE CONTAINED AND CLEANED IMMEDIATELY. CONTAMINATED SOILS SHALL BE DISPOSED OF IN AN APPROVED MANNER AT A LICENSED LANDFILL.
9. DUST SUPPRESSION OPERATIONS SHALL BE PERFORMED BY MEANS OF A WATER TRUCK DISTRIBUTING A FINE MIST OF WATER ON THE SITE SURFACE. CONCENTRATED STREAMS OF WATER SPRAY SHOULD BE AVOIDED.
10. A DESIGNATED CONCRETE SPOILS AREA SHALL BE IDENTIFIED ON THE SITE. ALL AFFECTED SOILS AND CONCRETE SPOILS IN THIS AREA SHALL BE REMOVED FROM THE SITE UPON COMPLETION OF CONCRETE PLACEMENT ACTIVITIES.
11. ANY NON-STORM DISCHARGES SUCH AS, BUT NOT LIMITED TO, FIRE HYDRANT FLUSHINGS, WASH WATERS, DUST CONTROL, IRRIGATION DRAINAGE, ETC., THAT DO NOT CONTAIN HAZARDOUS MATERIALS SHALL BE PREVENTED FROM ALLOWING SEDIMENT TRANSPORT INTO STORM SEWERS. FLUSHINGS THAT CONTAIN HAZARDOUS MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWERS AND SHALL BE COLLECTED AND DISPOSED OF IN AN APPROVED MANNER.

EROSION CONTROL AND MAINTENANCE PLAN NOTES:

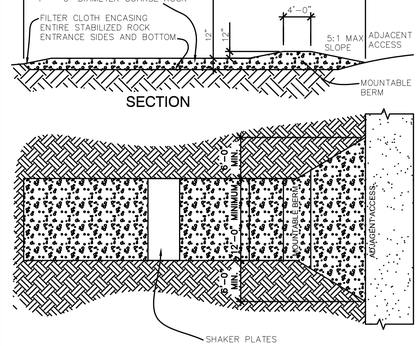
1. RETAIN FLOATABLE WIND BLOWN MATERIALS ON SITE BY STORING ALL TRASH AND BUILDING MATERIAL WASTE IN ENCLOSURES UNTIL DISPOSAL AT OFF-SITE FACILITIES. CHECK ADJACENT AREAS DAILY AND PICK UP CONSTRUCTION WASTE MATERIALS AND DEBRIS THAT HAVE BLOWN OR WASHED OFF SITE.
2. PERMANENTLY STABILIZE ALL SURFACE AREA WITHIN AND ADJACENT TO THIS SITE THAT IS DISTURBED BY VEHICLES, GRADING AND OTHER CONSTRUCTION FOR THE PROPOSED FACILITY. STABILIZATION IS OBTAINED WHEN THE DISTURBED SURFACE IS COVERED WITH STRUCTURES, PAVING AND OR PERENNIAL VEGETATION HAVING A UNIFORM COVERAGE DENSITY OF AT LEAST 70%. STABILIZATION OF ALL DISTURBED AREA IS REQUIRED BEFORE TERMINATING MAINTENANCE AND REMOVAL OF EROSION CONTROL MEASURES.
3. CONTRACTORS SHALL INSPECT POLLUTION CONTROL MEASURES AT LEAST ONCE EVERY 14 DAYS AND WITHIN 24 HOURS AFTER A STORM EVENT OF 1/2 INCH OR GREATER. DAMAGED MEASURES THAT PROVE TO BE INEFFECTIVE SHALL BE REPLACED WITH MORE EFFECTIVE MEASURES OR ADDITIONAL MEASURES WITHIN SEVEN DAYS. REPEATED FAILURE OF A CONTROL MEASURE REQUIRES INSTALLATION OF A MORE SUITABLE DEVICE TO PREVENT DISCHARGE OF POLLUTANTS FROM THE CONSTRUCTION SITE.
4. INSTALLATION OF ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE CITY OR STATE. CONTRACTOR TO VERIFY REQUIREMENTS PRIOR TO BEGINNING ANY WORK ON PROJECT SITE.
5. CARE SHALL BE TAKEN TO MINIMIZE THE ENCROACHMENT OF SEDIMENT INTO ALL STORM DRAIN APPURTENANCES, PUBLIC STREETS, AND ONTO PRIVATE PROPERTY UNTIL IMPERVIOUS MATERIAL (ROAD/PARKING AREA SURFACE) IS APPLIED OR UNTIL PROPOSED LANDSCAPE HAS BEEN ESTABLISHED.
6. REFER TO 3/C2 FOR FILTREXX® SILTSOXX™ CONSTRUCTION.
7. **ALL GRASS SLOPES WHICH EXCEED 3:1 (H:V) SHALL UTILIZE CONTECH CONSTRUCTION PRODUCTS PERMANENT TURF REINFORCEMENT MATS TRM 450 OR APPROVED EQUAL MATS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND STANDARDS. CONTRACTOR SHALL COORDINATE INSTALLATION INSPECTION WITH MANUFACTURER.**



1 TEMPORARY FIBER ROLL — NO SCALE



2 TEMPORARY FIBER ROLL WITHOUT STAKES — NO SCALE



3 CONSTRUCTION ENTRANCE — NO SCALE

STABILIZED CONSTRUCTION ENTRANCE NOTES

A. STONE SIZE – USE #2 STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT

B. LENGTH – AS REQUIRED, BUT NOT LESS THAN 50 FEET

C. DEPTH – 12 INCHES

D. WIDTH – TWENTY (20) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS

E. FILTER CLOTH – PLACE OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE

F. SURFACE WATER – ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED

G. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

H. WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE. USE WATERING TRUCK OR ONSITE SUPPLY AS AVAILABLE.

I. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN EVENT

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11/29/2018

MARK	DATE	REVISION
2	1-29-18	RESPONSE TO COMMENTS
1	11-29-18	RESPONSE TO COMMENTS

NEW S.F.R. CONSTRUCTION FOR DEWETT RESIDENCE
VIRGINIA AVENUE
MOSS BEACH, CA 94038

Project Number
CTE17006

Sheet Name
EROSION CONTROL PLAN

Sheet Number
C4