

0.07 0 0.04 0.07 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
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1:2,257 

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THIS MAP IS NOT TO BE USED FOR NAVIGATION

Planning Permit Application Form

455 County Center, 2nd Floor • Redwood City, CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849
www.co.sanmateo.ca.us/planning

PLN: **PLN2019-004**
BLD:

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MAY 15 2019
San Mateo County
Planning Division

Applicant/Owner Information

Applicant: Timothy Pond
Mailing Address: 651 Potter Avenue
Yhalf Moon Bay Zip: 94019
Phone, W: 6505767177 H:
E-mail Address: timcpond@gmail.com FAX:

Name of Owner (1): Crossbridge Third LLC
Mailing Address: 312 Gateway Drive
Pacifica CA 94044
Zip:
Phone, W: 6503031216
H:
E-mail Address: kristijan@scoastalestates

Name of Owner (2):
Mailing Address:
Zip:
Phone, W:
H:
E-mail Address:

Project Information

Project Location (address):
285 3rd Street
Montara
Zoning: R1

Assessor's Parcel Numbers: 36 — 14 — 180
Parcel/lot size: 5,000 SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)

1145 square foot, two story addition to 1252 sq ft two story single family Residence on 6000 sq ft lot.
Water and sewer by MWSD.

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):

Gently down sloping lot at about 10%. Existing landscaping to remain where possible

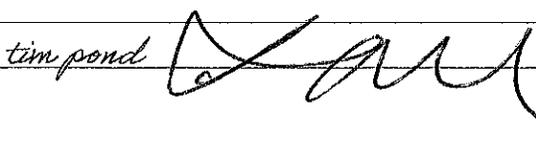
Describe Existing Structures and/or Development:

existing two story residence on the property

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature:

Owner's signature:

Applicant's signature: *tim pond* 

Environmental Information Disclosure Form

Planning and Building Department

PLN 2019-00471

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NOV 15 2019

San Mateo County Planning Division

Project Address: 285 Third street
 Montara
 Assessor's Parcel No.: 360 — 014 — 180
 Zoning District:

Name of Owner: Crossbridge Third LLC
 Address: 312 Gateway Drive
 Pacifica CA Phone: 6503031216
 Name of Applicant: Tim Pond
 Address: 651 Potter Avenue Half moon Bay
 Phone: 6505767177

Existing Site Conditions

Parcel size: 5000

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). There is an existing two story residence on the property with lot coverage of about 625 sq ft

There is an existing two story residence on the property with lot coverage of about 625 sq ft

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>clearing only for foundation</u> c.y. Fill: <u>NO cut or fill</u> c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

Land Clearing or Grading "yes" response explanation:

Grubbing of about 100 square feet of the lot to facilitate the construction of the addition.

Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

This is an addition to a legally constructed house with additional footprint of about 650 sq ft.

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: *tim pond*

Date: 11.4.19

(Applicant may sign)

Application for a Coastal Development Permit

Companion Page

Applicant's Name: Timothy Pond

Primary Permit #:

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San Mateo County
Planning Department

PLN2019-00474

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

2. Basic Information

Does the owner or applicant own any adjacent property not listed?

Yes No

If yes, list Assessor's Parcel Number(s):

Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?

Yes No

If yes, explain (include date and application file numbers).

3. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks:	Material	Color/Finish	Check if matches existing
a. Exterior Walls	Hardi Bat and board siding	B-Moore Gunmetal	<input type="checkbox"/>
b. Trim	Hardie panel	B-moore Graphite	<input type="checkbox"/>
c. Roof	Comp shingle and single ply	Grey	<input type="checkbox"/>
d. Chimneys	Same as exterior walls		<input type="checkbox"/>
e. Accessory Buildings	NA		<input type="checkbox"/>
f. Decks/Stairs	Glass Rail		<input type="checkbox"/>
g. Retaining Walls	NA		<input type="checkbox"/>
h. Fences	Redwood		<input type="checkbox"/>
i. Storage Tanks	NA		<input type="checkbox"/>

Does this project, the parcel on which it is located or the immediate vicinity involve or include:

- | | Yes | No |
|---|-------------------------------------|-------------------------------------|
| a. Demolition of existing housing units? (If yes, give value of owner-occupied units or current monthly rent of rental units in explanation below.) | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| b. Creeks, streams, lakes or ponds? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| c. Wetlands (marshes, swamps, mudflats)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| d. Beaches? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| e. Sand Dunes? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| f. Sea cliff, coastal bluffs or blufftops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| g. Ridgetops? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| h. Pampas Grass, invasive brooms or Weedy Thistle? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| i. Removal of trees or vegetation? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| j. Grading or alteration of landforms? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| k. Landscaping? | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| l. Signs? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| m. Phone or utility line extensions or connections, either above or below ground (explain which)? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| n. Areas subject to flooding? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| o. Development on slopes 30% or steeper? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

- | | | |
|--|--------------------------|-------------------------------------|
| p. Between the sea and the nearest public road? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| q. Existing or proposed provisions for public access to the shoreline? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| r. Public or commercial recreation facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| s. Visitor-serving facilities? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |
| t. Existing or proposed public trail easements? | <input type="checkbox"/> | <input checked="" type="checkbox"/> |

Explain all Yes answers below. Indicate whether the item applies to the project itself, the parcel on which it is located, or the immediate vicinity (attach additional sheets if necessary):

Light landscaping to resptore disturbed areas.

Plants to be draught tolerant and there will be no automatic watering system.

California Coastal Commission Jurisdiction

- A. Does the Proposed Project Involve:**
1. A subdivision, Certificate of Compliance Type B, Use Permit, or Planned Agricultural District Permit?
 Yes No
 2. Construction or grading within 100 feet of a stream or wetland?
 Yes No
 3. A parcel located between the sea and the first public through road paralleling the sea; 300 feet from the inland extent of any beach or mean high tide line if there is no beach; or within 300 feet of the top of the seaward face of a coastal bluff?
 Yes No

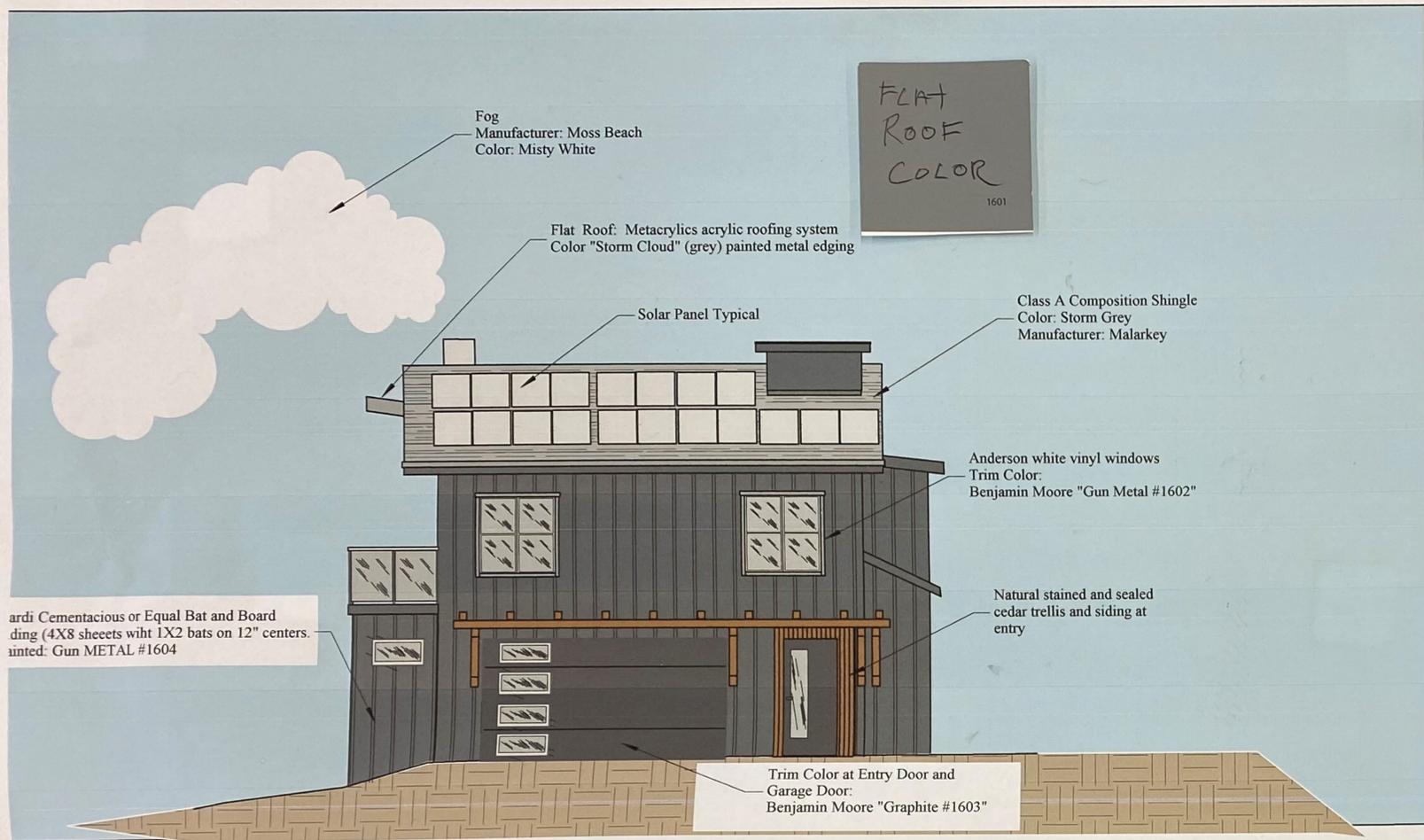
Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal

Commission; a public hearing is always required.

- B. Does the proposed project involve lands below the mean high tide line and lands where the public trust may exist? (See "Post CCP Certification Permit and Appeal Jurisdiction Map).**
- Yes No

Yes to above means that the California Coastal Commission retains permit jurisdiction over all or part of the proposed project. A Coastal Development Permit from that agency is required.

Reviewed by: _____



SMOOTH

Thickness	5/16 in	4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft
Size	4 ft x 8 ft	4 ft x 9 ft	4 ft x 10 ft	
Pcs/Pallet	50	50	50	50
Pcs/Sq	3.2	2.8	2.5	



BODY

TRIM



ENTRY + TRELLIS

285
3RD ST.
MONTARA

PLN2019-00471

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Planning Division



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Furniture Outdoor Bed & Bath Rugs Décor & Pillows Storage Lighting Kitchen Baby & Kids Renovation Appliances Pet Sale

Lighting / Outdoor Lighting / Outdoor Wall Lighting / SKU: GRKS2464

Elisha Outdoor Barn Light

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Select Finish: Imperial Black, \$63.99



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1 >

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Design Your Dream Room

Our designers can help you pull together a look you'll love



Do you have questions about this product?
Our experts are here to help!

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Frequently Bought Together



Bodalla 1-Light Bath Sconce by Beachcrest Home
\$101.99

7



Fredela 'X' Shape Frame 3-Light Flush Mount by Mercer41
\$131.99

12

Sale



Panacea 1-Light Single Schoolhouse Pendant by Beachcrest Home
\$102.24

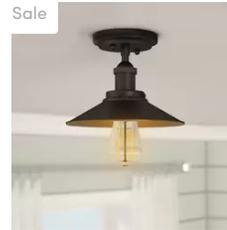
55



Elinna 3-Light Vanity Light by Beachcrest Home
\$182.99

62

Sale



Morganton 1-Light Semi Flush Mount by Breakwater Bay
\$61.99

69

Sale



Brummett 3-Light Vanity Light by Gracie Oaks
\$123.59

178



See All 6



Product Overview

At a Glance



Wet Location



Dimmable



Standard Voltage - Wired (120V)

Description



Greet guests with a warm and welcoming glow before you even reach the front door with this bold barn light, a must-have for any modern farmhouse. Designed to live outdoors, this luminary is built strong with steel so it can resist damage from wind, rain, and sunlight. Its look is a contemporary take on a classic with an arm extending from a rectangular backplate to a single bowl-shaded light. Plus, it's available in two neutral finishes, so you can choose the one that best suits your space.

Product Details

- Power Source: Hardwired

- Dry, Damp or Wet Location Listed: Wet
- Fixture Material: Metal
- Shade Material: Metal
- Bulb Base: E26/Medium (Standard)
- Dimmable: Yes

Weights & Dimensions →

Specifications →

Shipping & Returns →

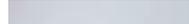
Questions & Answers 9 →

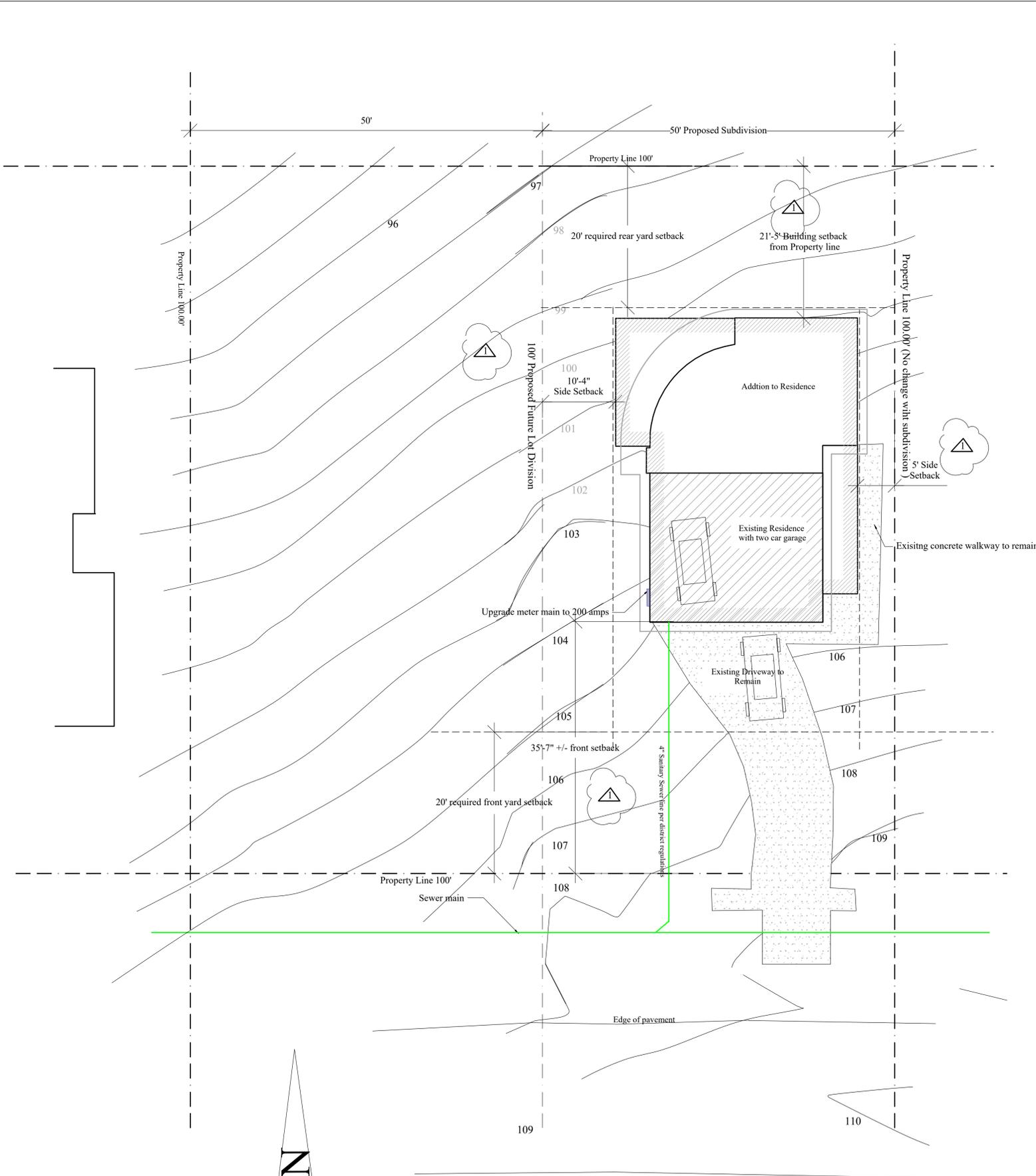
Reviews 120 →

Compare Similar Items

Current Item				
				
Elisha Outdoor Barn Light by Gracie Oaks	Leisureville 1-Light Outdoor Barn Light by Beachcrest Home	Camron Outdoor Flush Mount by Gracie Oaks	Carmo Outdoor Barn Light by Birch Lane™ Herit...	Percy Outdoor Barn Light by Andover Mills
\$63.99	\$68.99	\$85.99	\$42.03	\$52.99
120	53	23	384	356
Add	See Details	See Details	See Details	See Details

Customers Also Viewed

Sale 		Sale 	Sale 		Sale 	Sale 
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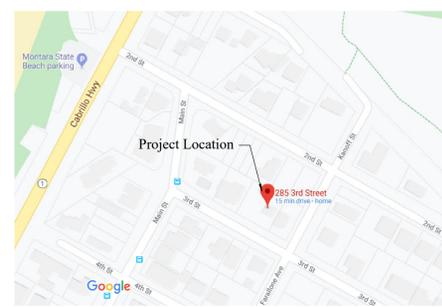


Project Description:
 Two story addition Single Family Residence
 Occupancy R-3
 Building Type V - B w/Automatic Sprinklers
 Cut and Fill = 0 yards
 Zoning R-1 S-17
 Tree impact. NO trees or impacted dripline of trees within 20' the footprint of the building

Parking Analysis: Existing Residence has a two car garage

Lot Topograph and Grading
 Lot is gently sloping down from Third Street
 Elevations and contours are shown
 Existing grade will be generally maintained with the exception of a rain garden depression in the rear setback that will require localized relocation of 4.5 cubic yards

- Project design Utilizes façade articulation per (Section 6300.2(9) of the Zoning Regulations



Area map

Applicable and Governing Codes

- 2016 California Building Code (Volumes 1 and 2)
- 2016 California Residential Code
- 2016 California Green Building Standards Code (CALGreen)
- 2016 California Electrical Code
- 2016 California Mechanical Code
- 2016 California Plumbing Code
- 2016 California Fire Code
- 2016 California Administrative Code
- 2016 California Energy Code
- Coastside Fire Protection District Code

Project Address:
 285 3rd Street
 Montara CA
 APN 036-014-180

Owner:
 Crossbridge Third LLC
 312 Gateway Drive
 Pacifica CA 94044
 Owner Contact
 kristijan@sfcoastalestates.com
 Kristijan Higdon (650) 303-1216

Designer: Tim Pond
 Tim Pond Design and Construction
 Phone (650) 576-7177 Timepond@gmail.com

Drawn By TP	Scale 1/8" = 1'
Revisions/Submittals	Date
Planning Submittal	1.08.20
Planning comments 12/17/20	
Plot Plan Planning Data	A1.0
Project Summary	

Index to Sheets

- A1.0 Plot Plan, Title, Planning Info
- Topographic Survey
- BMP Sheet
- A1.2 Landscape and Drainage plan
- A1.3 Erosion Control Plan
- A2.1 Floor Plans
- A2.2 Existing Floor Plans and Elevations
- A2.3 Floor Area Analysis
- A3.1 Elevations
- A3.2 Sections

Fire Protection Notes

1. Smoke Detectors which are hard wired: As per the California Building Code, State Fire Marshal regulations, and Coastside Fire District Ordinance 2016-01, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and recondition sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. Date of installation must be added to exterior of the smoke alarm and will be checked at final.
2. Smoke alarm/detector are to be hardwired, interconnected, or with battery back-up. Smoke alarms to be installed per manufactures instruction and NFPA 72.
3. Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet, 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor. (CFC 1030).
4. Identify rescue windows in each bedroom and verify that they meet all requirements. Add this to plans.
5. As per Coastside Fire District Standard CI-013, building identification shall be conspicuously posted and visible from the street. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 1/2-inch stroke. Such letters/numerals shall be internally illuminated and facing the direction of access. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance aiding to the building and/or on each individual building shall be required by the outside Fire District. This remote signage shall consist of a 6 inch by 18 inch green reflective metal sign with 3 inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent shall be placed at the entrance from the nearest public roadway. As per Coastside Fire District Ordinance 2016-01, the roof covering every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
6. Vegetation Management (LRA): The Coastside Fire District Ordinance 2016-01, the 2016 California Fire Code 304.1.2 fuel break of defensible space is required around the perimeter of all structures to a stance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10' to adjacent trees when fully grown or at maturity. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5' of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.
7. Fire Access Roads – Add note to plans: The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The City of Half Moon Bay Department of Public Works, San Mateo County Department of Public Works, the outside Fire District Ordinance 2016-01, and the California Fire Code shall set road standards. As per the 2016 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Coastside Fire District specifications. As per the 2016 CFC, Section Appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction. Approved signs and painted curbs or cones shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20 foot road) and on-street parking is desired, an additional improved area shall be developed for that use. *IF addition remodel is greater than 17 points you can disregard this requirement.
8. As per 2016 CFC, Appendix B and C, a fire district approved fire hydrant (Flow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2016 CFC, Appendix B the hydrant must produce a minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details. *IF addition remodel is greater than 17 points you can disregard this requirement.
9. Automatic Fire Sprinkler System: (Fire Sprinkler plans will require a separate permit). As per San Mateo County Building Standards and Coastside Fire District Ordinance Number 2016-01, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. Sprinkler coverage shall be provided throughout the residence to include all bathrooms, garages, and any area used for storage. The only exception is small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Division or The City of HMB. A building permit will not be issued until plans are received, reviewed and approved. Upon submission of plans, the County or City will forward a complete set to the Coastside Fire District for review.

Planning Data			
Lot Coverage			
Existing Lot Coverage			
Two Story Residence and Garage		626	sq. ft.
Total		626	sq. ft.
Lot Size	100 ft	100 ft	10000 sq. ft.
Existing Lot Coverage	626 / 10000	or	6.26 %
Proposed New Lot Coverage			
Existing Lot Coverage		626	sq. ft.
New Addition Lot coverage		799.65	sq. ft.
Decks < 18"		0	sq. ft.
Total		1425.65	sq. ft.
Proposed Lot Coverage	1425.65 / 10000	or	14.2565 %
Floor Area Ratio (FAR)			
Existing Floor Area Ratio			
Two story Residence w/ Garage		1252	sq. ft.
Total		1252	sq. ft.
Lot Size	ft	ft	10000 sq. ft.
Existing FAR	1252 / 10000	or	12.52 %
Proposed Floor Area Ratio			
Existing FAR		1252	sq. ft.
First floor addition		699.65	sq. ft.
Second Floor Addition		446	sq. ft.
Total		2397.65	sq. ft.
Proposed FAR	2397.65 / 10000	or	23.9765 %

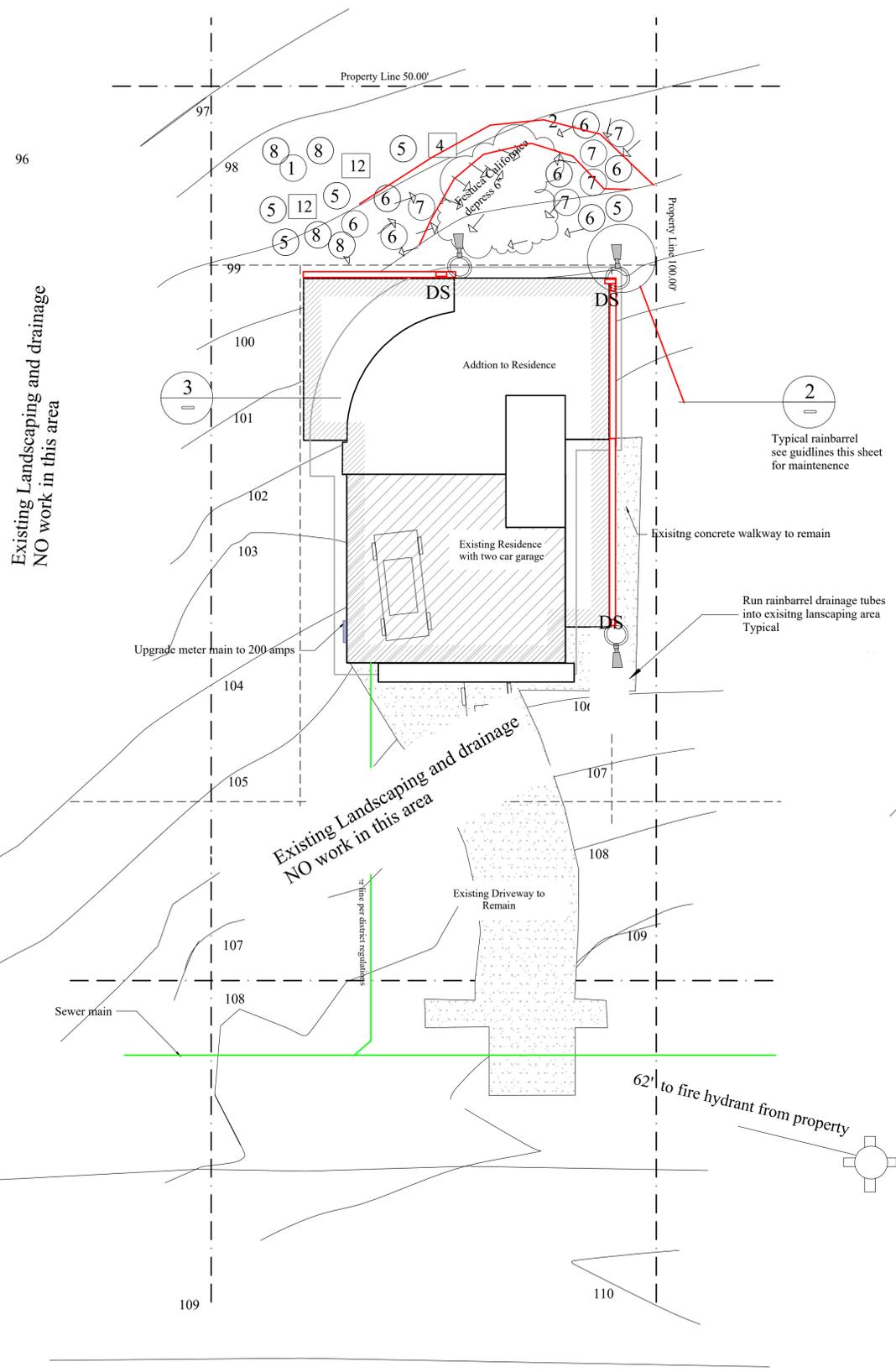
Planning Data Post Subdivision			
Lot Coverage			
Existing Lot Coverage			
Two Story Residence and Garage		626	sq. ft.
Total		626	sq. ft.
Lot Size	50 ft	100 ft	5000 sq. ft.
Existing Lot Coverage	626 / 5000	or	12.52 %
Proposed New Lot Coverage			
Existing Lot Coverage		626	sq. ft.
New Addition Lot coverage		799.65	sq. ft.
Decks < 18"		0	sq. ft.
Total		1425.65	sq. ft.
Proposed Lot Coverage	1425.65 / 5000	or	28.513 %
Floor Area Ratio (FAR)			
Existing Floor Area Ratio			
Two story Residence w/ Garage		1252	sq. ft.
Total		1252	sq. ft.
Lot Size	ft	ft	5000 sq. ft.
Existing FAR	1252 / 5000	or	25.04 %
Proposed Floor Area Ratio			
Existing FAR		1252	sq. ft.
First floor addition		699.65	sq. ft.
Second Floor Addition		446	sq. ft.
Total		2397.65	sq. ft.
Proposed FAR	2397.65 / 5000	or	47.953 %

Project Address:
285 3rd Street
Montara CA
APN 036-014-180

Owner:
Crossbridge Third LLC
312 Gateway Drive
Pacific CA 94044
Owner Contact
kristjan@isfcoalestates.com
Kristjan Higdon (650) 303-1216

Designer: Tim Pond
Tim Pond Design and Construction
Phone (650) 576-7177 Timepond@gmail.com

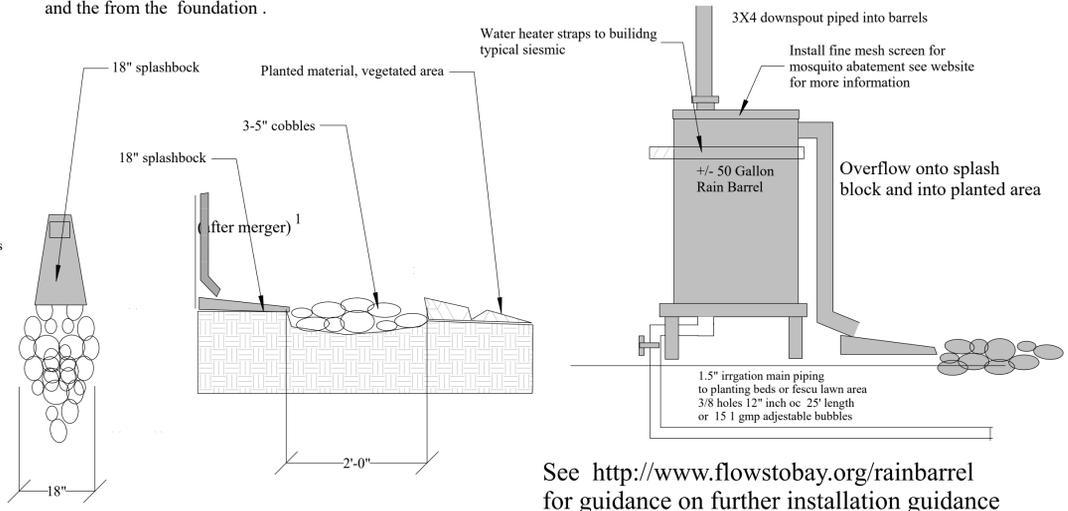
Drawn By TP	Scale 1/8" = 1'
Revisions/Submittals	Date
Building Permit Application Planning Review	10.9.19
A1.1 Drainage and Landscape Plan	A1.0



Landscape area < 2000 sq ft
There is NO irrigation planned on this project. All plants shall be edible or hand watered.
If not prohibited by local law, use stored fog and rain water and grey water from washer and kitchen sink to irrigate.

Compost: Project must incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test).
Plant Water Use (Residential): Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water. Plant Use (Non-Residential): Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 100% of the plant area excluding edibles and areas using recycled water.
Mulch: A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers.
Turf: Total turf area shall not exceed 25% of the landscape area. Turf is not allowed in non-residential projects. Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width. Turf, if utilized in parkways is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff. Turf is not allowed in non-residential projects.

Drainage Narrative:
Rainbarrels will be utilized to store and dissipate rainwater into the irrigation system.
Roof planting and a driveway with planting median will also mitigate stormwater run-off.
rainbarrel overflow will dissipate directly into planted areas and surface water will follow natural contours and drain to the front of the lot and be directed away from neighboring properties and the from the foundation .



See <http://www.flowstobay.org/rainbarrel> for guidance on further installation guidance and information on mosquito control measures

2 - Splashblock and rainbarrel

Planting and Drainage Symbol Legend

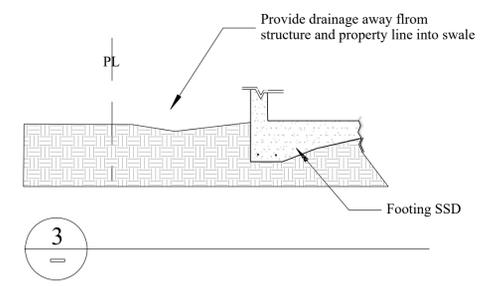
- DS Downspout for Gutter
- ⊙ Rain Barrel with splashblock See detail 3
- ⊗ 1 gallon plant
- ⊗ 5 Gallon Plant
- ↓ surface drainage 2 to 5%
- ① Achillea 'Terra Cotta' (yarrow)
- ② Achillea borealis (island pink yarrow)
- ③ Achillea millifolium (yarrow)
- ④ Aesculus californica (California buckeye)
- ⑤ Arctostaphylos uva-ursi ('Wood's Compact')
- ⑥ Baccharis pilularis (coyote bush)
- ⑦ Calamagrostis foliosa (Leafy Reed Grass)
- ⑧ Calandrinia spectabilis (rock purslane)
- ⑨ Aster chilensis 'Point Saint George' (dwarf California aster)
- ⑩ Artemesia douglasiana (mugwort)
- ⑪ Pinus contorta (shore pine)
- ⑫ Prunus ilicifolia ssp. lyonii (Catalina cherry)
- ⑬ Erigeron karvinskianus - Santa Barbara Daisy

Rain Barrel Design Guidelines See L2 for more information

- Do not use flexible piping, to prevent mosquito breeding in water that may pool in flexible pipes. If irrigating edible landscapes, consider pipes that meet FDA food grade standards.
- When designing the overflow path, remember that in heavy storms rain barrels and cisterns will overflow. A 1,000-sq.-ft. roof will produce about 600 gallons of runoff during a storm that has produces a depth of 1 inch of rain.
- There shall be no direct connection of any rain barrel or cistern and/or rainwater collection piping to any potable water pipe system. Rainwater systems shall be completely separate from potable water piping systems.
- Place the bottom of the barrel at a higher elevation than the landscape, to use gravity flow
- All rain barrels and cisterns should have a screen to ensure mosquitoes cannot enter.
- Allow overflow to drain to your landscape or a rain garden. Ensure that areas receiving overflow do not have standing water for more than 48-hours.
- If the water is not needed for irrigation during the rainy season, consider releasing the water to a vegetated area between storms, so the barrels will be empty to catch rain from the next storm. This will help protect your watershed by reducing the quantity and speed of water entering local creeks during storms. Install a spigot and drip tape to allow the rain barrel or cistern to slowly drain between storms. You can store the water captured towards the end of the rainy season to irrigate your garden in the dry season.

Monthly Maintenance Items for Rainbarrels See Sheet L2 for more information

- Monthly check the gutters and gutter guards to make sure debris is not entering the rainwater harvesting system.
- Inspect the screens on the rain barrel or cistern prior to the wet season to make sure debris is not collecting on the surface and that there are not holes allowing mosquitoes to enter the rain barrel. Inspect screens more frequently if there are trees that drop debris on the roof.
- Clean the inside of the rain barrel once a year (preferably at the end of the dry season when the rain barrel has been fully drained) to prevent buildup of debris. If debris cannot be removed by rinsing, use vinegar or another non-toxic cleaner. Use a large scrub brush on a long stick, and avoid actually entering the rain barrel. Drain washwater to landscaping.
- Clean out debris from cisterns once a year, preferably at the end of the dry season.

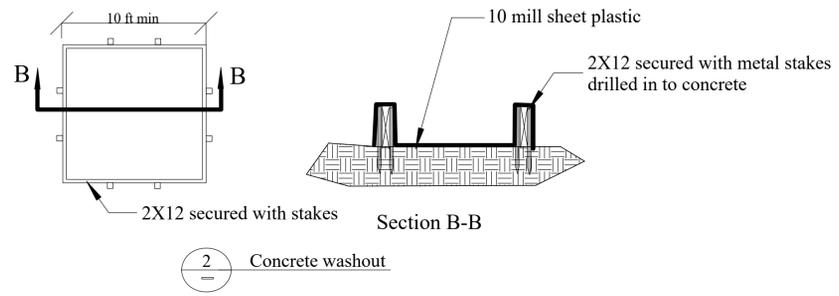
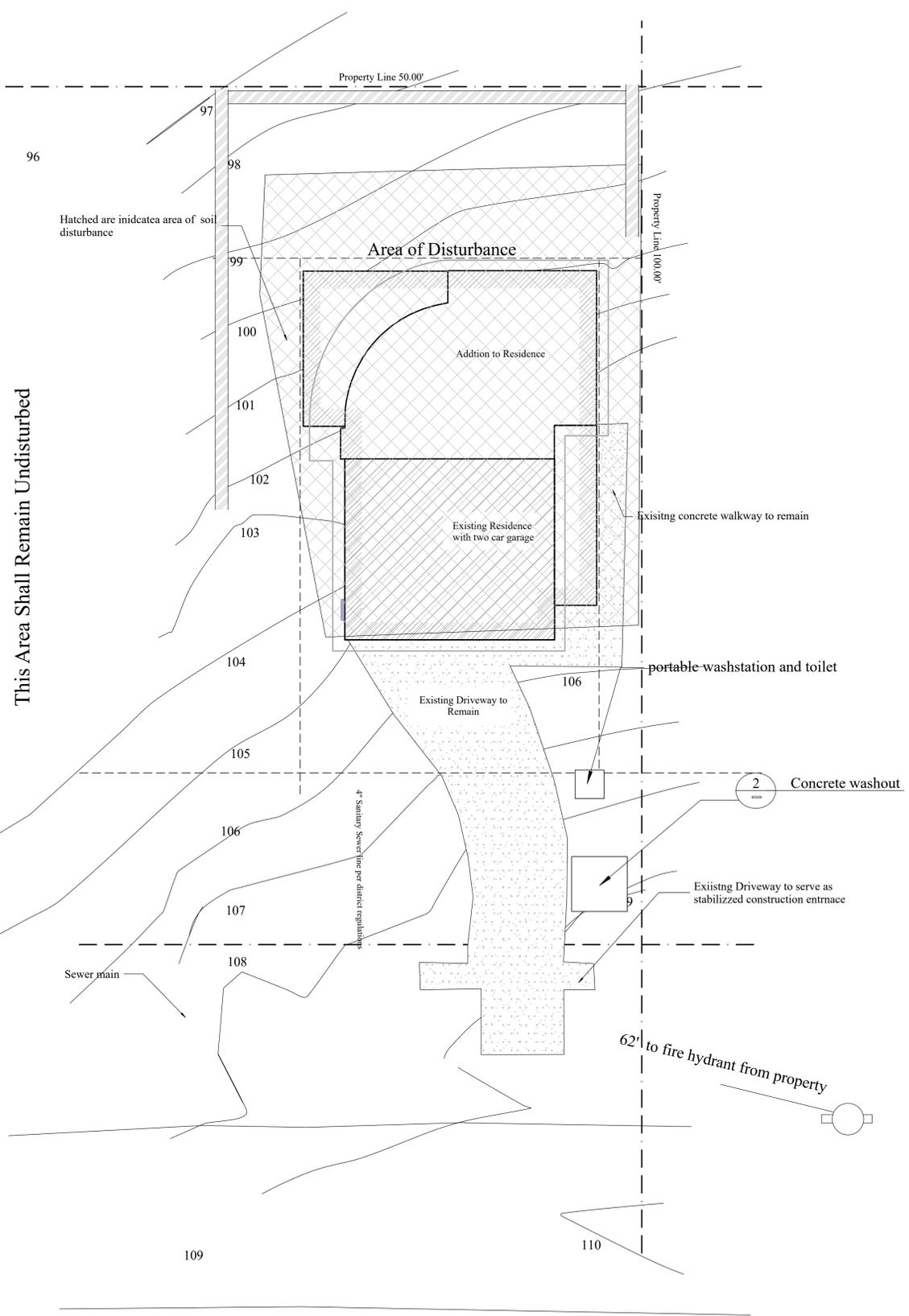


Project Address:
285 3rd Street
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Owner:
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Designer: Tim Pond
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Drawn By TP	Scale 1/8" = 1'
Revisions/Submittals	Date
Planning Submittal Planning comments 12/17/20	1.08.20
Erosion Control Plan	A1.3



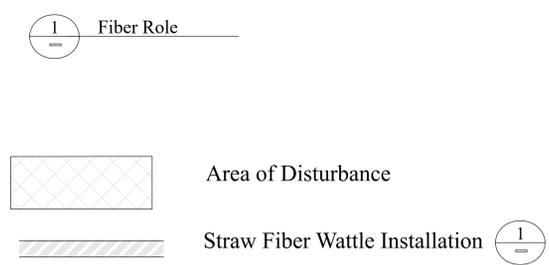
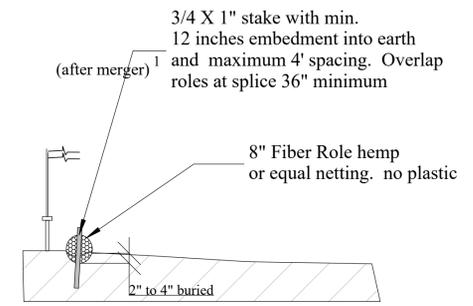
Note: Most concrete trucks will provide washout back into truck and this is preferable using this wash out

C.6 Compliance and General Notes:

Point of erosion control contact Tim C. Pond
650 576 7177

1. Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
2. Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
3. Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
4. Construction sites are required to have erosion control materials on-site during the "off-season."
5. Use of plastic sheeting between October 1 and April 30 is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.
6. Tree protection shall be in place before any demolition grading, excavating or grubbing is started.
7. See BMP sheet for more information
9. The areas delineated on the plans for parking, grubbing, storage, etc., shall not be enlarged or "run over."
10. The areas delineated on the plans for parking, grubbing, storage, etc., shall not be enlarged or "run over."
11. Provide dust control year-round
12. There shall be no stockpiling of earthen materials on site.

(Note Added)

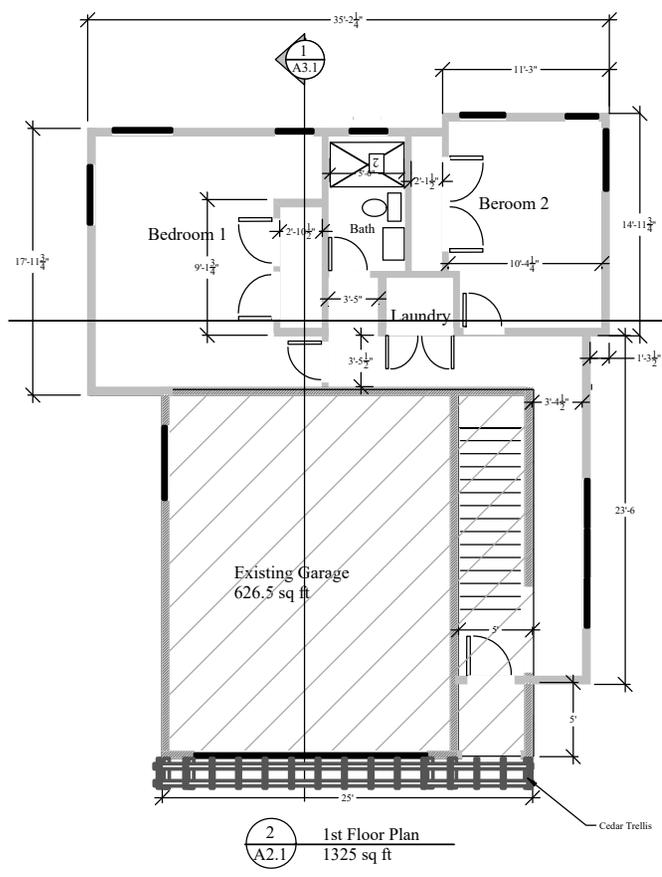


Project Address:
 285 1st Street
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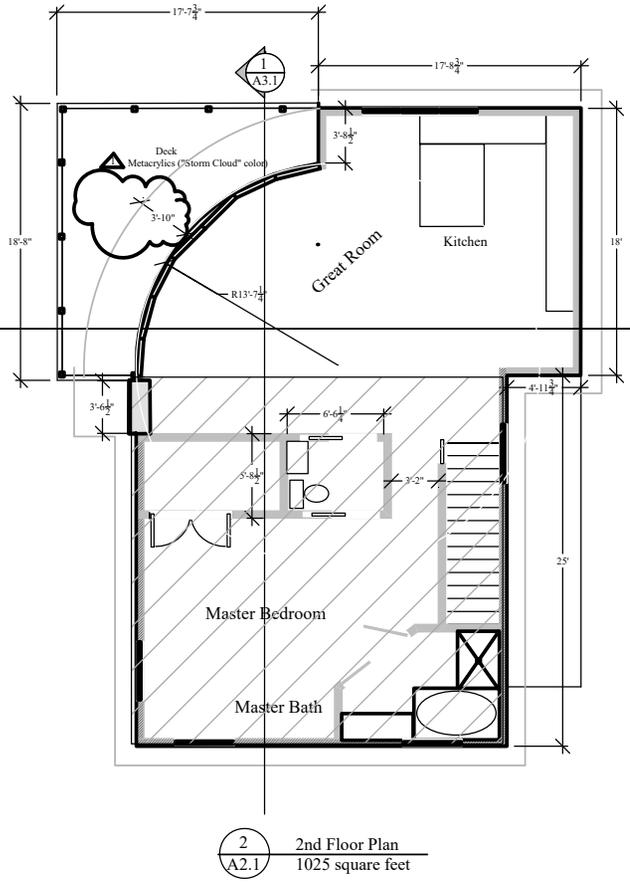
Owner:
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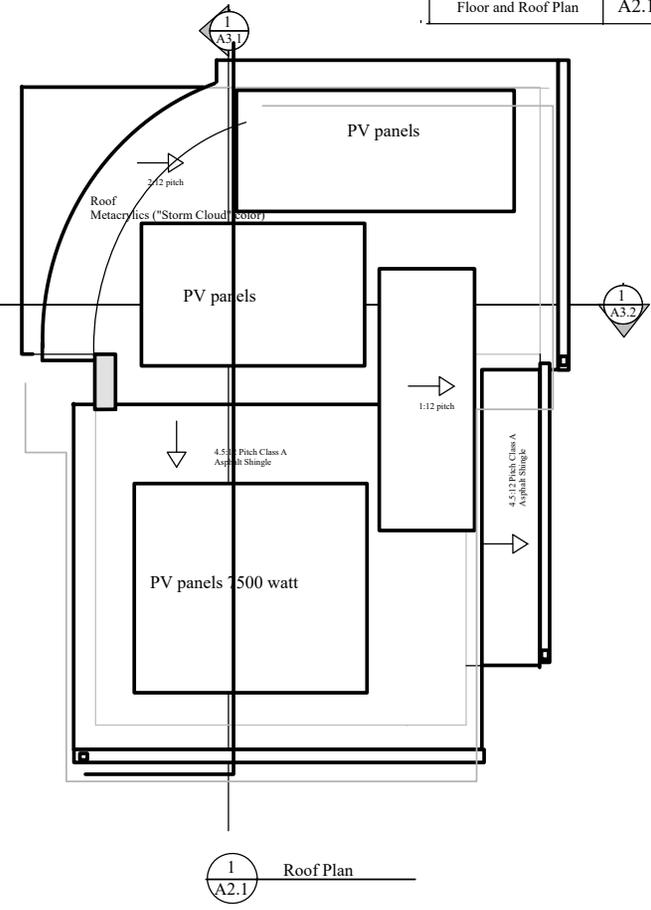
Revisions	Date
▲ Planning Submittal Planning comments 12/17/20	12.20.19
Floor and Roof Plan	A2.1



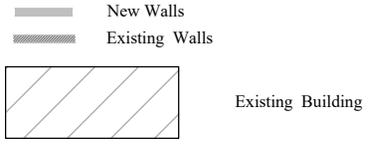
2/A2.1 1st Floor Plan
1325 sq ft

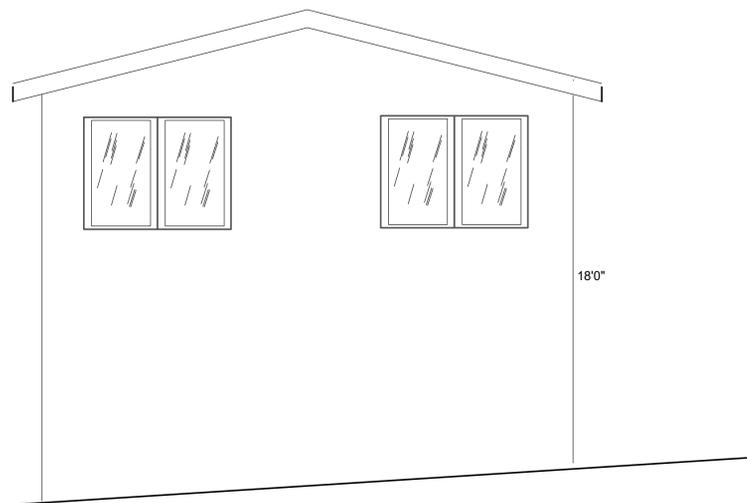


2/A2.1 2nd Floor Plan
1025 square feet



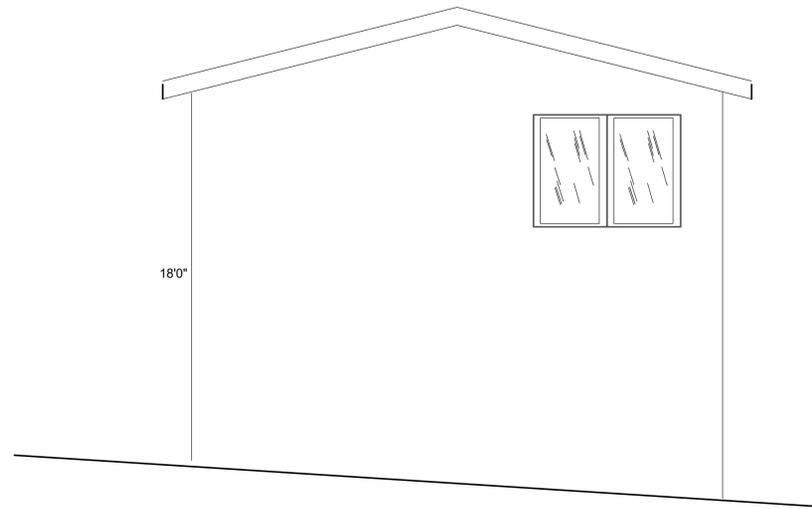
1/A2.1 Roof Plan





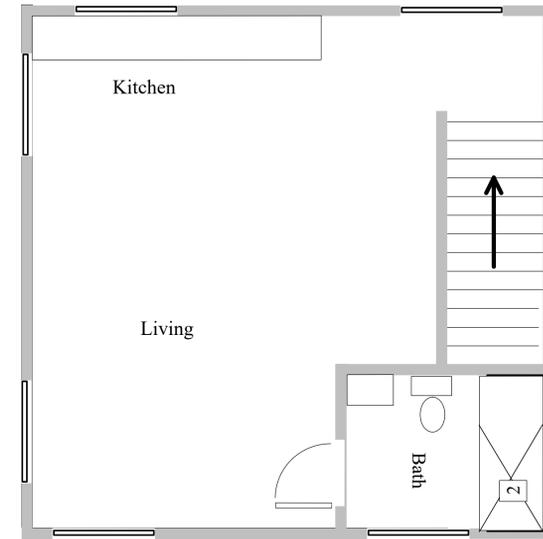
West Elevation

1
A2.2

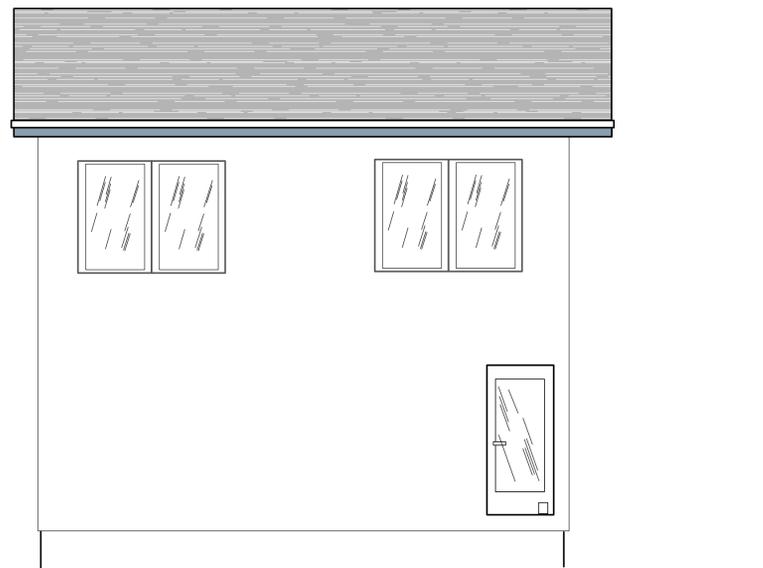


East Elevation

A2.2

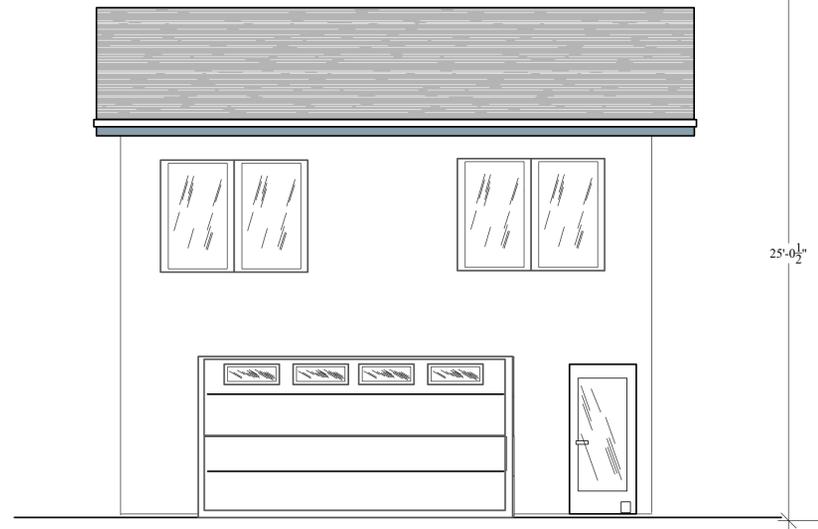


Existing Second Floor



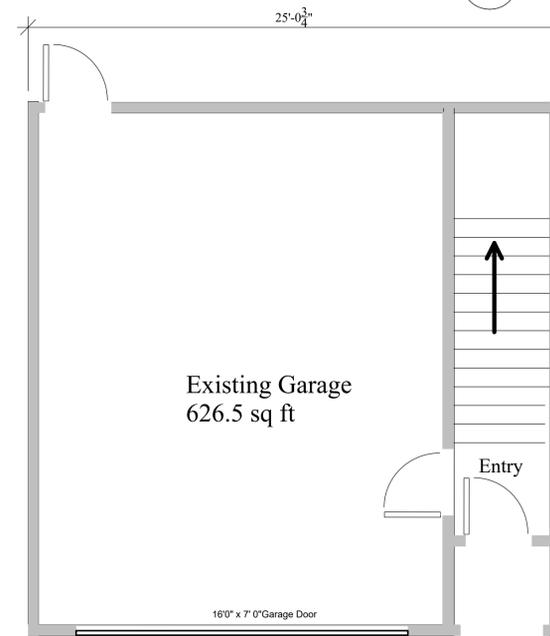
North elevation

A2.2

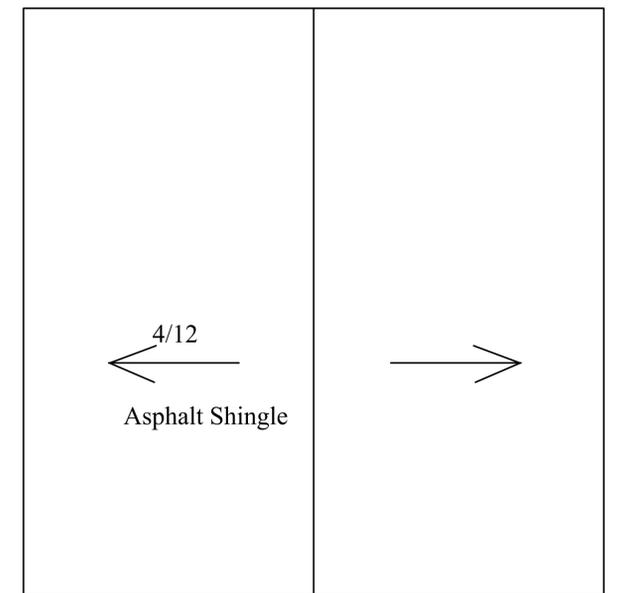


South Elevation

3
A2.2



Existing Ground Floor



Existing Roof Plan

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Drawn By TP Scale 1/4" = 1'

Revisions	Date
Planning Submittal Planning comments 12/17/20	1.08.20

Existing Elevations and Floor Plans	A2.2
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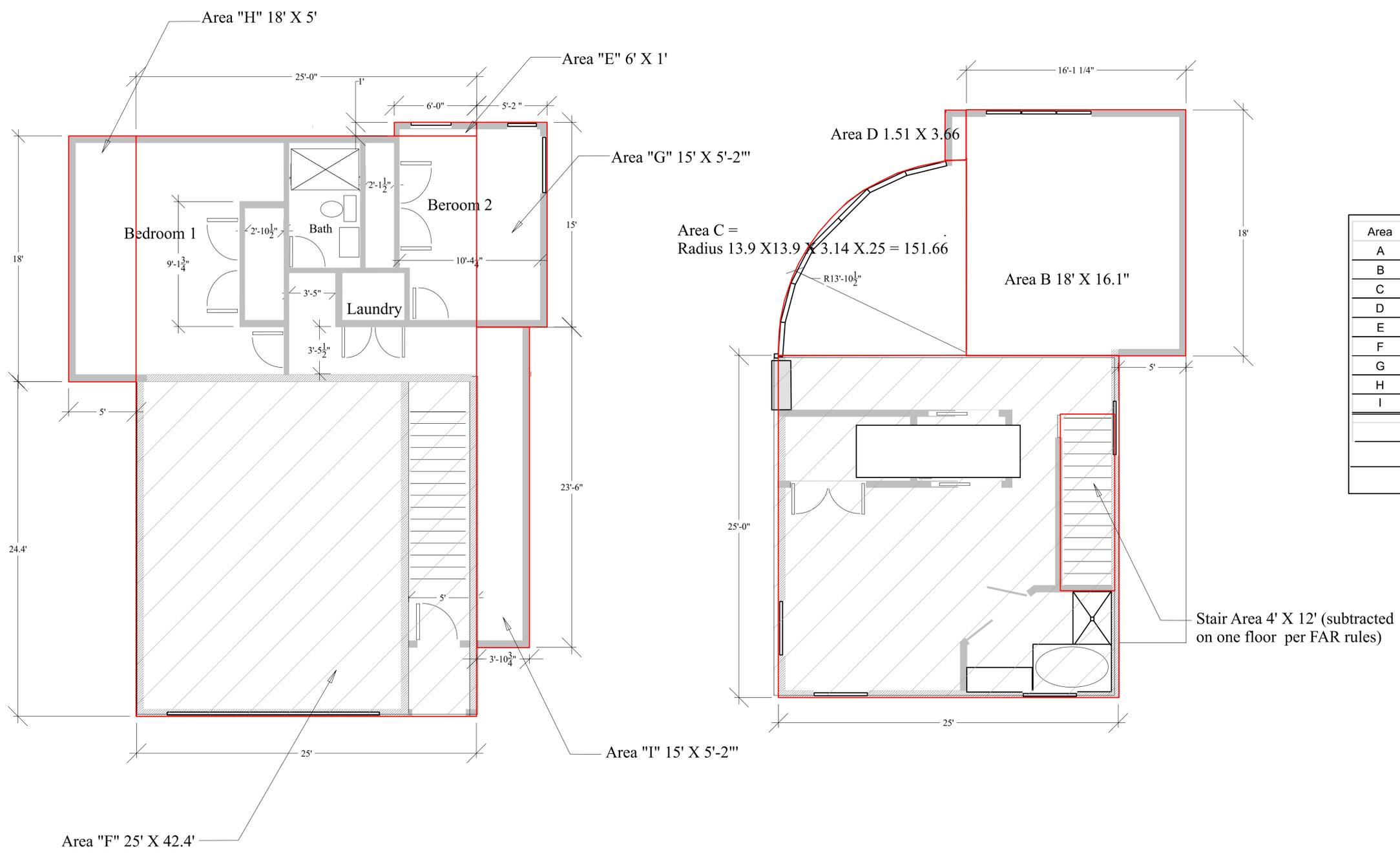
Project Address:
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Drawn By TP Scale 1/4" = 1'

Revisions	Date
▲ Planning Submittal Planning comments 12/17/20	1.08.20
Floor Area Analysis	A2.3



Area	Width	Height	Total
A	25	25	625
B	18	16.1	289.8
C	RADIUS	AREA	151.66
D	1.51	3.66	5.5266
E	6	1	6
F	25	42.4	1060
G	18	5	90
H	15	5.2	78
I	3.9	23.5	91.65
Gross		Total	2397.64
Subtract stairwell Area (48)			
Total FAR			2349.64 sq ft

1
A2.3 1st Floor Plan

2
A2.3 2nd Floor Plan

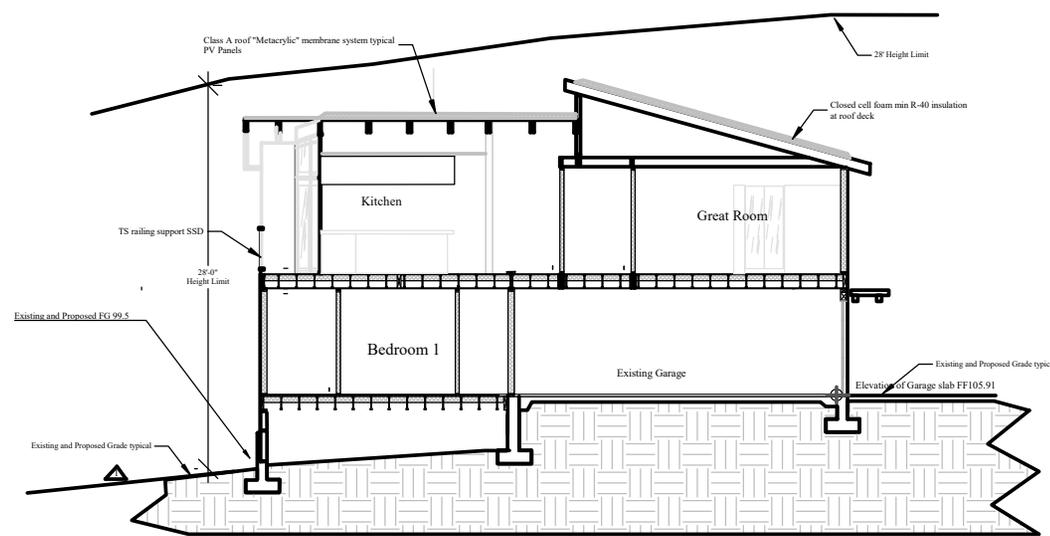
Project Address:
 285 3rd Street
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Owner:
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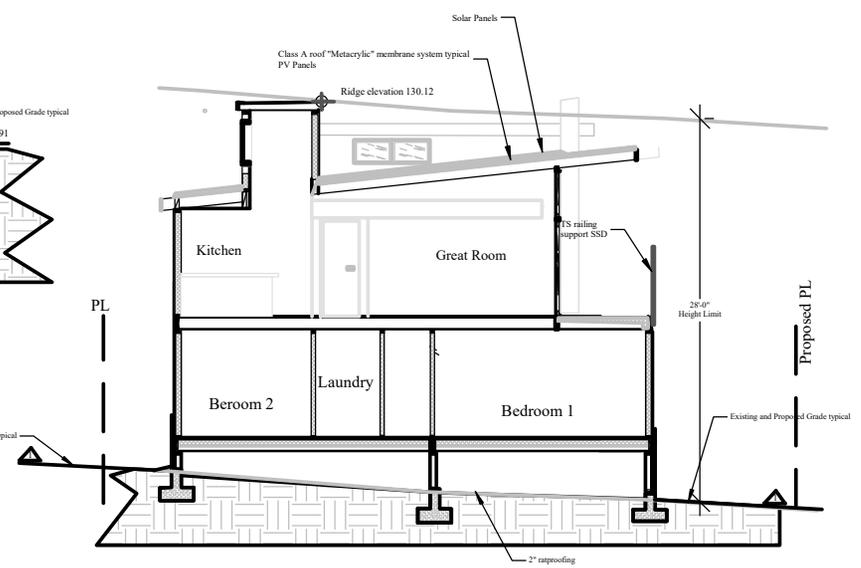
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Drawn By TP Scale 1/4" = 1'

Revisions	Date
▲ Planning Submittal	1.08.20
▲ Planning comments 12/17/20	
Sections	A3.2



Section 1



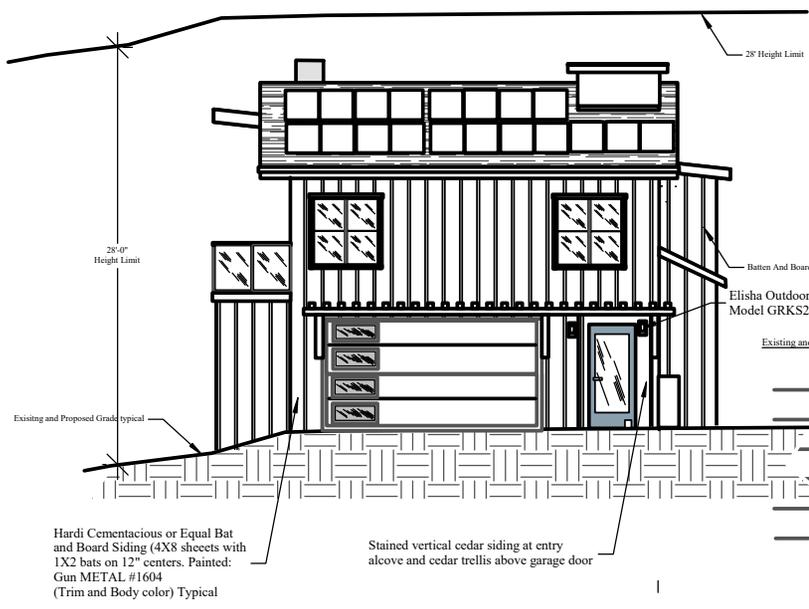
Section

Project Address:
285 3rd Street
Montara CA
APN 036414180

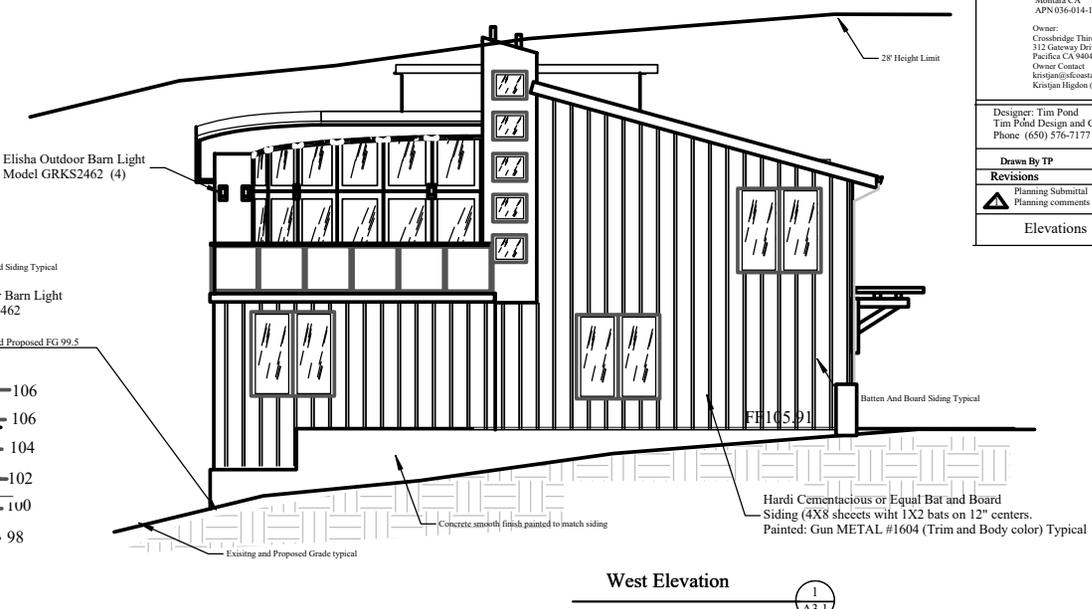
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Designer: Tim Pond
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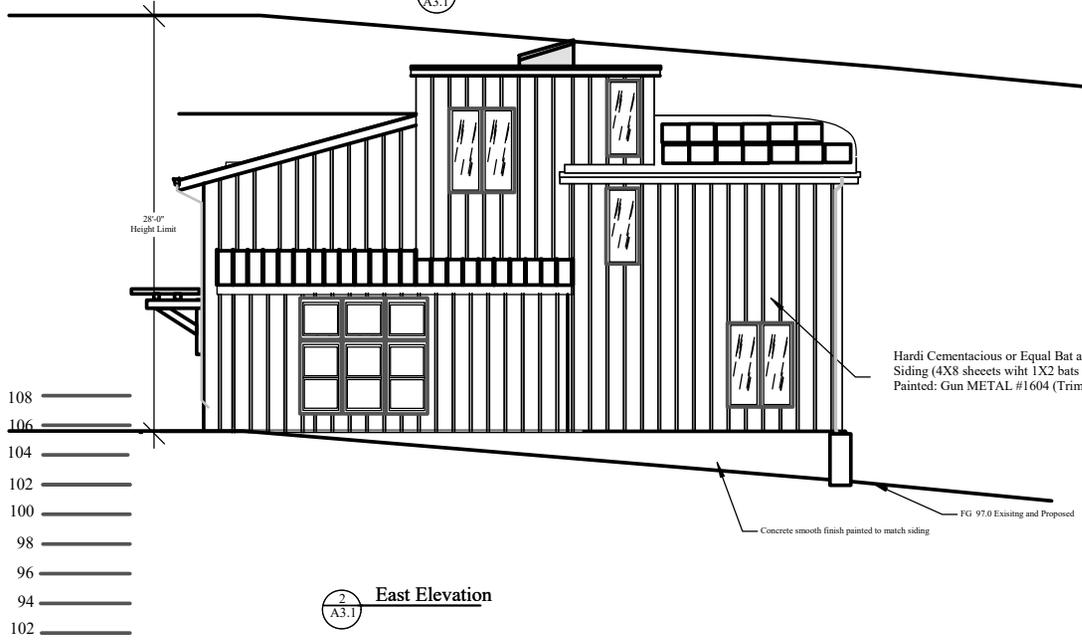
Revisions	Date
▲ Planning Submittal Planning comments 12/17/20	1.08.20
Elevations	A3.1



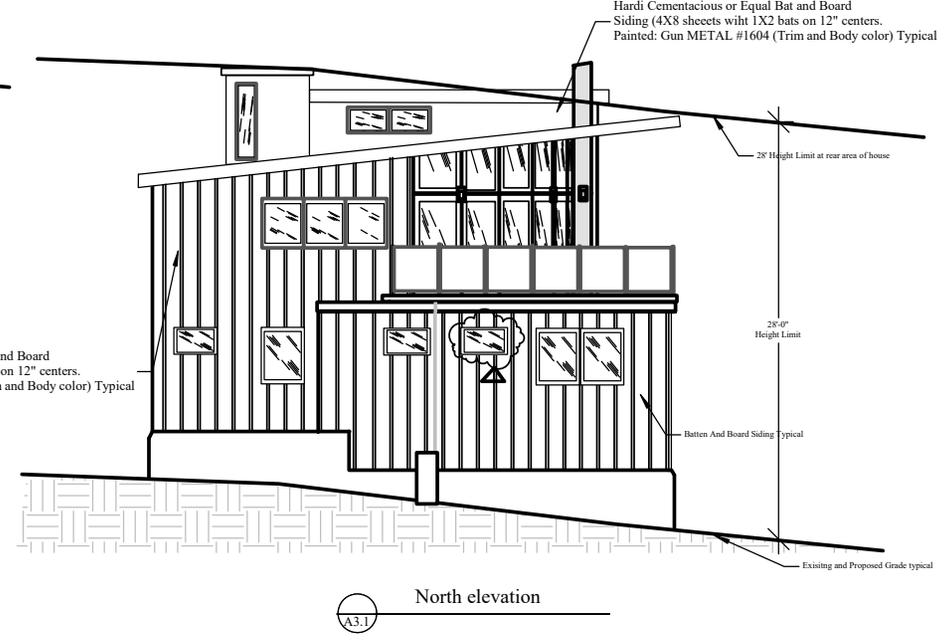
3 South Elevation
A3.1



1 West Elevation
A3.1



2 East Elevation
A3.1



North elevation
A3.1