


WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
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1:2,257 

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**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

SEP 19 2019

San Mateo County

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063  
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Permit #: PLN 2019-00382

Other Permit #: \_\_\_\_\_

**Application for**  
**Design Review by the**  
**County Coastside Design**  
**Review Committee**

San Mateo County  
Planning Division

1. Basic Information

**Applicant:**

Name: James Chow Trotter

Address: 733 Allston Way

Berkeley, CA Zip: 94710

Phone, W: 4159341955 H: \_\_\_\_\_

Email: jtrotter@jtad.net

**Owner** (if different from Applicant):

Name: Kevin Peng

Address: ~~733 Allston Way~~ 167 Allison St.

San Francisco Zip: 94112

Phone, W: 4153353970 H: \_\_\_\_\_

Email: ywpeng@gmail.com

**Architect or Designer** (if different from Applicant):

Name: same as applicant

Address: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_ H: \_\_\_\_\_ Email: \_\_\_\_\_

2. Project Site Information

**Project location:**

APN: 47095070

Address: 441 Valencia Ave

El Granada Zip: 94,019

Zoning: R1/S-17

Parcel/lot size: 5500 sq. ft.

**Site Description:**

- Vacant Parcel
- Existing Development (Please describe):

3. Project Description

**Project:**

- New Single Family Residence: 2875 sq. ft
- Addition to Residence: \_\_\_\_\_ sq. ft
- Other: \_\_\_\_\_

**Additional Permits Required:**

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

**Describe Project:**

New single family residence with an attached second dwelling unit. Three off-street parking spaces are shown incl garage

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	ARTISAN/HARDIE LAP SIDING & BOARD/BATTER	"WEATHER MOSS" "BOOTHBAY BLUE"	<input type="checkbox"/>
b. Trim	ARTISAN "HARDIE" TRIM	"COBBLESTONE" OFF WHITE	<input type="checkbox"/>
c. Windows	INTEGRITY SERIES CLAD	"PEBBLE GRAY"	<input type="checkbox"/>
d. Doors			<input type="checkbox"/>
e. Roof	COMPOSITE FIBERGLASS	CHARCOAL (NATURAL SHADING)	<input checked="" type="checkbox"/>
f. Chimneys	NA, NO CHIMNEYS		<input type="checkbox"/>
g. Decks & railings	HARDWOOD/TREX	REDWOOD CLEAR SEAL	<input type="checkbox"/>
h. Stairs	INTERIOR ONLY (HARDWOOD)	OAK, CLEAR SEAL	<input type="checkbox"/>
i. Retaining walls	QUICK STACK STONE VENEER	"ANTIQUE CREAM"	<input type="checkbox"/>
j. Fences	VERTICAL PLANK	MATCH EXISTING	<input checked="" type="checkbox"/>
k. Accessory buildings	NA		<input type="checkbox"/>
l. Garage/Carport	SAME AS EXTERIOR/RETAINING WALLS		<input type="checkbox"/>

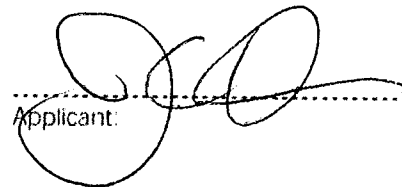
To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.



Owner:



Applicant:

9/13/19

Date

09/19/19

Date

## SUMMARY OF WORK

THE PROPOSED PLAN IS A SINGLE FAMILY RESIDENCE WITH AN ATTACHED SECOND DWELLING UNIT. THREE OFF-STREET PARKING SPACES ARE SHOWN INCLUDING TWO COVERED SPACES AND ONE TANDEM SPACE WITHIN THE FRONT YARD SETBACK ON THE DRIVEWAY. ONE EXISTING TREE WITHIN THE PARCEL IS TO REMAIN.

THE HOUSE DESIGN IS INTENDED TO BE A MODEST CRAFTSMAN STYLE WITH BOTH UNITS BLENDING TOGETHER HAVING SEPARATE ENTRIES TO THE EAST AND NORTH WITH THE REAR YARD SHARED. BECAUSE OF THE SITE'S EXISTING TOPOGRAPHY, THE HOUSE IS PROPOSED TO BE SITUATED ABOVE GRADE TO ALLOW FOR PERIMETER FOOTING & CRAWL SPACES. THE DRIVEWAY SLOPE WILL REMAIN BELOW 10% TOWARDS THE HOUSE. THE SECOND UNIT STEPS DOWN WITH THE DOWNWARD SLOPE OF THE PARCEL. THE FACADE ARTICULATION OPTION IS TO BE USED TO VERIFY MEETING ENVELOPE REQUIREMENTS.

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SEP 19 2019

Certificate of Exemption or Exclusion from a Coastal Development Permit

San Mateo County County Center, 2nd Floor • Redwood City, CA • 94063  
Planning Division PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Permit #: PLN 2019-00382  
Permit #: BLD

Permanent Record  
Microfilming Required

Owner  
Name: Kevin Peng  
Address: 167 Allison Street  
San Francisco Zip: 94112  
Phone, W: 4153353970 H:  
Email Address: ywpeng@gmail.com

Applicant  
Name: James Chow Trotter  
Address: 733 Allston Way  
Berkeley, CA Zip: 94710  
Phone, W: 4159341955 H:  
Email Address: jtrotter@jtad.net

Project Description:  
New single family residence with an attached second dwelling unit. Three off-street parking spaces are shown including two covered spaces and one tandem space within the front yard setback on the driveway.

Existing water source:  
 Utility connection None  
 Well None  
Proposed water source:  
 Utility connection CCWD  
 Well None

Assessor's Parcel Number(s):  
047 - 095 - 070

Staking of well location and property lines are required.  
 Provide site plan depicting location and all trees  
 Will this require any grading or vegetation/tree removal? Yes  No

If Yes, additional permits may be required Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance

Owner: [Signature] Date: 9/13/19  
Applicant: [Signature] Date: 09/19/19

(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)

# Staff Use Only

## 4. Basis of Exemption or Exclusion

Use attached review sheet to determine basis of exemption and whether project qualifies. Review basis of exemption with applicant/owner and initial appropriate category below:

- Initial**
- |  |   |
|--|---|
| <input type="checkbox"/> A. Improvements to Existing Single Family Residence. [PRC 30610(a), CCR13250, ZR 6328.5(a)]   | <input type="checkbox"/> F. Agriculturally-Related Development Categorical Exclusion Area. [PRC 30610(e), CCR13240, ORDERS E-79-7 and E-81-1, ZR 6328.5(e)] |
| <input type="checkbox"/> B. Improvements to Existing Structure Other Than Single Family Residence or Public Works Facility. [PRC 30610(b), CCR13253, ZR 6328.5(b)] | <input type="checkbox"/> G. Utility Connections. [PRC 30610(f), ZR 6328.5(f)]   |
| <input type="checkbox"/> C. Existing Navigation Channel. [PRC 30610(c), ZR 6328.5(c)]  | <input type="checkbox"/> H. Replacement of Structures Following Disasters. [PRC 30610(g), ZR 6328.5(g)]   |
| <input type="checkbox"/> D. Repair or Maintenance Activity. [PRC 30610(d), CCR13252, ZR 6328.5(d)]   | <input type="checkbox"/> I. Emergency Activities. [PRC 30611, ZR 6328.5(h)]   |
| <input checked="" type="checkbox"/> E. Single Family Residence Categorical Exclusion Area. [PRC 30610(e), CCR13240, AB 643, ZR 6328.5(e)]                          | <input type="checkbox"/> J. Lot Line Adjustment. [ZR 6328.5(i)]   |
|  | <input type="checkbox"/> K. Land Division for Public Recreation Purposes. [ZR 6328.5(l)]  |

## 5. Well Inspection - All Coastal Zone Areas

- Required  Not Required

Inspection made by: \_\_\_\_\_ Date of Inspection: \_\_\_\_\_

Yes	No	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Removal of trees?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	If Yes, is tree removal permit included?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Trimming of trees?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Excessive removal of vegetation?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Excessive grading? (If Yes, CDP is required)
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Erosion control plan required?

**Approval of Permit is subject to the following: (check if applicable)**

<input type="checkbox"/>	Submittal and Approval of a Tree Removal Permit
<input type="checkbox"/>	Submittal and Approval of a Grading Permit
<input checked="" type="checkbox"/>	Submittal and Approval of an Erosion Control Plan
<input type="checkbox"/>	Submittal and Approval of a Coastal Dev. Permit

## 6. Approval

I have reviewed the above-described project and have determined that it meets all criteria for the exemption/exclusion checked above.

**Exemption/Exclusion is approved.**

.....  
Planning Department \_\_\_\_\_ Date \_\_\_\_\_

Project is subject to the following condition(s) of approval:  
\_\_\_\_\_  
\_\_\_\_\_

## 7. Processing

- |   |  |
|---|--|
| <input type="checkbox"/> Fee collected  |  |
| <input type="checkbox"/> Original Certificate of Exemption to Building Inspection file. | 3. Any relevant Planning or Building Inspection files.                                   |
| <input type="checkbox"/> Copies of Certificate of Exemption to:                         | 4. California Coastal Commission, 45 Fremont Street, Suite 2000, San Francisco, CA 94105 |
| 1. Applicant/Owner.   | <input type="checkbox"/> Update Permit*Plan Case Screen and Activities                   |
| 2. Planning Department Exemption Binder.  |  |

**Environmental Information Disclosure Form**

PLN 2019-00362 SEP 19 2019  
BLD \_\_\_\_\_ San Mateo County Planning Division

Project Address: 441 Valencia Ave.  
El Granada, CA  
94019  
Assessor's Parcel No.: 047-095-070  
Zoning District: R1/S-17

Name of Owner: KEVIN PENK  
Address: 167 Allison Street  
S.F., CA Phone: 415-335-3970  
Name of Applicant: JAMES CLAW TROTTER  
Address: 733 Allston Way, Berkeley, CA  
Phone: 415-934-1955

**Existing Site Conditions**

Parcel size: 5000 SF

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).  
Relatively flat open parcel (<10%) with no curbs or sidewalk; one existing cypress tree to remain in rear yard area.

**Environmental Review Checklist**

**1. California Environmental Quality Act (CEQA) Review**

Yes	No	Will this project involve:
	X	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	X	b. Construction of a new multi-family residential structure having 5 or more units?
	X	c. Construction of a commercial structure > 2,500 sq.ft?
	X	d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
X		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>50</u> c.y. Fill: _____ c.y.
	X	f. Subdivision of land into 5 or more parcels?
	X	g. Construction within a State or County scenic corridor?
	X	h. Construction within a sensitive habitat?
	X	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	X	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:  
Grading for foundations of new single family residence using perimeter footings for foundations, slab only at garage.

Signature required on reverse →

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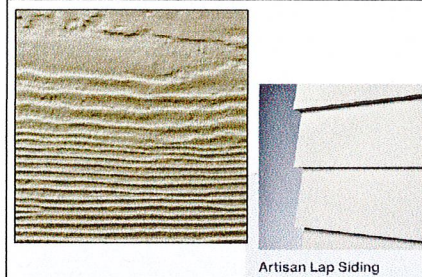
SEP 19 2019

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Planning Division

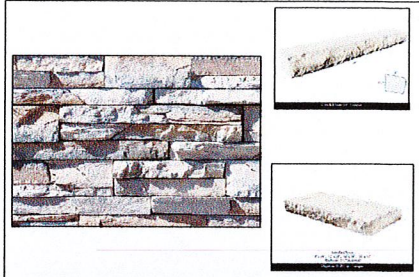
EXTERIOR ELEVATION FINISH NOTES & LEGEND

1 ARTISAN LAP SIDING; COLOR PLUS 'HEATHER MOSS', 5/8" THICK, 6" EXPOSURE

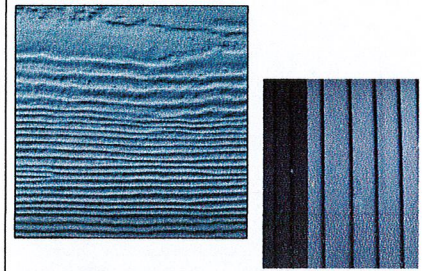


Artisan Lap Siding

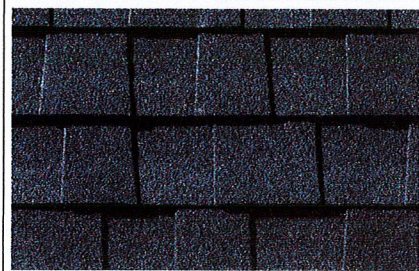
2 QUICK STACK STONE VENEER, 'ANTIQUE CREAM' BY CORONADO; PANELIZED & INDIVIDUAL STONES DRYSTACKED. FLAGSTONE CAPS & STONE SILLS (TOP OF WAINSCOT), 'LOMPOC' SERIES.



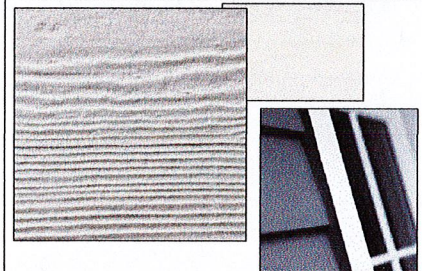
3 HARDIE PANEL VERTICAL SIDING & HARDIE TRIM BATTEN BOARDS, BOARD AND BATTEN; TRIM 3/4" THICK, 2 1/2" OVER PANELS. TRIM COLOR, COLOR PLUS 'BOOTHBAY BLUE'.



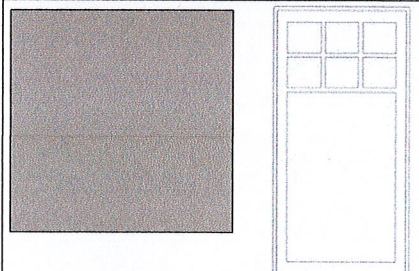
4 COMPOSITE FIBERGLASS SHINGLES, GAF TIMBERLINE NATURAL SHADOW LAMINATED ARCH, CHARCOAL OR SIM



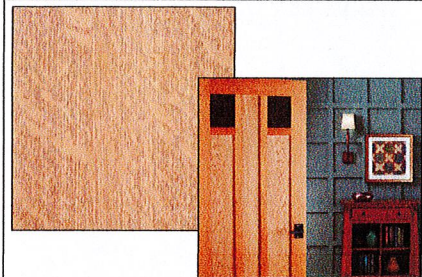
5 ARTISAN TRIM, MATCHING STAINED WOOD BRACKETS & WINDOW & DOOR TRIM; TRIM 3/4"-1" THICK, 3 1/2" & 5 1/2" WIDTH. TRIM COLOR, COLOR PLUS 'COBBLE STONE' & BRACKETS 'WHITE-WASH PICKLING' STAIN.



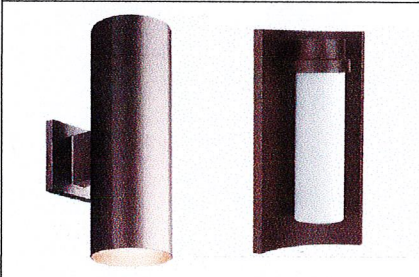
6 MARVIN INTEGRITY SERIES WINDOWS & PATIO DOORS, NO-GRID OR COTTAGE WHERE INDICATED, COLOR 'PEBBLE GRAY' CLADDING.



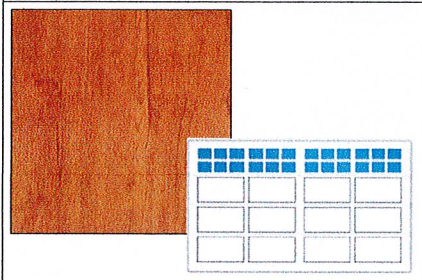
7 CRAFTSMAN/COTTAGE STYLE ENTRY DOOR OR SIM, QUARTER SAWN WHITE OAK FINISH



8 CONTEMPORARY UP/DOWN OUTDOOR LIGHTING WITH ANTIQUE BRONZE FINISH; COORDINATED DESIGN SERIES, MANUF. PROGRESSIVE LIGHTING



9 PAINTED METAL PANEL ROLL-UP DOOR, COTTAGE STYLE PANELS & GLAZING



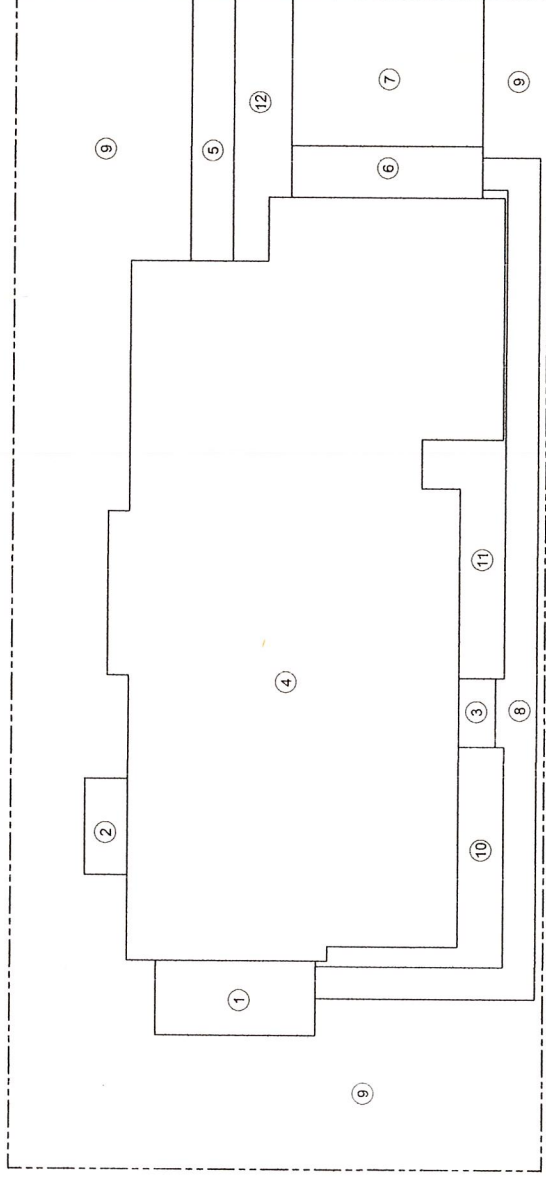


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Planning Division



DESCRIPTION	AREA (SF)
① PERVIOUS DECK	104
② ENTRY	35
③ STAIR	21
④ ROOF	2230
⑤ CONC. WALKWAY	100
⑥ DRIVEWAY LANDING	88
⑦ PERVIOUS PAVERS	254
⑧ PERVIOUS PAVERS	302
⑨ LANDSCAPE	2014
⑩ LANDSCAPE	111
⑪ LANDSCAPE	119
⑫ LANDSCAPE	122
TOTAL =	5500 SF

Cylinder 7 Light Wall Light Architectural Bronze  
9234AZ (Architectural Bronze)

Location: \_\_\_\_\_  
Type: \_\_\_\_\_  
Qty: \_\_\_\_\_  
Comments: \_\_\_\_\_



**Certifications/Qualifications**

Dark Sky Compliant Yes  
Location Rating Wet  
[www.kichler.com/warranty](http://www.kichler.com/warranty)

**Dimensions**

Base Backplate 5.00 X 4.75  
Extension 7.00"  
Weight 0.95 LBS  
Height from center of Wall opening (Spec Sheet) 3.50"  
Height 7.00"  
Width 4.75"

**Mounting/Installation**

Interior/Exterior Exterior  
Mounting Style Wall Mount  
Mounting Weight 0.95 LBS

**Primary Lamping**

Lamp Included Not Included  
Lamp Type BR30  
Light Source Incandescent  
Max or Nominal Watt 65W  
# of Bulbs/LED Modules 1  
Socket Type Medium  
Socket Wire 150

**Product/Ordering Information**

SKU 9234AZ  
Finish Bronze  
Style Contemporary  
UPC 783927923446

**Specifications**

Material ALUMINUM

**Additional Finishes**

- Architectural Bronze
- Black
- Brushed Aluminum
- White

PLN2019-00382

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NOV 18 2019

San Mateo County  
Planning Division

Kichler  
7711 East Pleasant Valley Road Cleveland, Ohio 44131-8010  
Toll free: 866.558.5706 or kichler.com

**Notes:**  
1) Information provided is subject to change without notice. All values are design or typical values when measured under laboratory conditions.  
2) Incandescent Equivalent: The incandescent equivalent as presented is an approximate number and is for reference only.

**KICHLER.**

**Cylinder 3000K LED 12" Wall Light | Textured Architectural Bronze**

11251AZT30 (Textured Architectural Bronze)

Project Name: \_\_\_\_\_  
Location: \_\_\_\_\_  
Type: \_\_\_\_\_  
Qty: \_\_\_\_\_  
Comments: \_\_\_\_\_



**Certifications/Qualifications**

Class 2	Yes
Location Rating	Wet
Title 24 Compliant	Yes
	<a href="http://www.kichler.com/warranty">www.kichler.com/warranty</a>

**Dimensions**

Base Backplate	5.00 X 5.00
Extension	6.50"
Weight	4.10 LBS
Height from center of Wall opening (Spec Sheet)	6.25"
Height	12.00"
Width	5.00"

**Electrical**

Input Voltage	Dual (120/140)V
---------------	-----------------

**Mounting/Installation**

Interior/Exterior	Exterior
Mounting Style	Wall Mount

**Photometrics**

Color Rendering Index	90
Color Temperature Range	3000
Delivered Efficacy (Lumens/Watt)	37
Delivered Lumens	550
Kelvin Temperature	3000K

**Primary Lamping**

Expected Life Span	40000
Lamp Included	Integrated
Light Source	LED
Max or Nominal Watt	15W
# of Bulbs/LED Modules	1



**Product/Ordering Information**

SKU	11251AZT30
Finish	Bronze
Style	Contemporary
UPC	783927453097

**Specifications**

Material	ALUMINUM
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**Additional Finishes**

-  Textured Architectural Bronze
-  Textured Black

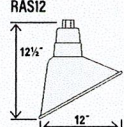
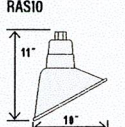
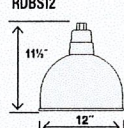
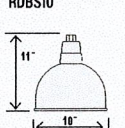

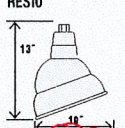
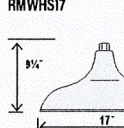
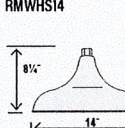
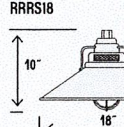
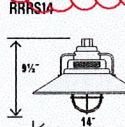
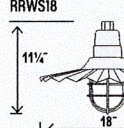
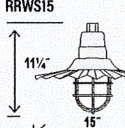
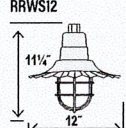
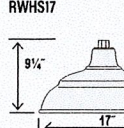
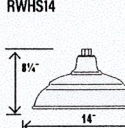
# HOW TO ORDER:

## #1 - CHOOSE A SHADE

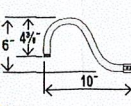
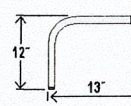
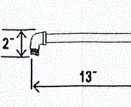
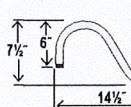
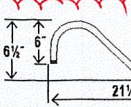
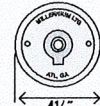
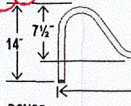
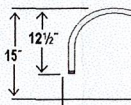
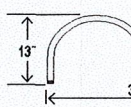
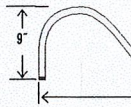
## #2 - CHOOSE A SIZE

## #3 - CHOOSE A COLOR

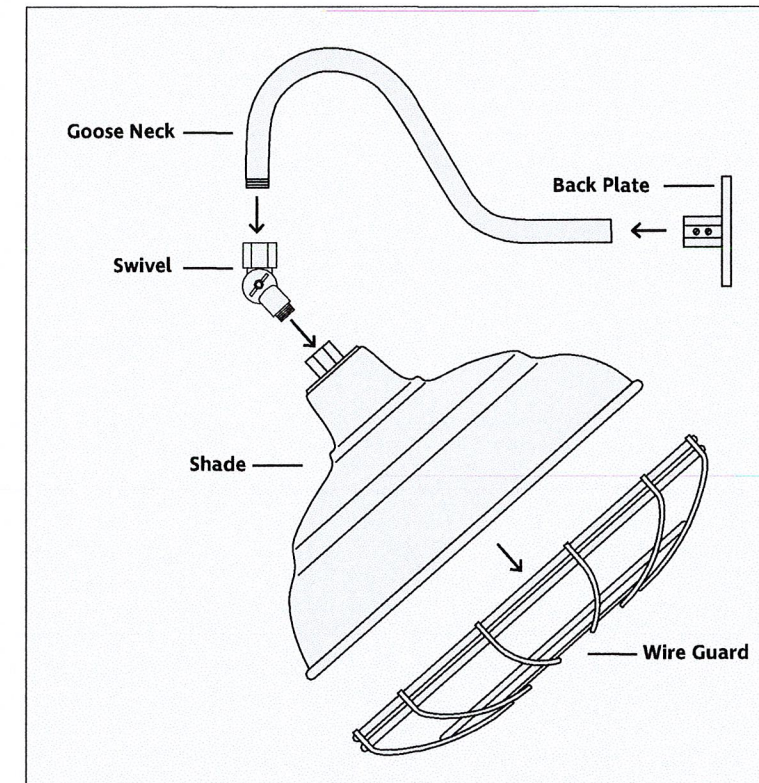
## #4 - CHOOSE A GOOSE NECK (FOR WALL MOUNT)

<b>RAS</b> Angle Shades			ABR - Architectural Bronze BP - Black Porcelain GA - Galvanized GY - Gray NB - Navy Blue NC - Natural Copper SB - Satin Black SFP - Sea Foam Porcelain SG - Satin Green SR - Satin Red WH - White WP - White Porcelain	
<b>RDBS</b> Deep Bowl Shades			ABR - Architectural Bronze GA - Galvanized GY - Gray NB - Navy Blue SB - Satin Black SG - Satin Green SR - Satin Red WH - White	
<b>RES</b> Emblem Shades			ABR - Architectural Bronze GA - Galvanized SB - Satin Black SG - Satin Green SR - Satin Red WH - White	
<b>RMWHS</b> Modified Warehouse Shade			ABR - Architectural Bronze BA - Brushed Aluminum SB - Satin Black SG - Satin Green SR - Satin Red WH - White	
<b>RRRS</b> Railroad Shade			ABR - Architectural Bronze CP - Copper GA - Galvanized SB - Satin Black	
<b>RRWS</b> Radial Wave Shade				ABR - Architectural Bronze CP - Copper GA - Galvanized SB - Satin Black SG - Satin Green SR - Satin Red WH - White
<b>RWHS</b> Warehouse Shade			ABR - Architectural Bronze BD - Burled Film Transfer BH - Birch Film Transfer BP - Black Porcelain GA - Galvanized GY - Gray NB - Navy Blue NC - Natural Copper SB - Satin Black SFP - Sea Foam Porcelain SG - Satin Green SR - Satin Red WH - White WP - White Porcelain	

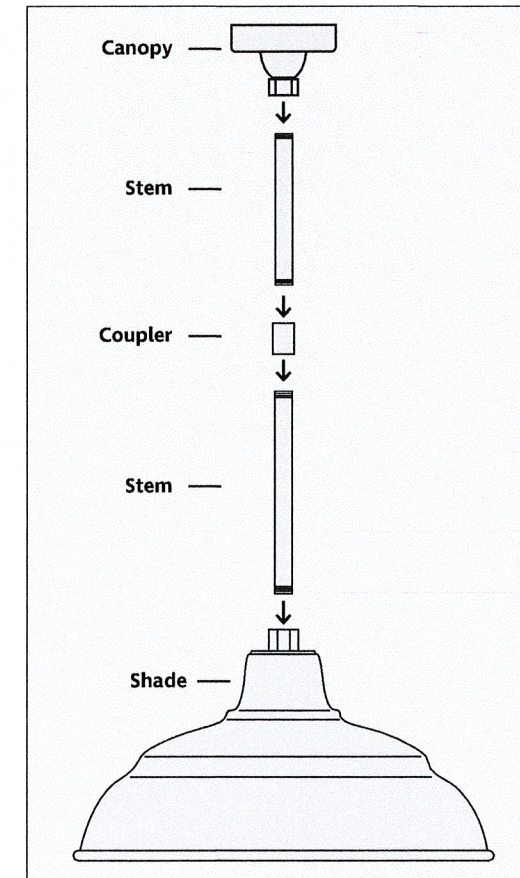
INCLUDES BACK PLATE

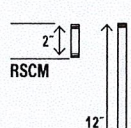
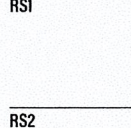
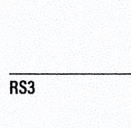
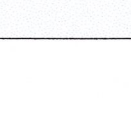
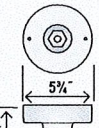
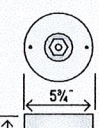
## How to Assemble with Goose Neck



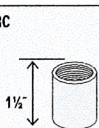
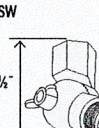

## How to Assemble with Canopy



## #5 - CHOOSE A STEM & CANOPY KIT (FOR CEILING MOUNT)

				RSCK (25° Angle)  RSCKSS (45° Angle) 
---	---	---	---	--

## #6 - CHOOSE OPTIONS

<b>COUPLER</b> RC 	<b>WIRE GUARD</b> Available for RAS, RDBS, RES, and RWHS Shades RWG17: 4 1/2 inch height, 17 inch width RWG14: 3 1/2 inch height, 14 inch width RWG12: 3 inch height, 12 inch width RWG10: 2 1/2 inch height, 10 inch width
<b>SWIVEL</b> RSW 	<b>LED MODULE</b> RLED24W Used for both RWHS14 and RWHS17  Adapter W: 9" x H: 1 1/4" 1920 Lumens 3000K CRI 90 Dimmable



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Home > Brands > Millennium Lighting > Wall Lights > Millennium Lighting RWHS14-RGN22

Item # bcl2282525

MILLENNIUM LIGHTING

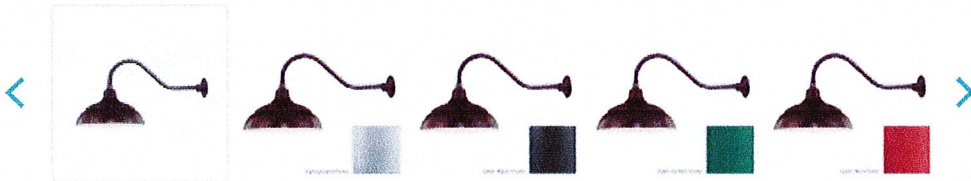
PLN2019-00382



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NOV 18 2019

San Mateo County Planning Division



Millennium Lighting R Series 1 Light Outdoor Wall Sconce with Dark Sky Compliant 14" Warehouse Shade and 21.5" Gooseneck Stem

Model: RWHS14-RGN22-ABR

from the R Series Collection

Write a Review

\$133.80

Finish: Architectural Bronze

Chat with an E...

Architectural Bronze

\$133.80

673 In Stock



Select

- Finishes: Architectural Bronze, Satin Black, Satin Green, Satin Copper and White are electrostatically sprayed and oven baked with UV stabilized paint appropriate for indoor/outdoor use. All shades, excluding Copper and Galvanized, incorporate white liners for increased light reflectivity. Galvanized is zinc plated steel with a clear protective overcoat.
- UL: All R Series units excluding cord hung styles are UL listed for wet locations. Cord hung styles are UL listed for damp locations.
- Unique stem hung design does not require pipe sealant compound on fittings.
- 3/4" inner diameter rigid conduit or water pipe may be substituted for stems or goose necks.

**Lamping Technology: Specifications:**

- Number of Bulbs: 1
- Bulb Base: Medium (E26)
- Bulb Shape: A21
- Bulb Included: No
- Watts Per Bulb: 200
- Wattage: 200
- Height: 14.25"
- Extension: 21.5"
- Shade Height: 8.25"
- Shade Width: 14"
- Backplate Diameter: 4.5"
- Wire Length: 100"
- Energy Star: No
- Dark Sky: Yes
- Swing Arm: No
- UL Listed: Yes
- UL Rating: Wet Location

**Millennium Lighting R Series**

The R Series is a modern lighting fixture that is designed with a traditional RLM style. This lighting fixture is great for residential, commercial and industrial spaces. It is also the ideal lighting for restaurants, farmhouses and equestrian spaces, as it casts the perfect illumination. This collection is indeed versatile and offers (7) shade options such as Angle Shade, Deep Bowl Shade, Emblem Shade, Modified Warehouse Shade, Railroad Shade, Radial Wave Shade and the Warehouse Shade.

The R Series can be hung as a wall mounted lighting fixture (by ordering a goose neck accessory) or as a ceiling mounted lighting fixture (by ordering a stem and a canopy kit). We offer a light post adapter which is a unique stem hung design that does not require pipe sealant compound on fittings. (The standard 3" post must be purchased separately.) Other accessories include the stem connectors, wall mount swivels and wire guards. The LED Module (RLED24W) accessory is available but only compatible with the Warehouse Shade (RWHS14 or RWHS17).

All shades and accessories are available to be purchased separately for custom applications. Multiple finish options are available. All finishes on outdoor lighting must be properly maintained and treated. We suggest cleaning with a regular application of finish preserving & renewing products.

**Additional Millennium Lighting Links**

- [View the Manufacturer Warranty](#)
- [Browse All Millennium Lighting Products](#)
- [Millennium Lighting R Series Collection](#)

This product is listed under the following manufacturer number(s):

Millennium Lighting RWHS14-RGN22-ABR  
Architectural Bronze  
Millennium Lighting RWHS14-RGN22-SB  
Satin Black  
Millennium Lighting RWHS14-RGN22-SR  
Satin Red

Millennium Lighting RWHS14-RGN22-GA  
Galvanized  
Millennium Lighting RWHS14-RGN22-SG  
Satin Green  
Millennium Lighting RWHS14-RGN22-WH  
White

 [Chat with an E...](#)

**Manufacturer Resources**

[R Series Order Guide](#)

**Dimensions and Measurements**

<b>Backplate Diameter</b>	?	4.5 in.
<b>Extension</b>	?	21.5 in.

# PENG HOUSE

441 VALENCIA AVE, EL GRANADA, CA 94019

## DRAWING LIST

- ARCHITECTURAL**  
 A1.0 SITE & DRAINAGE PLAN, DRAWING LIST & PROJECT INFO  
 L1.0 LANDSCAPE PLAN  
 A2.0 FIRST & SECOND FLOOR PLANS (w/FLOOR AREA DIAGRAM)  
 A3.0.1 EXTERIOR ELEVATIONS  
 A3.0.2 EXTERIOR ELEVATIONS  
 A4.0 CROSS-SECTIONS & RENDERED PERSPECTIVE VIEWS
- SURVEY**  
 SU-1 BOUNDARY & TOPOGRAPHIC SURVEY
- CIVIL**  
 C1 GRADING PLAN  
 C2 GRADING SECTION & DETAILS  
 C3 EROSION CONTROL PLAN & DETAILS  
 C4 DRAINAGE PLAN & DETAILS

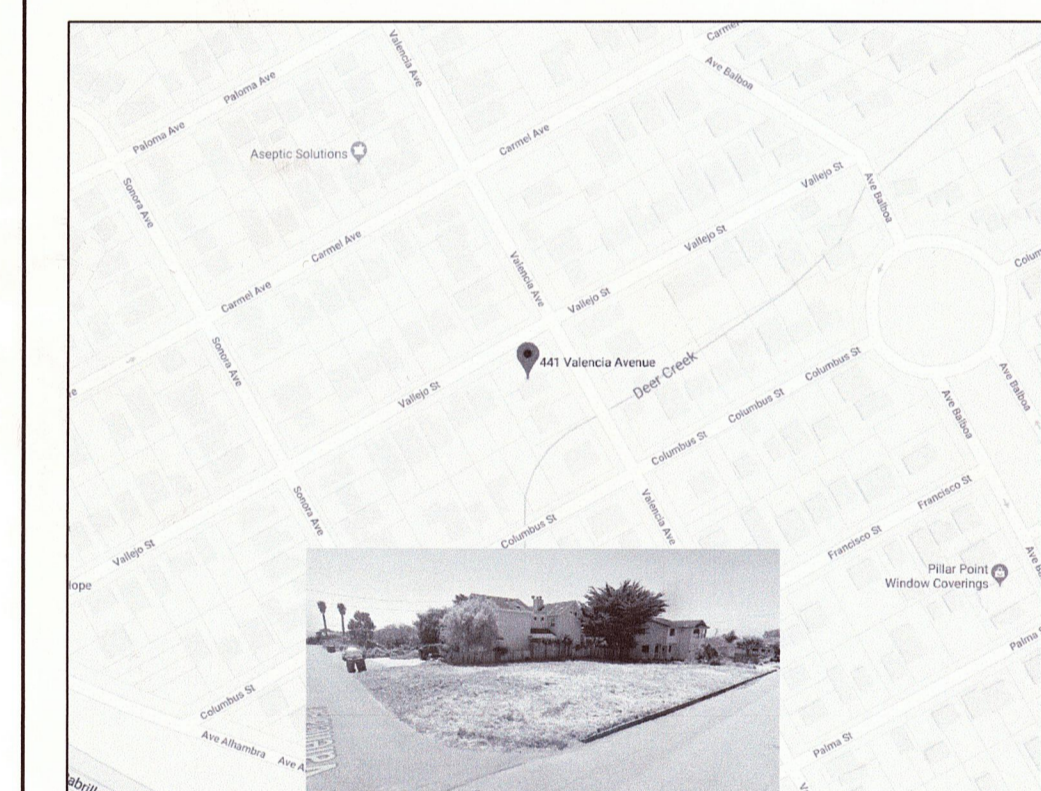
**PRIMARY GOVERNING CODES**  
 2016 CALIFORNIA BUILDING CODE, 2016 CALIFORNIA RESIDENTIAL CODE,  
 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE, 2016 CALIFORNIA  
 FIRE CODE, 2016 CALIFORNIA MECHANICAL CODE, 2016 CALIFORNIA  
 PLUMBING CODE, 2016 CA. ELEC. CODE & 2016 CA. ENERGY CODE

## SUMMARY OF WORK

THE PROPOSED PLAN IS A SINGLE FAMILY RESIDENCE WITH AN ATTACHED SECOND DWELLING UNIT. THREE OFF-STREET PARKING SPACES ARE SHOWN INCLUDING TWO COVERED SPACES AND ONE TANDEM SPACE WITHIN THE FRONT YARD SETBACK ON THE DRIVEWAY. ONE EXISTING TREE WITHIN THE PARCEL IS TO REMAIN.

THE HOUSE DESIGN IS INTENDED TO BE A MODEST CRAFTSMAN STYLE WITH BOTH UNITS BLENDING TOGETHER HAVING SEPARATE ENTRIES TO THE EAST AND NORTH WITH THE REAR YARD SHARED. BECAUSE OF THE SITE'S EXISTING TOPOGRAPHY, THE HOUSE IS PROPOSED TO BE SITUATED ABOVE GRADE TO ALLOW FOR PERIMETER FOOTING & CRAWL SPACES. THE DRIVEWAY SLOPE WILL REMAIN BELOW 10% TOWARDS THE HOUSE. THE SECOND UNIT STEPS DOWN WITH THE DOWNWARD SLOPE OF THE PARCEL. THE FACADE ARTICULATION OPTION IS TO BE USED TO VERIFY MEETING ENVELOPE REQUIREMENTS.

## VICINITY MAP 441 Valencia Ave, El Granada, CA 94019

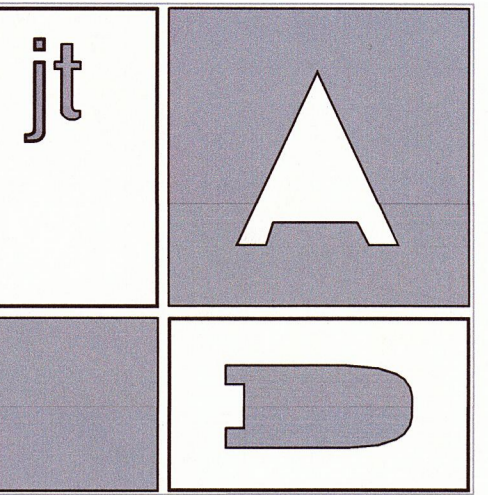


## PROJECT INFO & TABULATION

**PROJECT LOCATION:** 441 VALENCIA AVE, EL GRANADA, CA 94019  
**PARCEL NUMBER (APN):** 047-095-070  
**ZONING:** R1/S-17, SINGLE FAMILY RESIDENTIAL WITH SECONDARY UNIT  
**BUILDING OCCUPANCY:** R-3, SINGLE FAMILY RESIDENTIAL  
**BUILDING TYPE:** V-B

**OWNERS:** KEVIN PENG  
**PROJECT APPLICANT:** JAMES CHOW TROTTER  
 JT ARCHITECTURE & DESIGN  
 733 ALLSTON WAY, BERKELEY, CA 94710  
 TEL: 415-934-1955, EMAIL: JTROTTER@TAD.NET

TABULATION	EXISTING	PROPOSED	PERMITTED/REQUIRED
<b>UNITS, PARKING SPACES &amp; BEDROOMS</b>			
DWELLING UNITS:		2 (WITH 2ND UNIT)	2 (ONLY WITH 2ND UNIT)
PARKING SPACES:		3 (2 COVERED)	3 (2 COVERED/1 TANDEM)
BEDROOMS:		4 (1 W/2ND UNIT)	N/A
<b>YARD SETBACKS &amp; HEIGHT</b>			
FRONT YARD SETBACK: (2ND FLOOR IN PARENTHESES)		20'-0" (30'-7")	20'-0"
SIDE YARD SETBACK(NORTH):	10'-0"		15'-0" (TOTAL SIDES)
SIDE YARD SETBACK(SOUTH):	5'-0"		15'-0" (TOTAL SIDES)
REAR YARD SETBACK:	20'-6"		20'-0"
BUILDING HEIGHT: (MAXIMUM @ EXISTING GRADE)	26'-6"		28'-0"
<b>AREAS</b>			
LOT AREA:	5500 sf (SURVEY)	N/A	N/A
GROSS FLOOR AREA:		2867 sf (52.1%)	2915 sf (53% lot area)
BUILDING FOOTPRINT:		1923 sf (34.9%)	1925 sf (35% lot area)
LOT COVERAGE:		34.9%	35%
IMPERVIOUS SURFACE AREA:		350 sf (6.4%)	550 sf (10% lot area)
PATIO DECKS & ENTRY AREAS (<18 inches):		242 sf	N/A



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## COMMENTS

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## REVISIONS

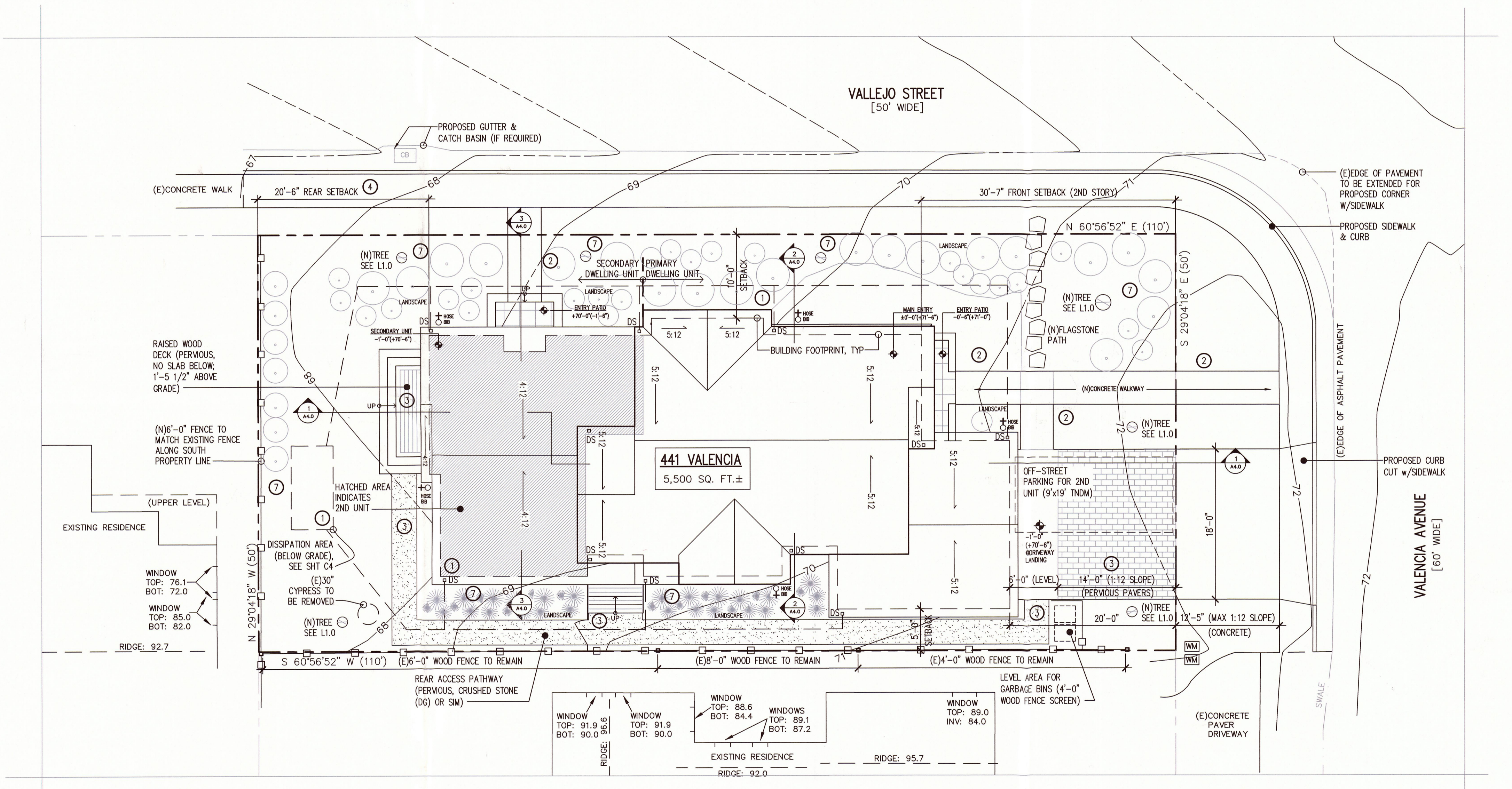
No.	Description	Date
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2	DESIGN REVIEW SUBMITTAL	09/19/2019
3	DESIGN REVIEW SUBMITTAL	11/13/2019
4	DESIGN REVIEW SUBMITTAL	12/17/2019

100322  
 100382  
 100382

**PROJECT**  
**PENG HOUSE**  
 (New Construction)  
 441 Valencia Avenue  
 El Granada, CA 94019

**DRAWING**  
**SITE & ROOF PLAN,**  
**PERSPECTIVES, DRAWING**  
**LIST & PROJECT INFO**

NO: 2017.02b  
 DRAWN BY: JCT  
 SC: AS NOTED  
 DATE: 08-19-19  
**A1.0**



### SITE DESIGN MEASURES

- DIRECT RUNOFF HARDPIPED FROM ROOF TO DISSIPATION AREAS FOR FILTRATION BEFORE DISSIPATING TO EXISTING LANDSCAPE/SOILS.
- DIRECT RUNOFF FROM SIDEWALKS, WALKWAYS, AND/OR PATIOS ONTO VEGETATED AREAS & PERMEABLE SURFACES.
- NEW WALKWAYS, DRIVEWAYS & SIDEYARD AREAS WITH PERVIOUS OR PERMEABLE SURFACES MEETING SPECIFICATIONS NOTED IN THE C3 TECHNICAL GUIDANCE.
- NATURAL AREAS TO BE CONSERVED, INCLUDING VEGETATION AND SOILS WITH MINIMAL GRADING & NON-INVASIVE PLANT SPECIES PROPOSED.

### SOURCE CONTROL MEASURES

- ON-SITE INLETS TO BE MARKED WITH THE WORDS "NO DUMPING! FLOWS TO BAY" OR EQUIVALENT (TBD REGARDING EXISTING DRAINS @ CURBSIDE)
- INTERIOR FLOOR DRAINS TO BE PLUMBED TO SANITARY SEWER.
- LANDSCAPING: EXISTING VEGETATION TO BE RETAINED AS PRACTICABLE; DIVERSE SPECIES APPROPRIATE TO THE SITE INCLUDING PLANTS THAT ARE PESTICIDE AND/OR DISEASE-RESISTANT, DROUGHT TOLERANT, AND/OR ATTRACT BENEFICIAL INSECTS TO BE SELECTED; USE OF PESTICIDES AND QUICK-RELEASE FERTILIZERS TO BE MINIMIZED. PLANTINGS PROPOSED DO NOT REQUIRE IRRIGATION SYSTEM. SEE SHEET L1.0 FOR PLANTINGS/VEGETATION.

### DRAINAGE/IRRIGATION NOTES & CALCS

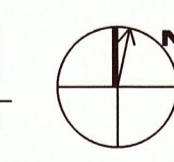
- ALL SURFACE DRAINAGE AT IMPERVIOUS PATHWAYS & DECKS TO DRAIN TO ADJACENT PERVIOUS SURFACES INDICATED ON PLANS, U.O.N. MIN 2% (1/4-1/2) SLOPE.
- ALL DOWNSPOUTS SHALL BE HARD PIPED TO TERMINATE @ CITY STORM DRAIN SYSTEM AS NOTED ON SITE PLAN.
- POSITIVE (2%) SLOPE PROVIDED FROM ALL PROPOSED STRUCTURES WHERE (C) GRADING IS BEING ALTERED. NO FINAL GRADING IS TO INCREASE SHEET FLOW ONTO ADJACENT PROPERTIES.
- NO IRRIGATION SYSTEM REQUIRED FOR PROPOSED LANDSCAPE WITH ALL PLANTINGS PROPOSED TO BE DROUGHT TOLERANT REQUIRING LITTLE OR NO SUMMER WATER.
- CALCULATIONS  
**STORMWATER CALCULATIONS (INCLUDING DECKS):**  
 SEE CIVIL DRAWINGS FOR DRAINAGE CALCULATIONS, SHEET C4

### GRADING & EROSION CONTROL NOTES (BMP)\*

\* SEE BMP, CIVIL GRADING & CIVIL EROSION CONTROL PLANS FOR ADDITIONAL NOTES & DETAILS REGARDING BMP & EROSION CONTROL MEASURES.

## 1 SITE & DRAINAGE (ROOF) PLAN

SCALE: 1/8"=1'-0"



# VALLEJO STREET

SCREEN SHRUBS  
PITTIOSPORUM T. VARS.  
ESCALLONIA VARS.  
LIGUSTRUM TEX.

STREET TREE: METROSIDEROS EXCELSA OR  
LAURUS N. 'SARATOGA'

GROUND COVER: ACACIA REDOLENS

SPECIMEN TREE:  
MECALELLA QUINQUENERVIA OR  
AESCHULUS CALIFORNICA

LOW FLOWERING SHRUB:  
RAPHIDOLEPIS VARS.  
LANTANA VARS.  
CISTUS VARS.

PERENNIALS:  
AGAPANTHUS VARS.  
ACHILLEA F. VARS.

SECONDARY UNIT

SCREEN SHRUBS:  
PITTIOSPORUM T. VARS.  
ESCALLONIA VARS.  
LIGUSTRUM TEX.

RESIDENCE

PRIMARY UNIT PERVIOUS PAVING

SMALL SHADE TREE:  
NERIUM O. 'STANDARD' OR  
ARBUTUS MARINA OR  
CERANTHUS 'RAY HART  
STANDARD'

WALKABLE  
GROUND COVER  
DYNDONIA M.

VALENCIA ST.

EXISTING CUPRESSUS  
MACROCARPA TO BE REMOVED;  
REPLACE WITH LAURUS NOBILIS OR  
METROSIDEROS EXCELSA

REAR ACCESS PATH



LANDSCAPE CONCEPT: DRY GARDEN NEAR THE COAST

WATER APPLICATION NOTES:

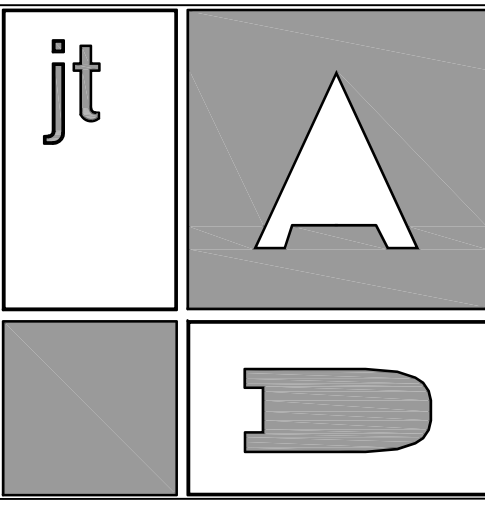
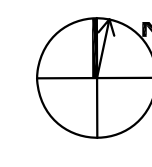
1. It is anticipated that the landscape garden designed for this project be hand watered during the establishment period. A minimum of 2 years of maintenance should be planned. Fall through early spring is the best time to install the Mediterranean and California native plants specified on this drawing. During the plan establishment period, it is important that the root balls never dry out during the first two to three months. Hand water as required, every other day in warm, windy conditions. After two months, water deeply. Trees should be deep watered once a week during the summer.
2. Plant in Fall as the weather cools and the rains come, evaporation is reduced, and soil holds moisture longer. If a drought persists during the Fall, water plants just enough to keep the plant from wilting.
3. Water deeply and frequently the first dry summer season. In warm weather, recently planted plants may need to be irrigated as frequently as every other day, especially if it is windy.
4. Reduce watering frequency the second summer but apply enough water to wet the top 18". Apply water slowly to penetrate the soil and does not run off. If runoff is a problem, as with clay soils, run a short application of water, let the water soak in and repeat.
5. Cover the soil with a thick layer of organic mulch, like wood chips, to reduce evaporation, smother weed seedlings, keep the soil cool, and reduce erosion.
6. Hose bibs (5 min.) to be located and spaced to facilitate hand watering.

## LANDSCAPE NOTES & FINISHES

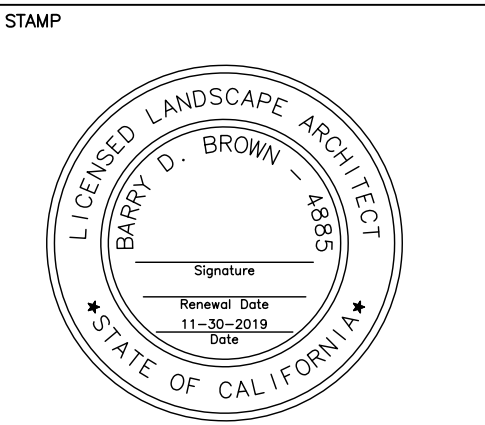
- 1 SLATE STONE TILE, CHINA AUTUMN, 8x8 or 16x16
- 2 PERVIOUS PAVING, 4x8 (HANOVER OR SIM, CHARCOAL)
- 3 WALKABLE GROUND COVER OR MULCH
- 4 CONCRETE DRIVEWAY (POURED IN PLACE)
- 5 GROUND COVER WITH PAVERS, STONE MULCH (MAX 3/4" DIA), STONE COBBLE (4-6" DIA) OR CRUSHED STONE (DG); GROUND COVER NOTED ON PLAN.
- 6 GROUND COVER WITH PLANTINGS, BARK MULCH; 3" MINIMUM DEPTH. MINIMUM 4 CU YDS OF COMPOST PER 1,000 SF OF NEW LANDSCAPE AREA WITH PLANTINGS
- 7 CEDAR PLANK FENCING, MAXIMUM ALLOWED HEIGHT @PROPERTY LINE (6'-0" HEIGHT INDICATED, TYP)
- 8 SHRUBS & PERENNIALS, 2-7 FT HEIGHT (MAX SPREAD 3 FT); PITTIOSPORUM T. VARIETIES, ESCALLONIA VARIETIES, LIGUSTRUM TEXANUM. SPECIFIC PLANTING VARIETY NOTED IN PLAN.
- 9 EXISTING TREE (1), CYPRESS, 30" DIA. TRUNK.

## 1 LANDSCAPE MASTER PLAN

SCALE: 3/16"=1'-0"



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COMMENTS

**udla**  
Urban Design & Landscape Architecture  
1225 16th Street, San Francisco, Ca 94107, 415.860.7019

REVISIONS

No.	Description	Date

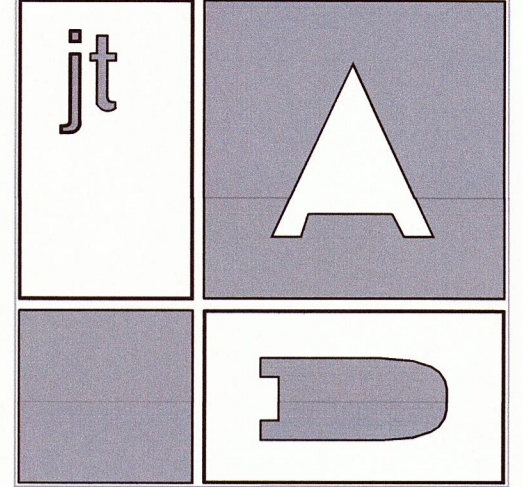
PROJECT  
**PENG HOUSE**  
(New Construction)  
441 Valencia Avenue  
El Granada, CA 94019

DRAWING  
**LANDSCAPE MASTER PLAN**

NO:  
DRAWN BY: BB/DW  
SC: AS NOTED  
DATE: 11-08-19

L1.0





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COMMENTS

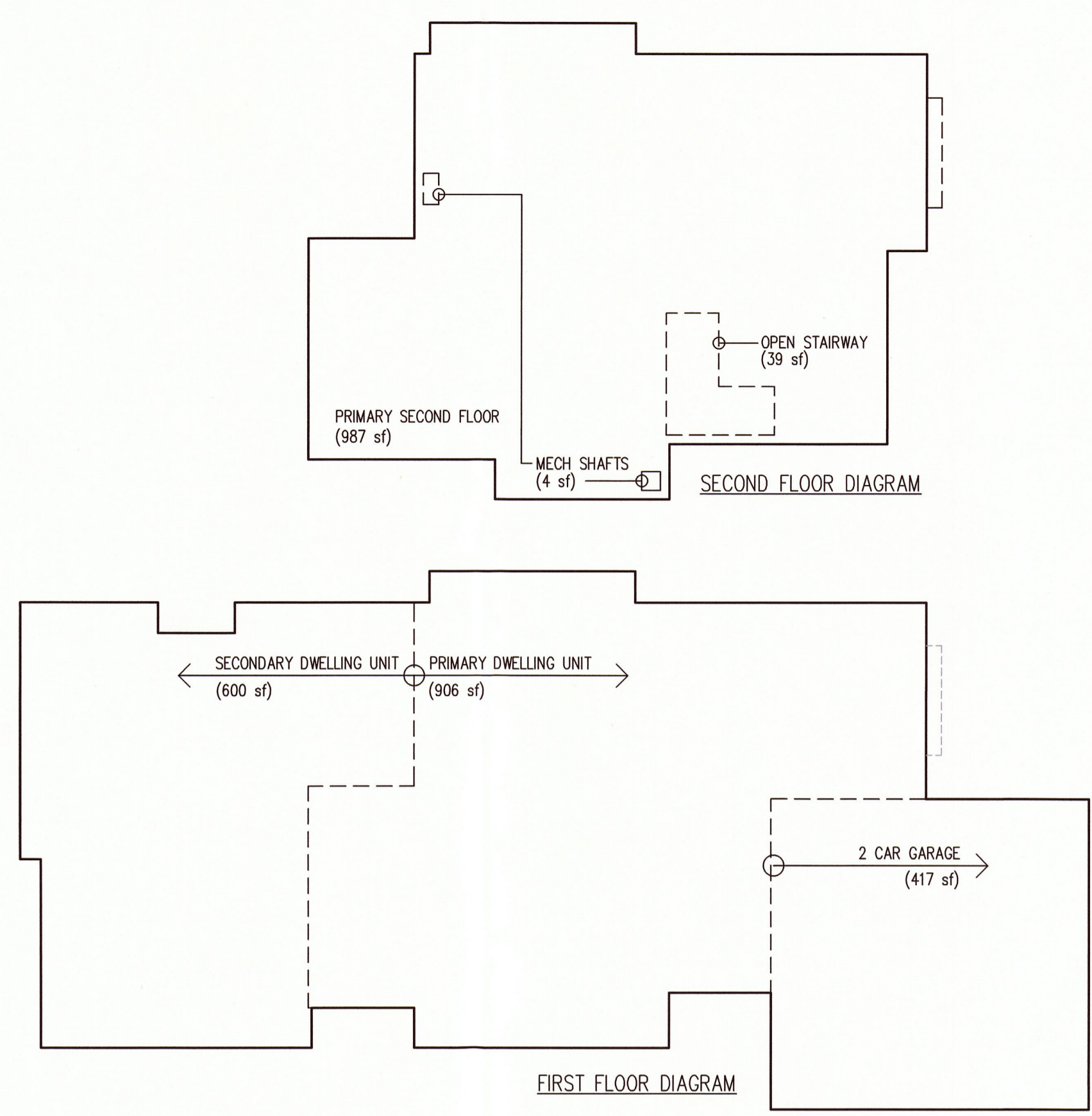
REVISIONS	No.	Description	Date
▲	1	PRE-APPLICATION	08/22/2019
▲	2	DESIGN REVIEW SUBMITTAL	09/19/2019
▲	3	DESIGN REVIEW RESUBMITTAL	11/13/2019
▲	4	DESIGN REVIEW RESUBMITTAL	12/17/2019

PROJECT  
**PENG HOUSE**  
 (New Construction)  
 441 Valencia Avenue  
 El Granada, CA 94019

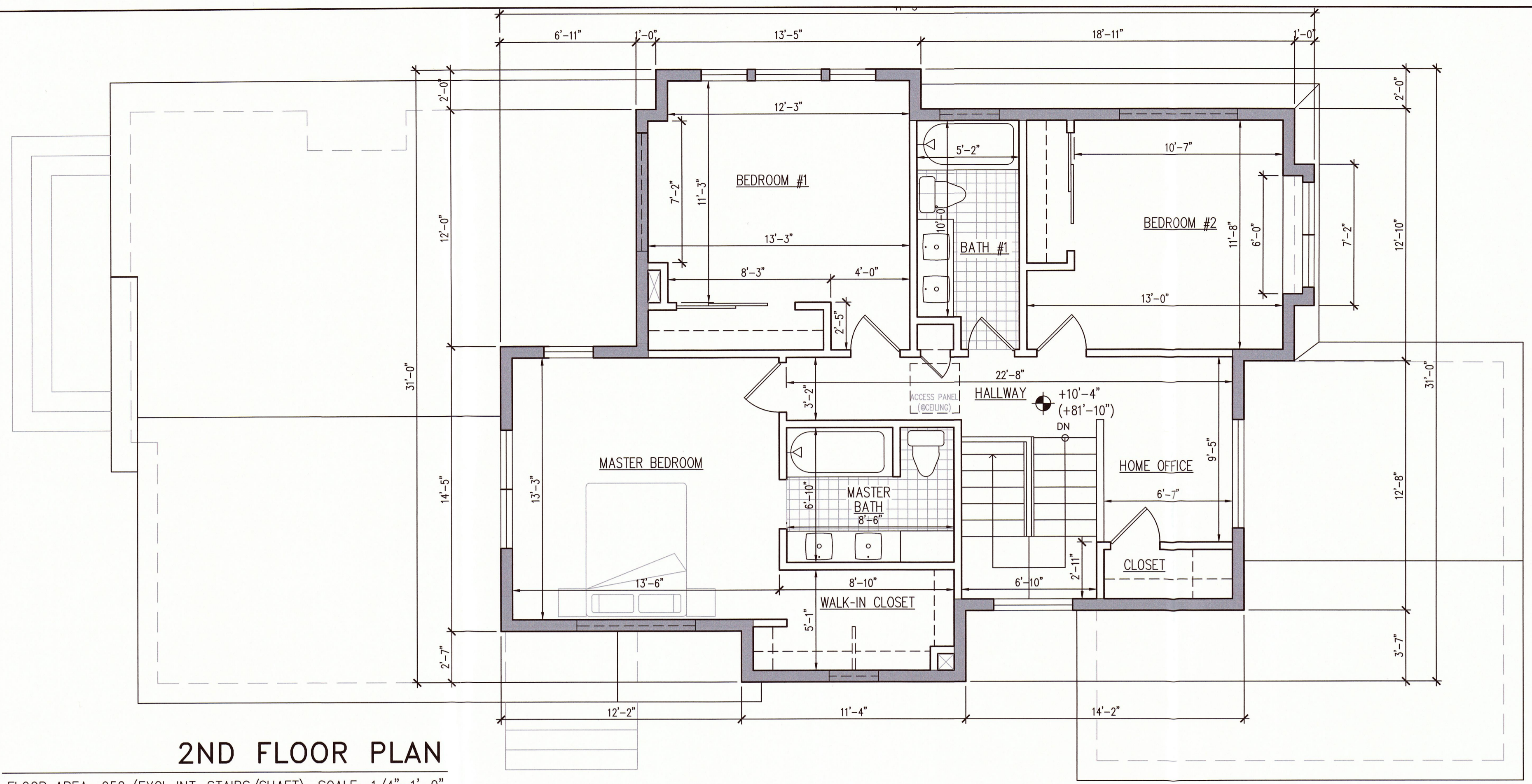
DRAWING  
**FIRST & SECOND FLOOR PLANS**

NO: 2017.02b  
 DRAWN BY: JCT  
 SC: 1/4"=1'-0"  
 DATE: 08-19-19

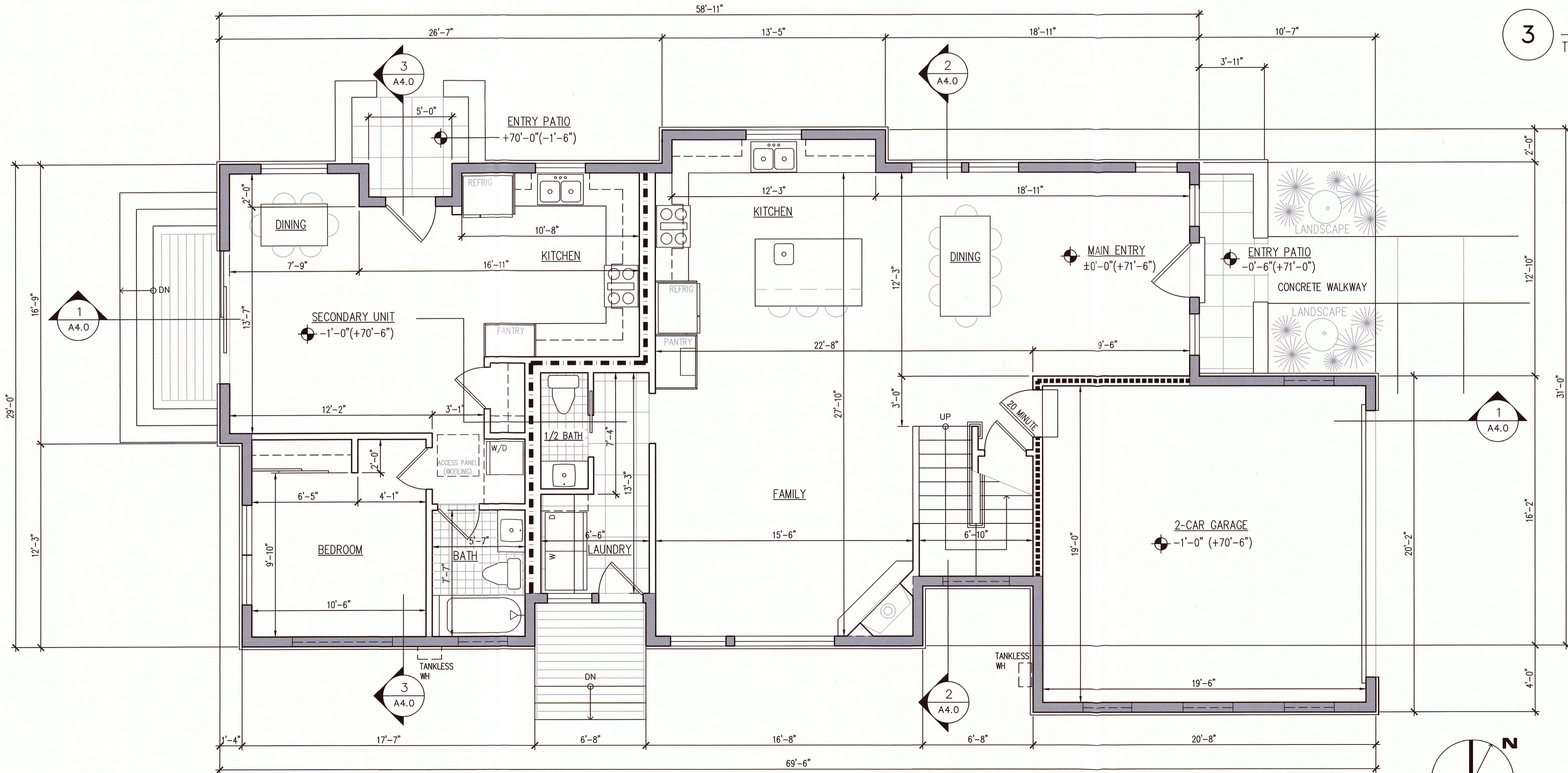
A2.0



**3 FLOOR AREA DIAGRAM**  
 TOTAL FLOOR AREA: 2,867 sf (906+600+417+987-43) SCALE: 1/8"=1'-0"



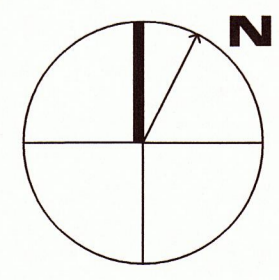
**2 2ND FLOOR PLAN**  
 FLOOR AREA: 952 (EXCL INT. STAIRS/SHAFT) SCALE: 1/4"=1'-0"

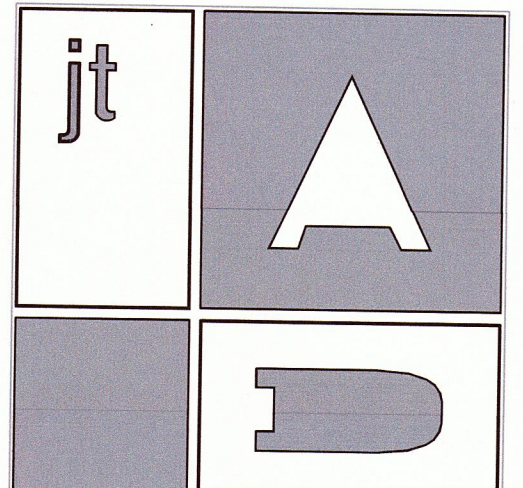


**1 1ST FLOOR PLAN**  
 FLOOR AREA: 1,506 sf (600 sf for 2nd Unit) SCALE: 1/4"=1'-0"  
 [GARAGE COUNTED SEPARATELY: 417 sf]

**FLOOR PLAN LEGEND**

	WALL TYPE A: GARAGE WALL (1-HR), SINGLE WOOD STUDS (2x6) 16" O.C.
	WALL TYPE B: PARTY WALL (1-HR), DOUBLE WOOD STUDS (2x6 & 2x4 STAGGERED) 16" O.C.
	WALL TYPE C: EXTERIOR WALL, SINGLE WOOD STUDS (2x6) 16" O.C.
	WALL TYPE D1/D2: INTERIOR WALL, SINGLE WOOD STUDS (2x4) 16" O.C.





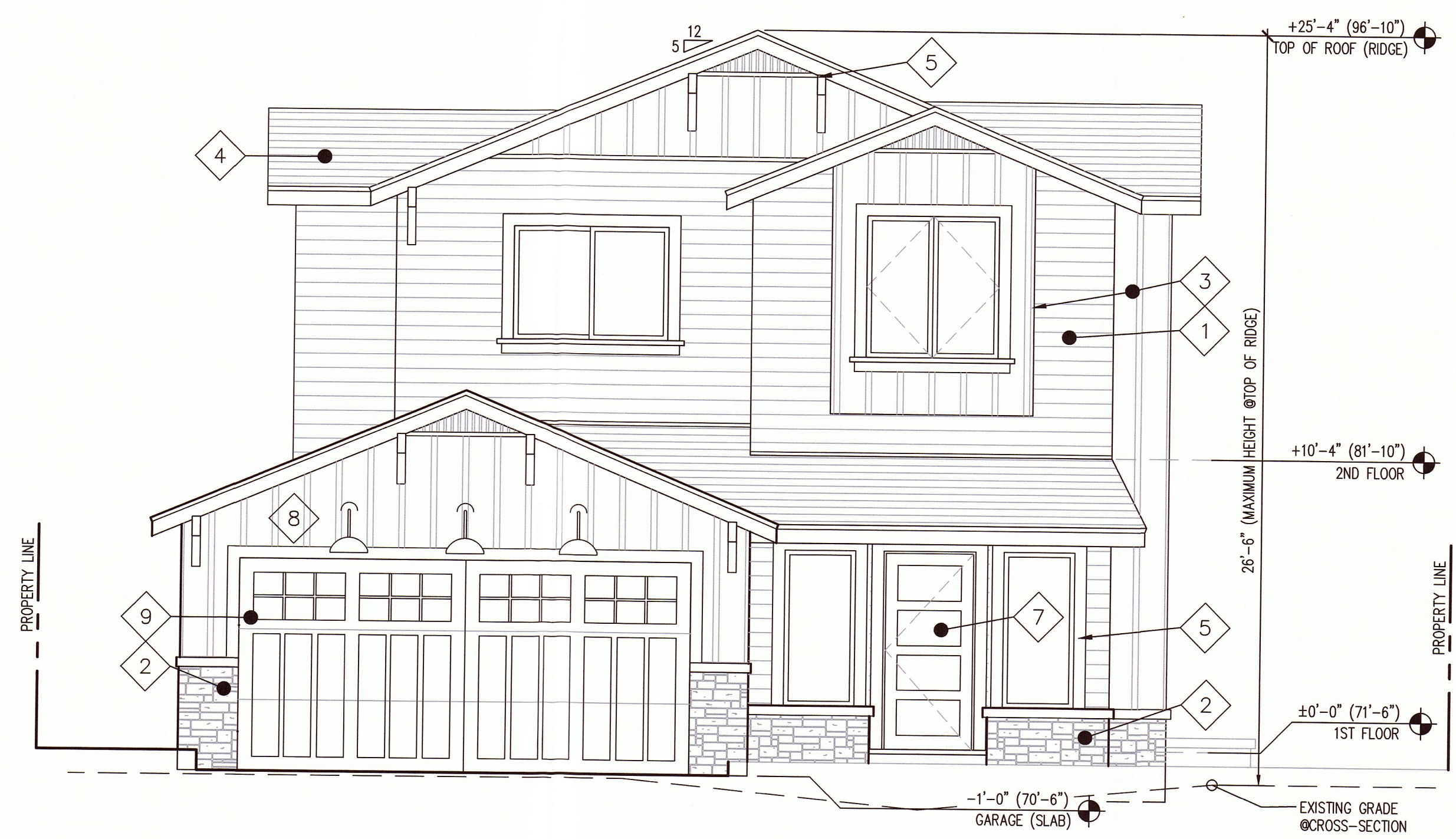
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COMMENTS

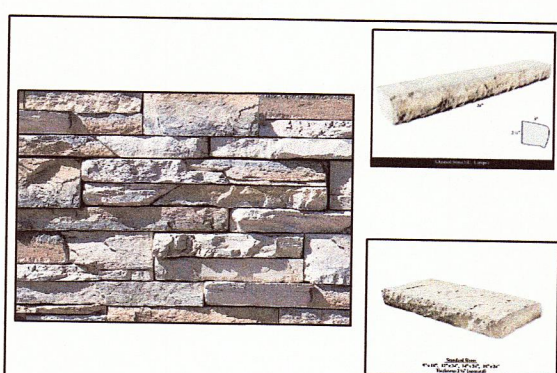
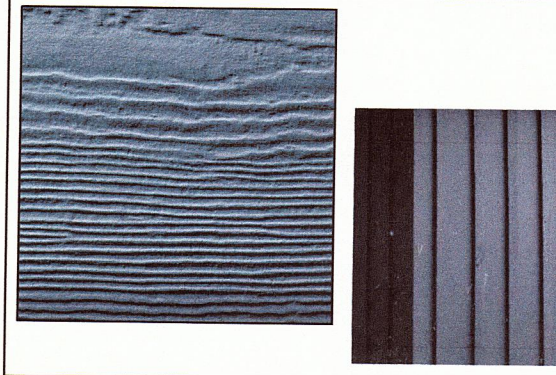
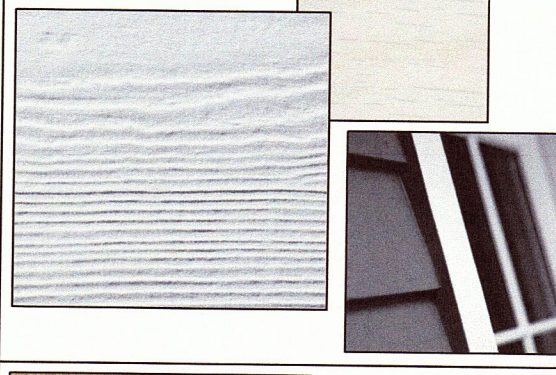
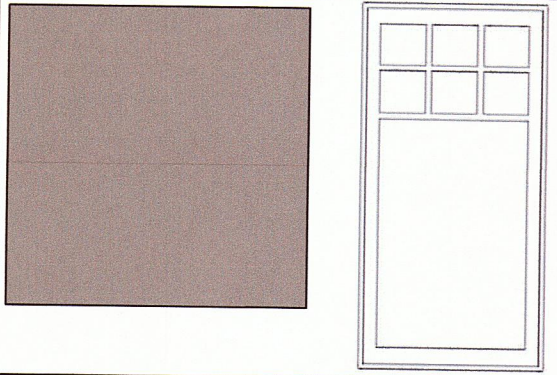


2 EXT. ELEVATION (SIDE/NORTH)  
SCALE: 1/4"=1'-0"



1 EXT. ELEVATION (FRONT/EAST)  
SCALE: 1/4"=1'-0"

**EXTERIOR ELEVATION FINISH NOTES & LEGEND**

<p>1 ARTISAN LAP SIDING, COLOR PLUS 'HEATHER MOSS', 5/8" THICK, 6" EXPOSURE</p> 	<p>2 QUICK STACK STONE VENEER, 'ANTIQUE CREAM' BY CORONADO, PANELIZED &amp; INDIVIDUAL STONES DRY-STACKED. FLAGSTONE CAPS &amp; STONE SILLS (TOP OF WAINSCOT), 'LOWPOC' SERIES.</p> 
<p>3 HARDIPANEL VERTICAL SIDING &amp; HARDITRIM BATTEN BOARDS, BOARD AND BATTEN ; TRIM 3/4" THICK, 2 1/2" OVER PANELS. TRIM COLOR, COLOR PLUS 'BOOTHBAY BLUE'.</p> 	<p>4 COMPOSITE FIBERGLASS SHINGLES, CAP TIMBERLINE NATURAL 'SHADOW LAMINATED ARCH, CHARCOAL OR SIM</p> 
<p>5 ARTISAN TRIM, MATCHING STAINED WOOD BRACKETS &amp; WINDOW &amp; DOOR TRIM; TRIM 3/4"-1" THICK, 3 1/2" &amp; 5 1/2" WIDTH. TRIM COLOR, COLOR PLUS 'ARCTIC WHITE' &amp; BRACKETS 'WHITE-WASH PICKLING' STAIN.</p> 	<p>6 MARVIN INTEGRITY SERIES WINDOWS &amp; PATIO DOORS, NO-GRID OR COTTAGE WHERE INDICATED, COLOR 'PEBBLE GRAY' CLADDING.</p> 
<p>7 CRAFTSMAN/COTTAGE STYLE ENTRY DOOR OR SIM. QUARTER SAWN WHITE OAK FINISH</p> 	<p>8 CONTEMPORARY DOWN WALL MOUNT OUTDOOR LIGHTING &amp; CONTEMPORARY BARN WALL LIGHT, BOTH WITH ANTIQUE BRONZE FINISH &amp; DARK SKY COMPLIANT; COORDINATED DESIGN SERIES, MANUF. KICHLER &amp; MILLENNIUM LIGHTING.</p> 
<p>9 PAINTED METAL PANEL ROLL-UP DOOR, COTTAGE STYLE PANELS &amp; GLAZING</p> 	

REVISIONS

No.	Description	Date
△	PRE-APPLICATION	08/22/2019
△	DESIGN REVIEW SUBMITTAL	09/19/2019
△	DESIGN REVIEW RESUBMITTAL	11/13/2019
△	DESIGN REVIEW RESUBMITTAL	12/17/2019
△		
△		
△		
△		
△		
△		
△		

PROJECT  
**PENG HOUSE**  
 (New Construction)  
 441 Valencia Avenue  
 El Granada, CA 94019

DRAWING  
**EXTERIOR ELEVATIONS**

No: 2017.02  
 DRAWN BY: JCT  
 Sc: 1/4"=1'-0"  
 DATE: 08-15-19  
**A3.0.1**

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COMMENTS

REVISIONS

No.	Description	Date
△	PRE-APPLICATION	08/22/2019
△	DESIGN REVIEW SUBMITTAL	09/19/2019
△	DESIGN REVIEW RESUBMITTAL	11/13/2019
△	DESIGN REVIEW RESUBMITTAL	12/17/2019
△		
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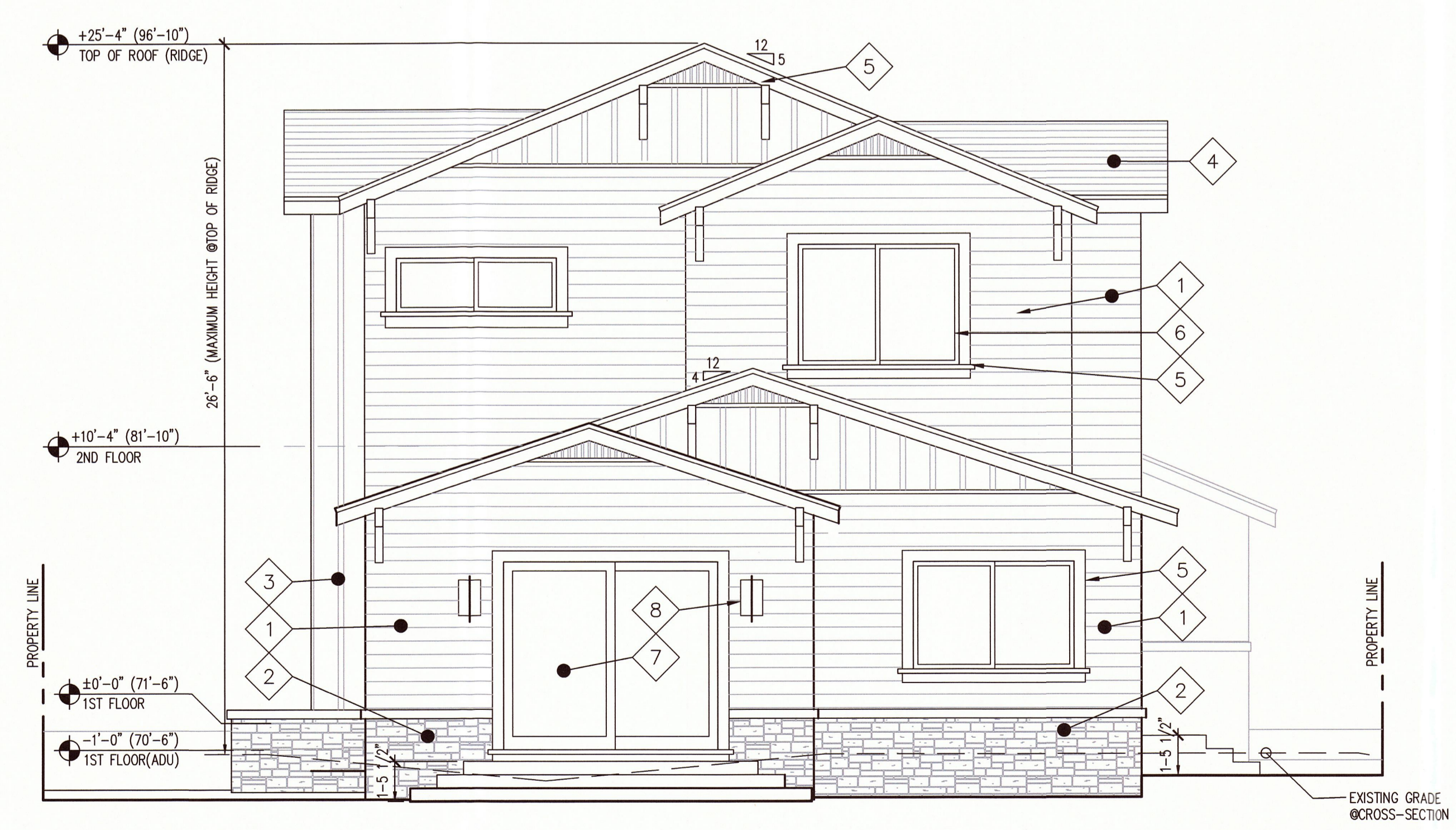
PROJECT  
**PENG HOUSE**  
 (New Construction)  
 441 Valencia Avenue  
 El Granada, CA 94019

DRAWING  
**EXTERIOR ELEVATIONS**

NO: 2017.02b  
 DRAWN BY: JCT  
 SC: 1/4"=1'-0" **A3.0.2**  
 DATE: 08-15-19

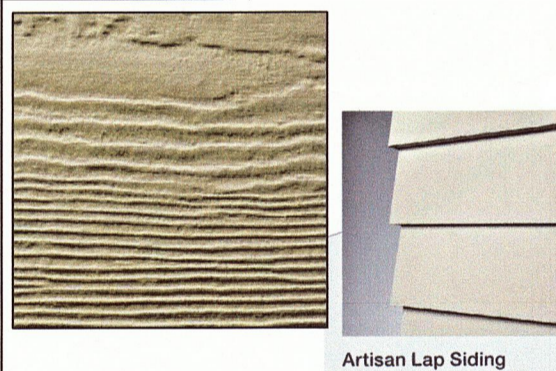
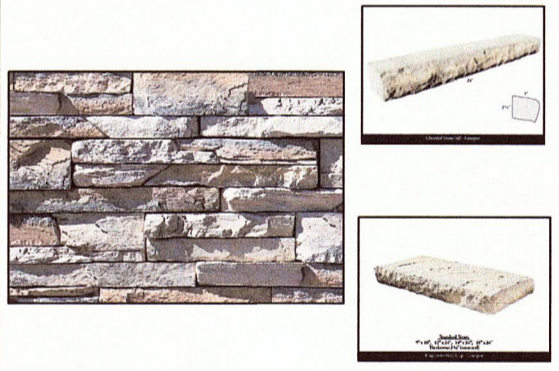
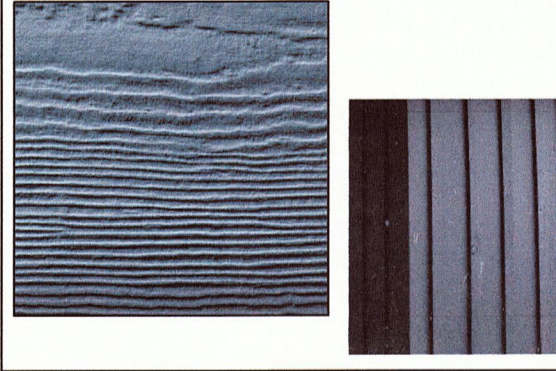

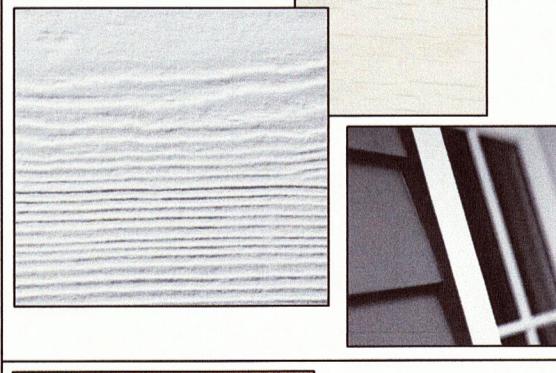
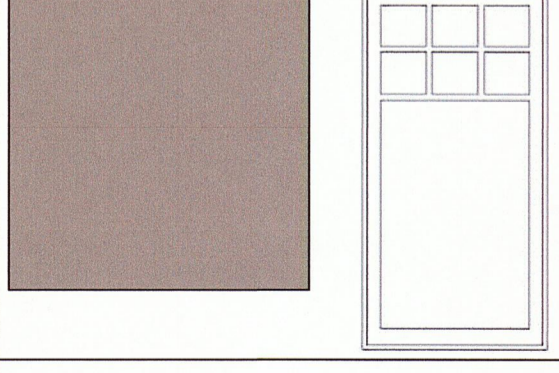
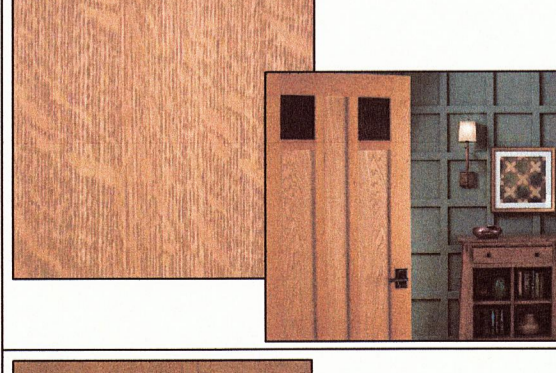
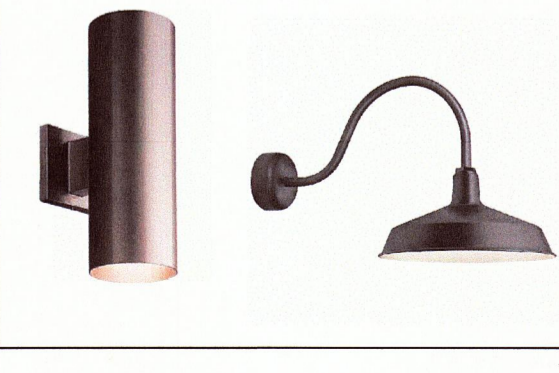
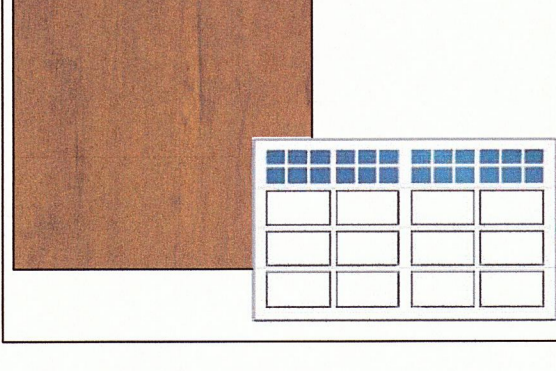


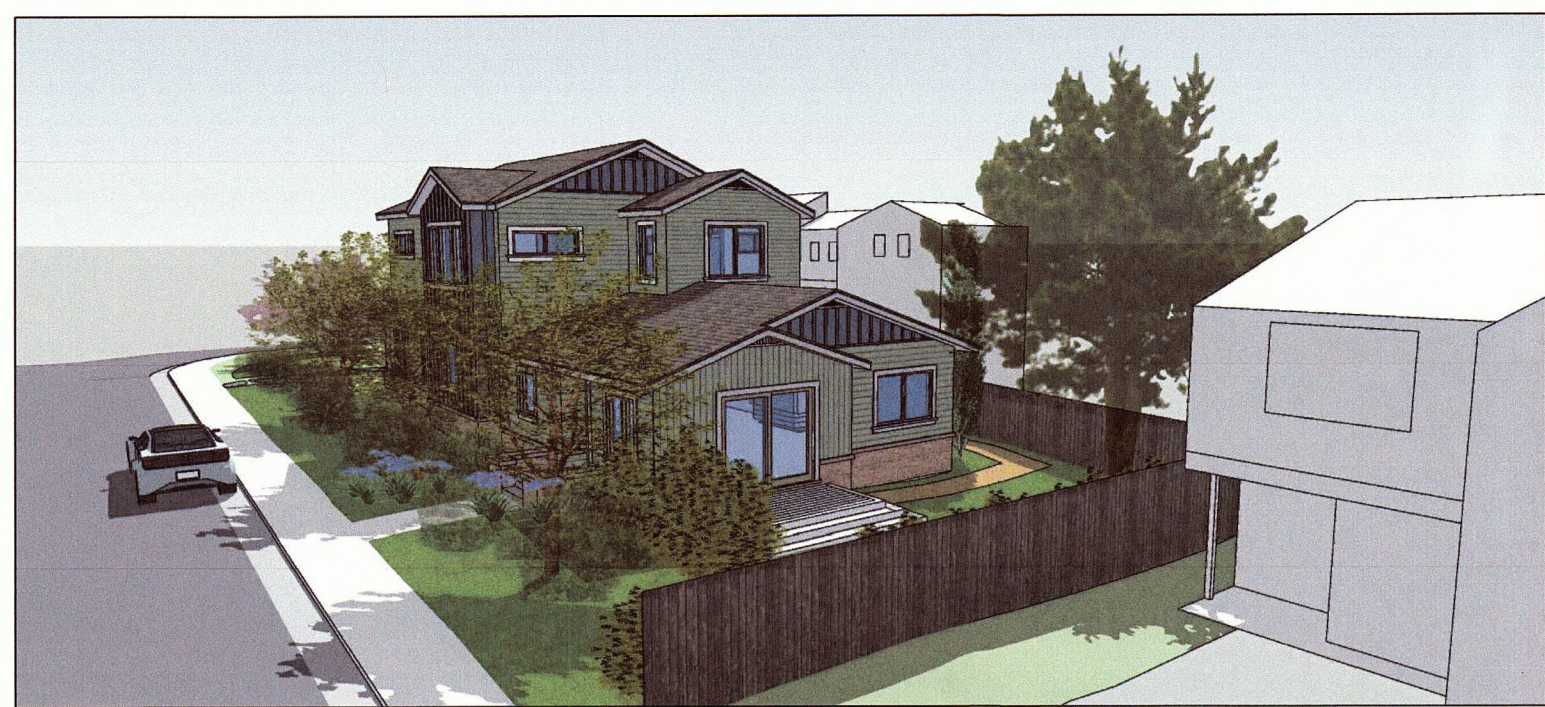
2 EXT. ELEVATION (SIDE/SOUTH)  
 SCALE: 1/4"=1'-0"



1 EXT. ELEVATION (REAR/WEST)  
 SCALE: 1/4"=1'-0"

**EXTERIOR ELEVATION FINISH NOTES & LEGEND**

<p>1 ARTISAN LAP SIDING, COLOR PLUS 'HEATHER MOSS', 5/8" THICK, 6" EXPOSURE</p> 	<p>2 QUICK STACK STONE VENEER, 'ANTIQUE CREAM' BY CORONADO; PANELIZED &amp; INDIVIDUAL STONES DRYSTACKED, FLAGSTONE CAPS &amp; STONE SILLS (TOP OF WAINSCOT), 'LOMPCC' SERIES.</p> 
<p>3 HARDPANEL VERTICAL SIDING &amp; HARDI TRIM BATTEN BOARDS, BOARD AND BATTEN; TRIM 3/4" THICK, 2 1/2" OVER PANELS. TRIM COLOR, COLOR PLUS 'BOOTHBAY BLUE'.</p> 	<p>4 COMPOSITE FIBERGLASS SHINGLES, GAF TIMBERLINE NATURAL SHADOW LAMINATED ARCH, CHARCOAL OR SIM</p> 
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<p>9 PAINTED METAL PANEL ROLL-UP DOOR, COTTAGE STYLE PANELS &amp; GLAZING</p> 	



REAR CORNER VIEW



VIEW FROM VALLEJO ST @2ND UNIT ENTRY



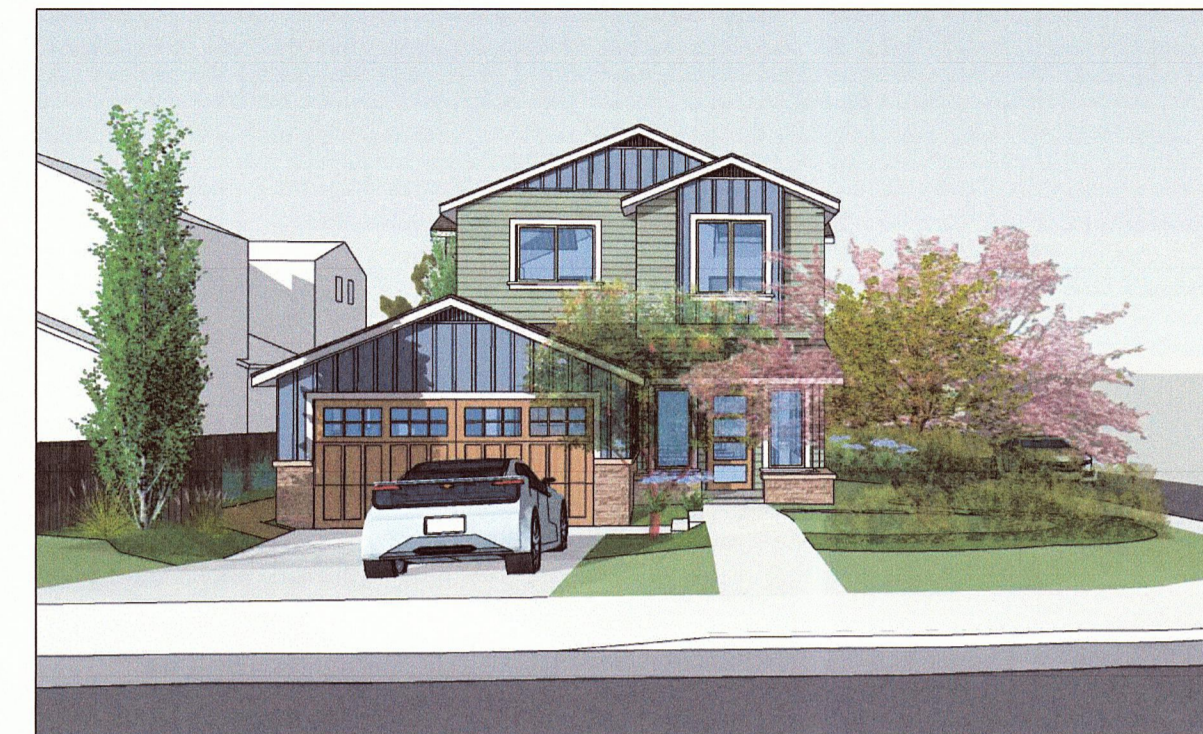
VIEW FROM VALLEJO ST @STONE PATH



FRONT CORNER VIEW



VIEW FROM VALLEJO ST

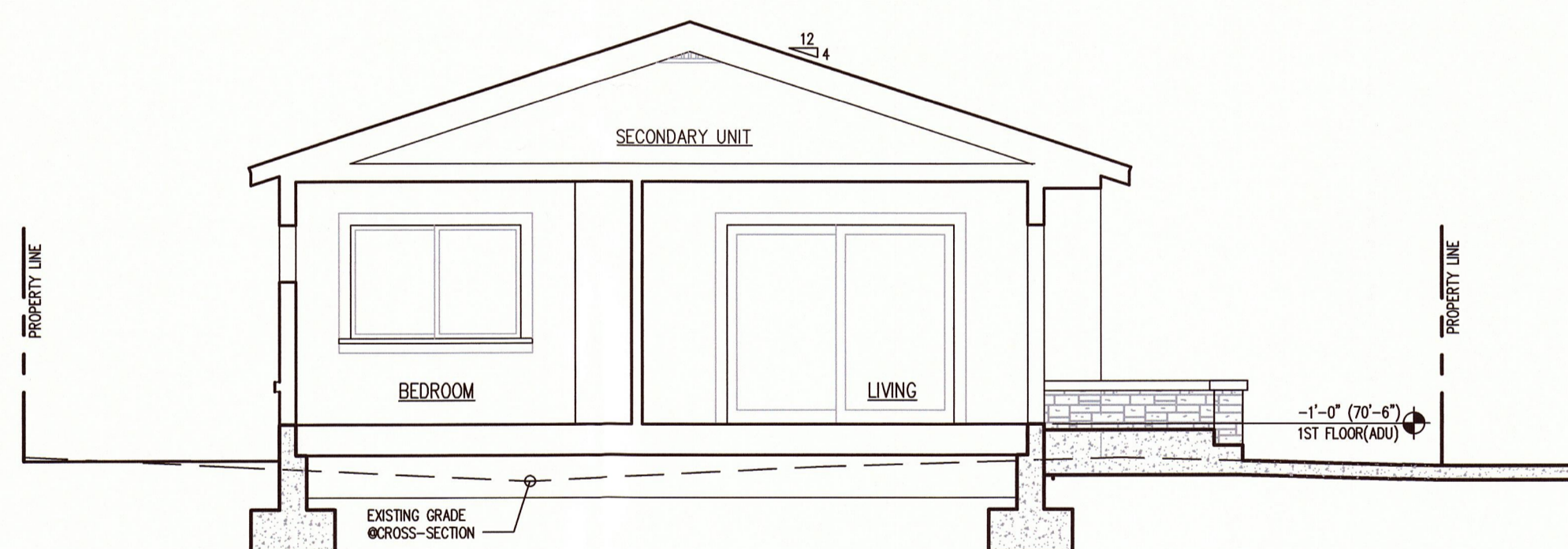


VIEW FROM VALENCIA AVE

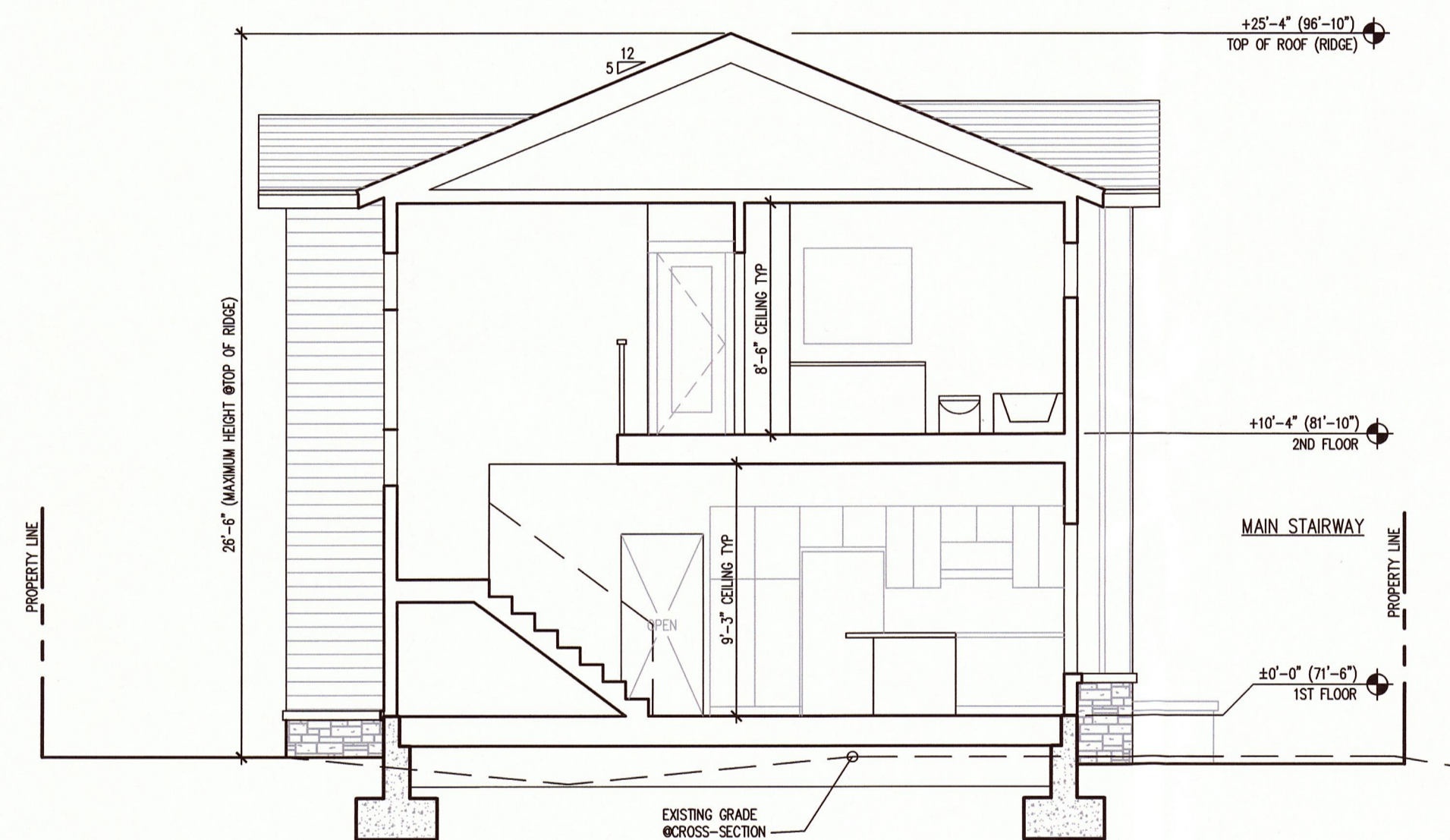
PERSPECTIVE VIEWS

NO SCALE

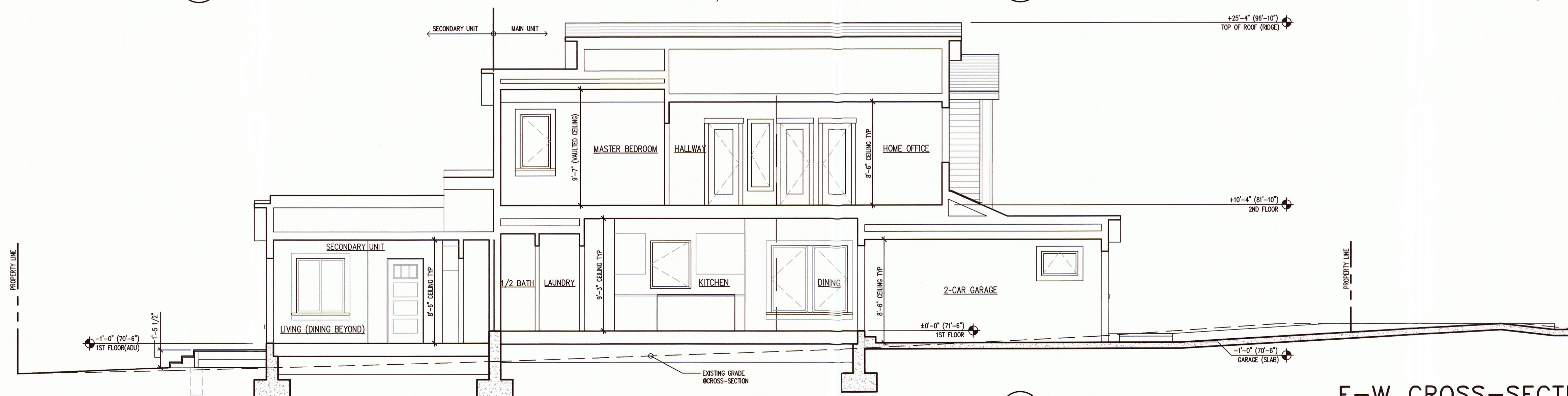
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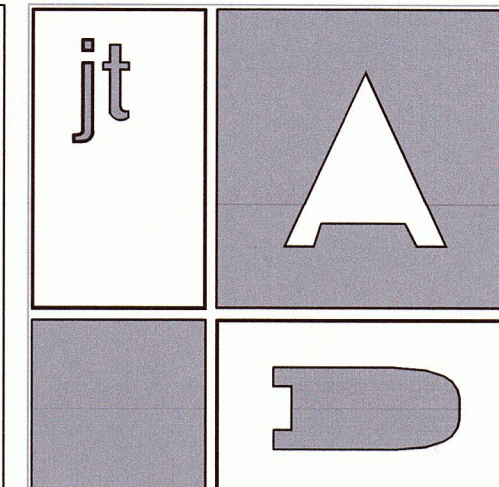
3 S-N CROSS-SECTION @SECONDARY UNIT  
SCALE: 3/16"=1'-0"



2 S-N CROSS-SECTION @MAIN UNIT  
SCALE: 3/16"=1'-0"



1 E-W CROSS-SECTION  
SCALE: 3/16"=1'-0"



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COMMENTS

NO.	DESCRIPTION	DATE
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△	DESIGN REVIEW SUBMITTAL	09/19/2019
△	DESIGN REVIEW RESUBMITTAL	11/13/2019
△	DESIGN REVIEW RESUBMITTAL	12/17/2019

PROJECT  
O'CONNOR-PENG HOUSE  
(New Construction)  
538 Valencia Avenue  
El Granada, CA 94019

DRAWING  
CROSS-SECTIONS &  
PERSPECTIVE VIEWS

NO: 2017.02  
DRAWN BY: JWT  
SC: 3/16"=1'-0" A4.0  
DATE: 03-09-18

**BASIS OF BEARINGS**

THE BEARING, NORTH 29°04'18" WEST, OF VALENCIA AVENUE, AS SHOWN ON THAT CERTAIN SUBDIVISION MAP ENTITLED, "PLAT OF SUBDIVISION NO. 5 OF GRANADA" WHICH WAS FILED FOR RECORD IN BOOK 6 OF MAPS PAGE 50 ON DECEMBER 7, 1908, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**BENCHMARK**

THE DISK IN HANDHOLE AT THE INTERSECTION OF SAN CARLOS AND CARMEL AVENUES ("BM #12", AS SHOWN ON PAGE 9 FROM FIELD BOOK 756-24, SAN MATEO COUNTY SURVEYS). TBM TO USE FOR SITEMARK IS THE SEWER MANHOLE LID WITH AN ELEVATION OF 72.44 FEET.

**NOTES:**

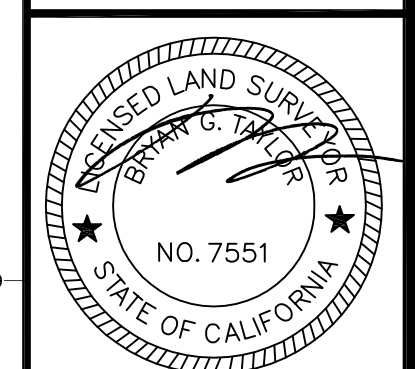
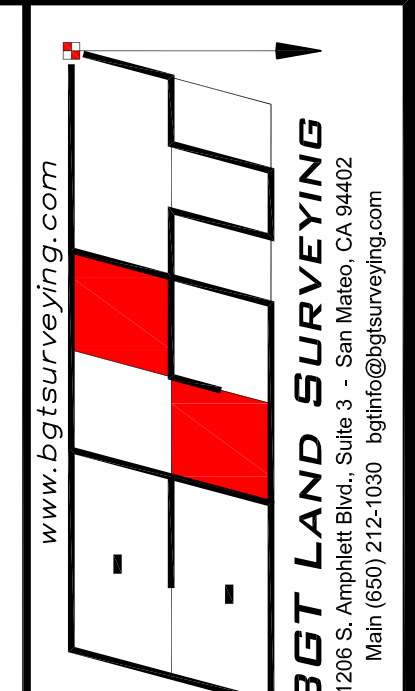
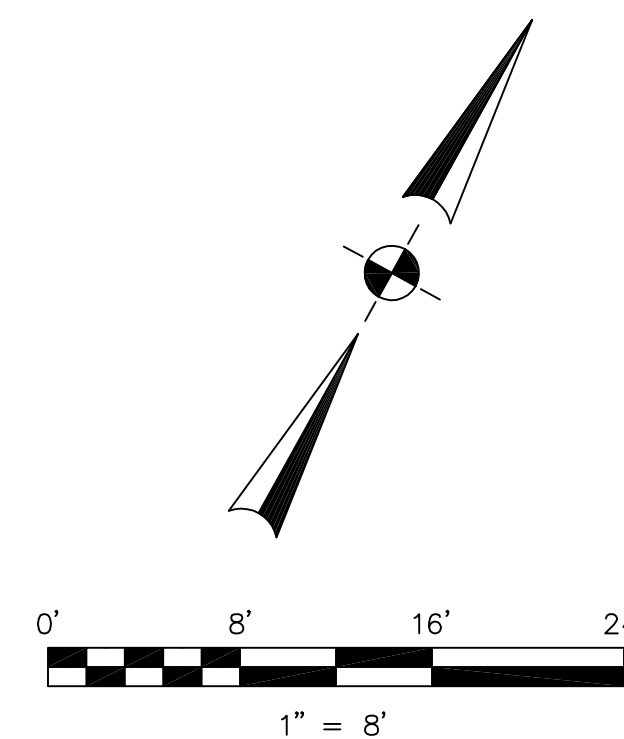
BGT RELIED UPON A NORTH AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 1476936, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELD DREW.

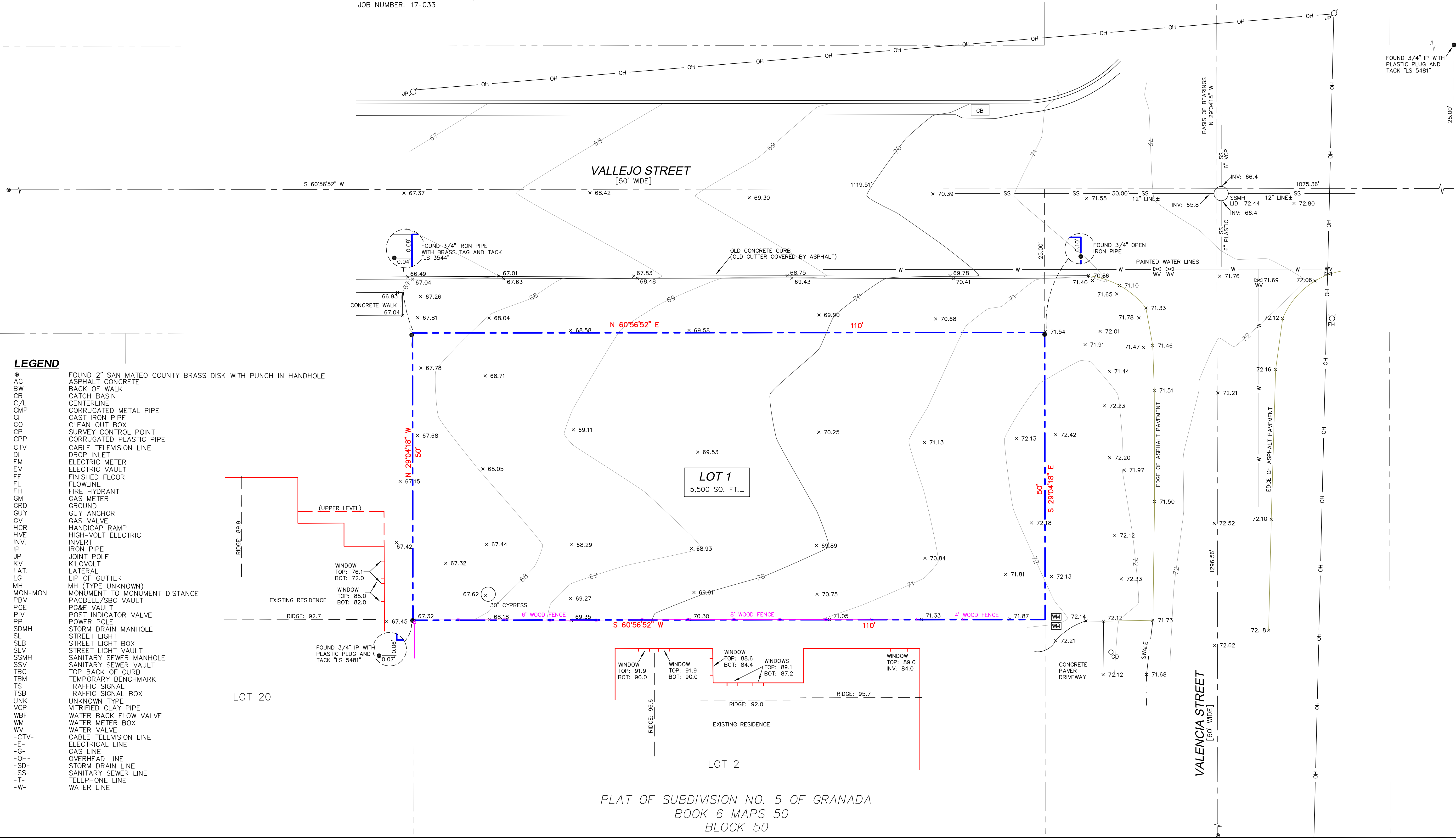
SURVEY PERFORMED BY: BGT LAND SURVEYING  
www.bgtsurveying.com

DATE OF FIELD SURVEY: APRIL, 2017  
JOB NUMBER: 17-033



**BOUNDARY AND TOPOGRAPHIC SURVEY**  
 LOT 1, BLOCK 50, "PLAT OF SUBDIVISION NO. 5 OF GRANADA" (BOOK 6 MAPS 50)  
**VACANT, VALENCIA + VALLEJO STREETS**  
 EL GRANADA, SAN MATEO COUNTY, CALIFORNIA

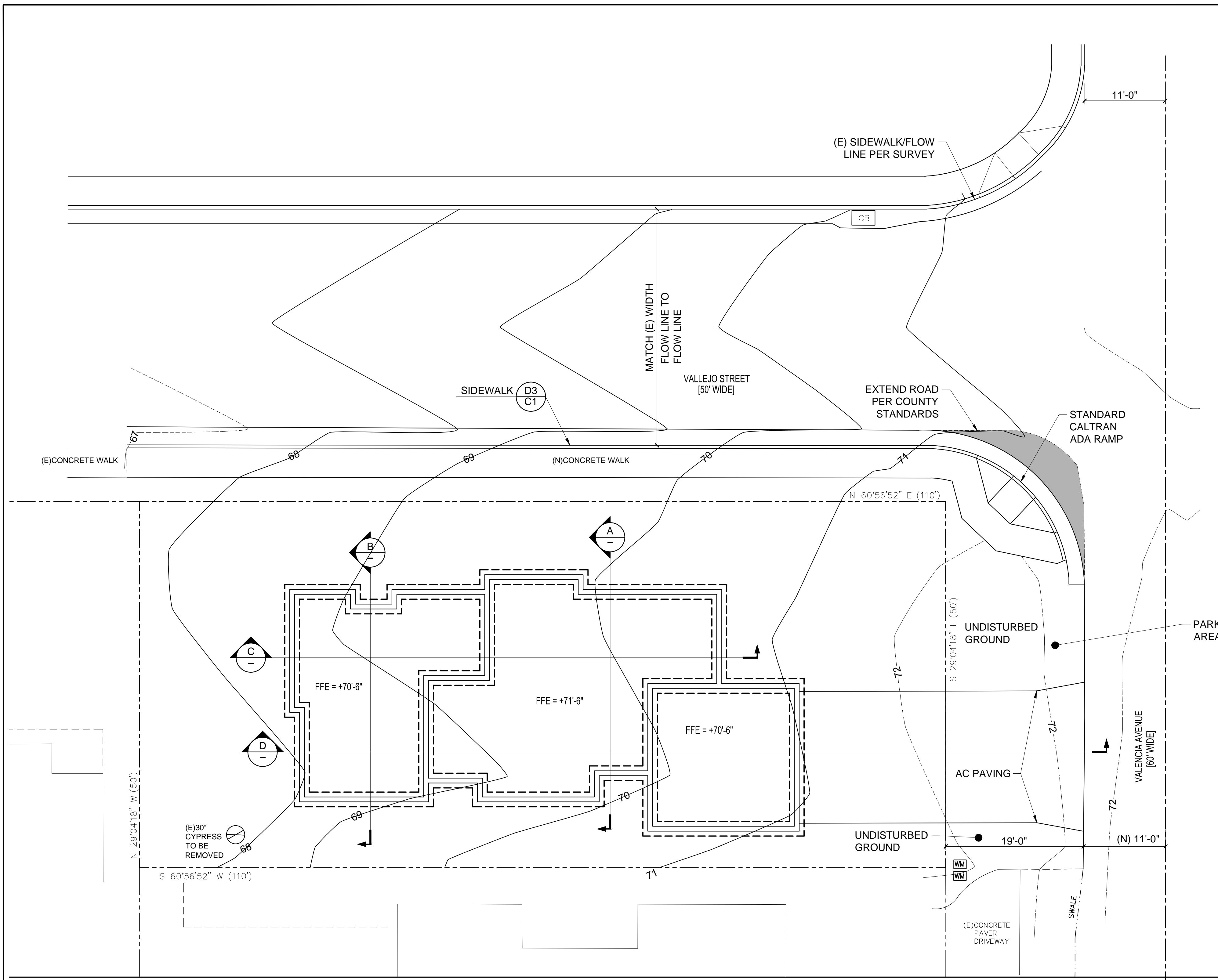
Assessor Parcel Number:	047-095-070
Prepared For:	KEVIN PENG 167 Allison Street San Francisco, CA 94112
Date:	APRIL 2017
Scale:	1" = 8'
Contour Interval:	1'
Drawn by:	LHL
Revisions:	
<b>SU-1</b>	
Job No.:	17-033



**LEGEND**

●	FOUND 2" SAN MATEO COUNTY BRASS DISK WITH PUNCH IN HANDHOLE
AC	ASPHALT CONCRETE
BW	BACK OF WALK
CB	CATCH BASIN
C/L	CENTERLINE
CMP	CORRUGATED METAL PIPE
CI	CAST IRON PIPE
CO	CLEAN OUT BOX
CP	SURVEY CONTROL POINT
CPP	CORRUGATED PLASTIC PIPE
CTV	CABLE TELEVISION LINE
DI	DROP INLET
EM	ELECTRIC METER
EV	ELECTRIC VAULT
FF	FINISHED FLOOR
FL	FLOWLINE
FH	FIRE HYDRANT
GM	GAS METER
GRD	GROUND
GUY	GUY ANCHOR
GV	GAS VALVE
HCR	HANDICAP RAMP
HVE	HIGH-VOLT ELECTRIC
INV.	INVERT
IP	IRON PIPE
JP	JOINT POLE
KV	KILOVOLT
LAT.	LATERAL
LG	LIP OF GUTTER
MH	MH (TYPE UNKNOWN)
MON-MON	MONUMENT TO MONUMENT DISTANCE
PBV	PACBELL/SBC VAULT
PGE	PG&E VAULT
PIV	POST INDICATOR VALVE
PP	POWER POLE
SDMH	STORM DRAIN MANHOLE
SL	STREET LIGHT
SLB	STREET LIGHT BOX
SLV	STREET LIGHT VAULT
SSMH	SANITARY SEWER MANHOLE
SSV	SANITARY SEWER VAULT
TBC	TOP BACK OF CURB
TBM	TEMPORARY BENCHMARK
TS	TRAFFIC SIGNAL
TSB	TRAFFIC SIGNAL BOX
UNK	UNKNOWN TYPE
VCP	VITRIFIED CLAY PIPE
WBF	WATER BACK FLOW VALVE
WM	WATER METER BOX
WV	WATER VALVE
-CTV-	CABLE TELEVISION LINE
-E-	ELECTRICAL LINE
-G-	GAS LINE
-OH-	OVERHEAD LINE
-SD-	STORM DRAIN LINE
-SS-	SANITARY SEWER LINE
-T-	TELEPHONE LINE
-W-	WATER LINE

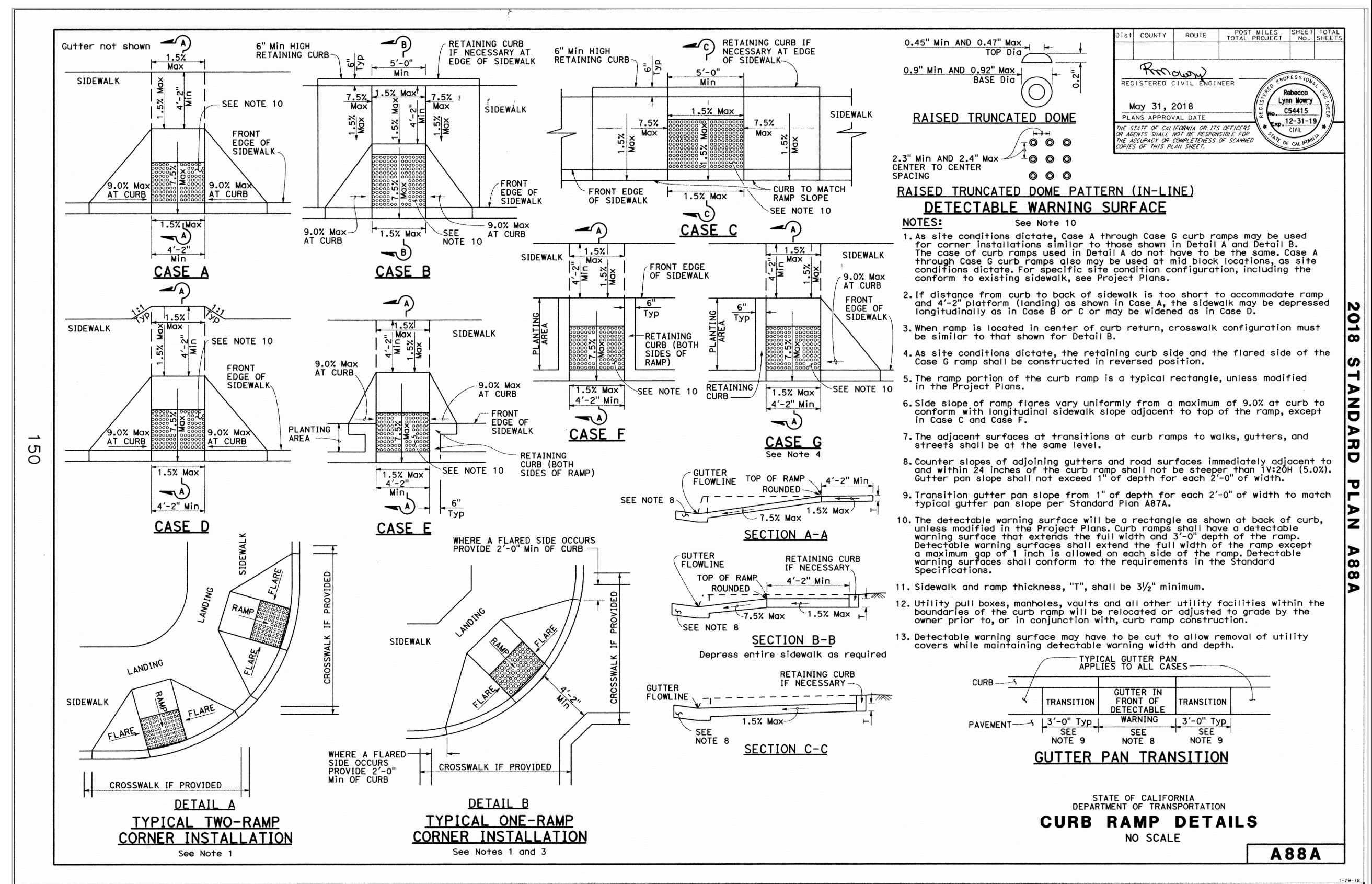
PLAT OF SUBDIVISION NO. 5 OF GRANADA  
BOOK 6 MAPS 50  
BLOCK 50



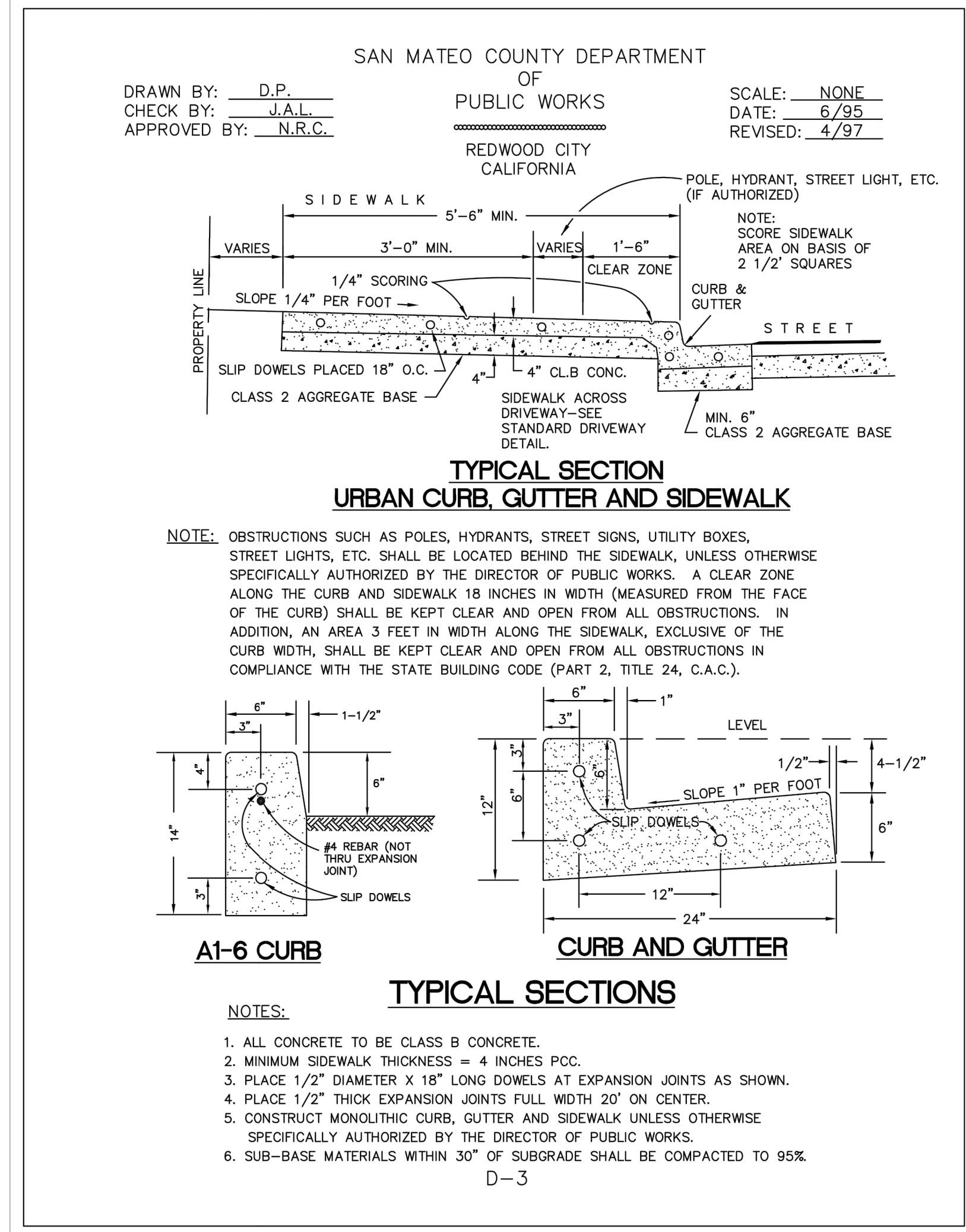
**GRADING PLAN**  
1/8" = 1'-0"

TOTAL EXCAVATION = 50 cy  
TOTAL FILL = 0 cy  
NET OFF HAUL = 50 cy

NOTE:  
CONTACT UNDERGROUND SERVICES ALERT (USA) AT  
LEAST 48 HOURS PRIOR TO AN EXCAVATION.



2018 STANDARD PLAN A88A



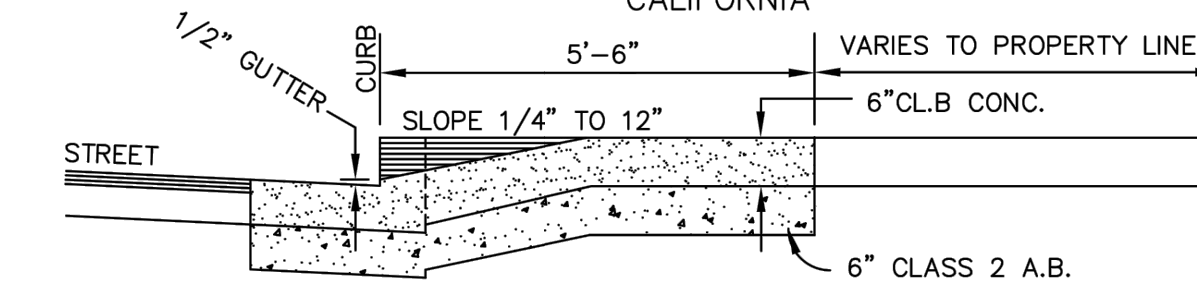
DESIGNED	DATE	KEVIN O'CONNOR, INC.	TEL: 415-286-3442
K.O.C.	1/14/20	3401 LAWTON STREET	FAX: 415-665-5252
DRAWN		San Francisco CA 94122	WWW.KOCENGINEERING.COM
K.P.	1/14/20		
CHECKED		TITLE	
K.O.C.	1/14/20	NEW 2-UNIT BUILDING	
		441 VALENCIA AVE	
		EL GRANADA, CA 94019	
	PROJECT NO.	DRAWING NO.	REV.
	2017-TBD	C1	



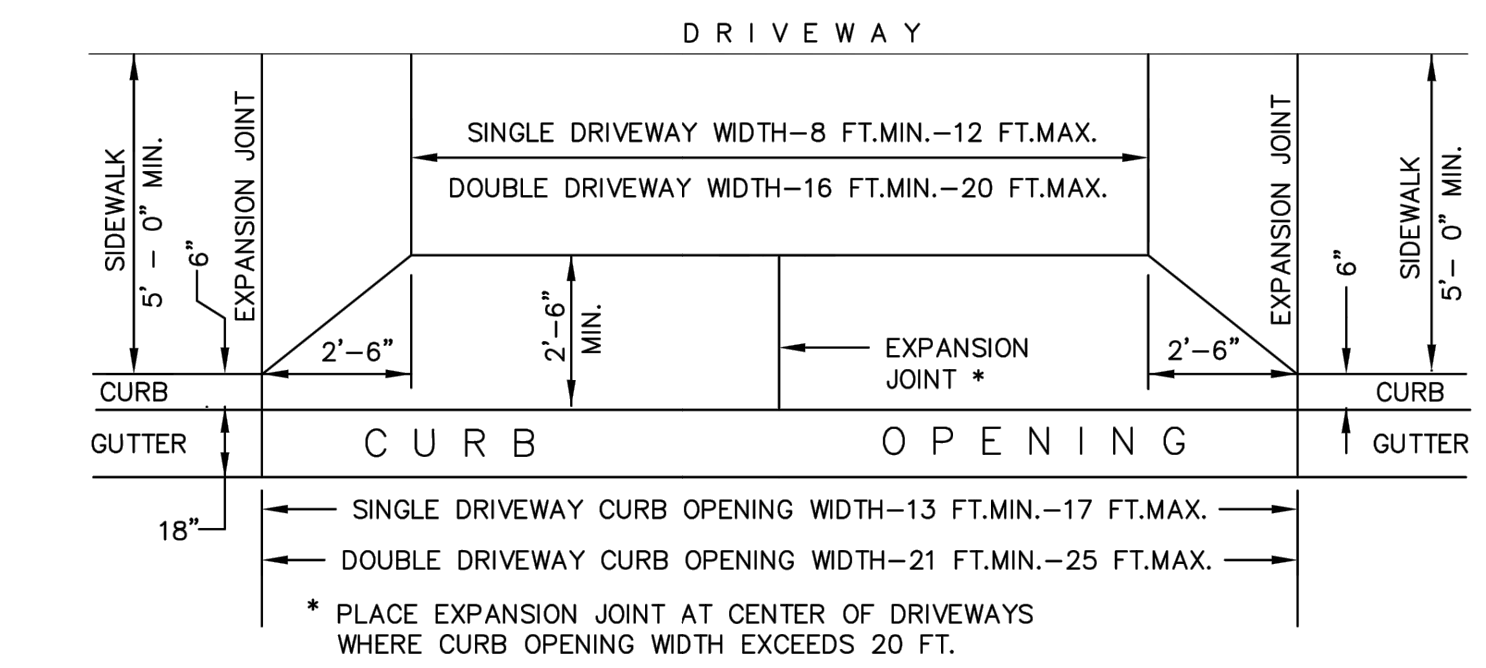
SAN MATEO COUNTY DEPARTMENT  
OF  
PUBLIC WORKS  
REDWOOD CITY  
CALIFORNIA

DRAWN BY: D.P.  
CHECK BY: J.A.L.  
APPROVED BY: N.R.C.

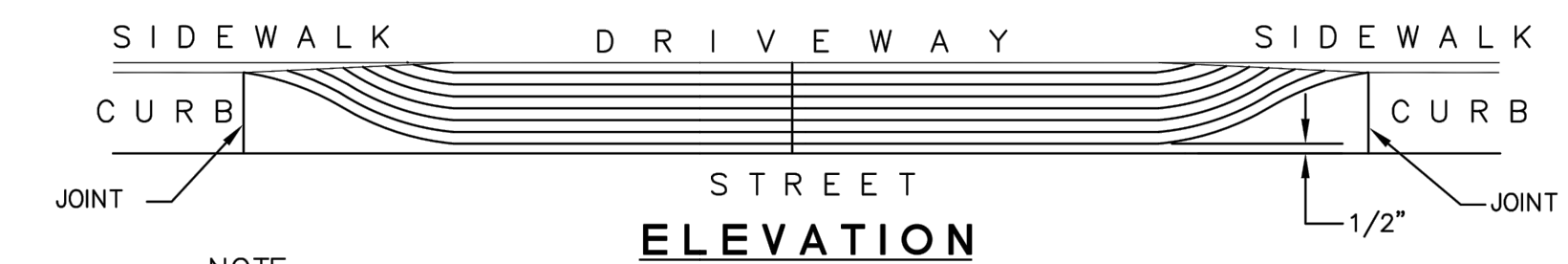
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DATE: 6/95  
REVISED: 4/97



**SECTION**



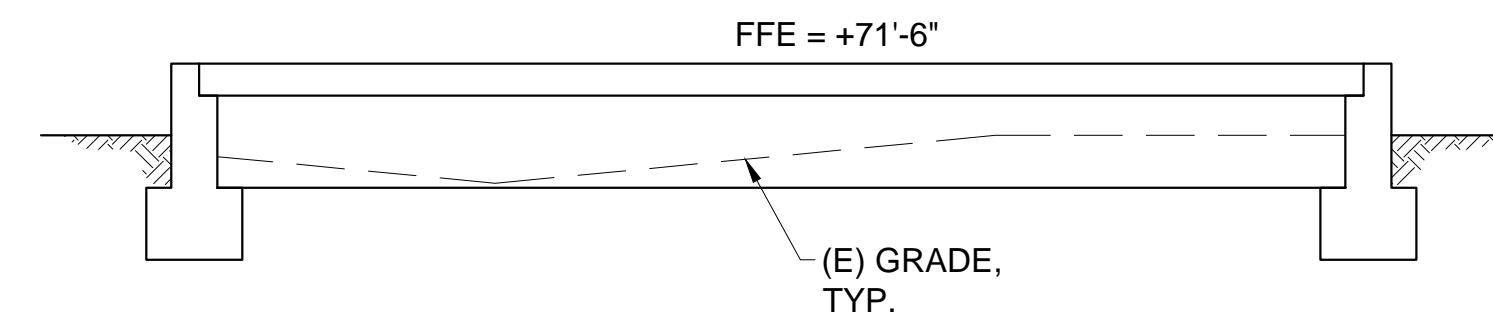
**PLAN**



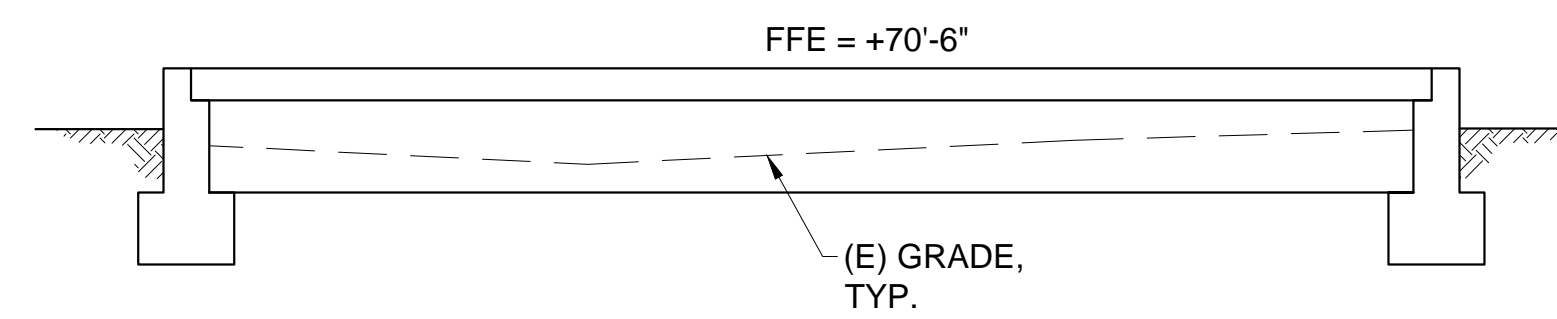
**NOTE:**  
WHERE POSSIBLE, 22 FT. DISTANCES OR MULTIPLES OF 22 FT. DISTANCES SHOULD BE OBTAINED BETWEEN CURB OPENINGS. CONSTRUCT MONOLITHIC CURB, GUTTER, DRIVEWAY AND APRON. WHERE DRIVEWAYS OF SEPARATE RESIDENTIAL DWELLINGS ARE CONSTRUCTED ADJACENT TO ONE ANOTHER, DOUBLE THE DIMENSIONS SHOWN ABOVE. USE NO. 4 REINFORCING BAR DOWELS AS SHOWN ON STANDARD CURB, GUTTER AND SIDEWALK DETAIL.

**STANDARD STRUCTURES  
DRIVEWAY WIDTHS AND CURB OPENINGS  
FOR  
SINGLE FAMILY RESIDENTIAL DWELLINGS**

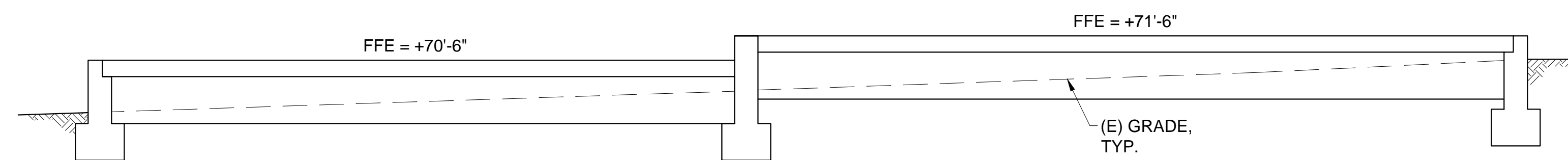
D-1



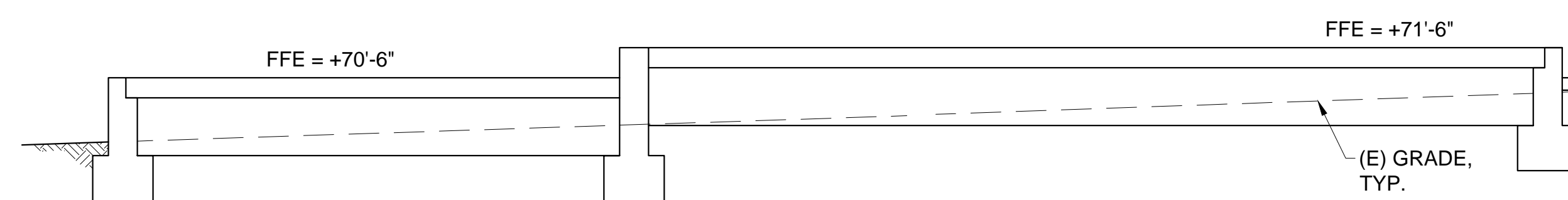
**SECTION A**  
1/4"=1'-0"



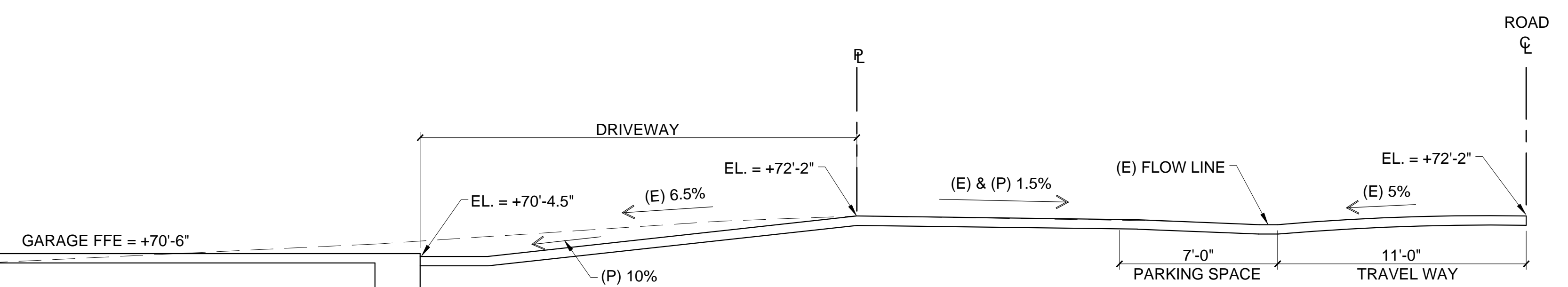
**SECTION B**  
1/4"=1'-0"



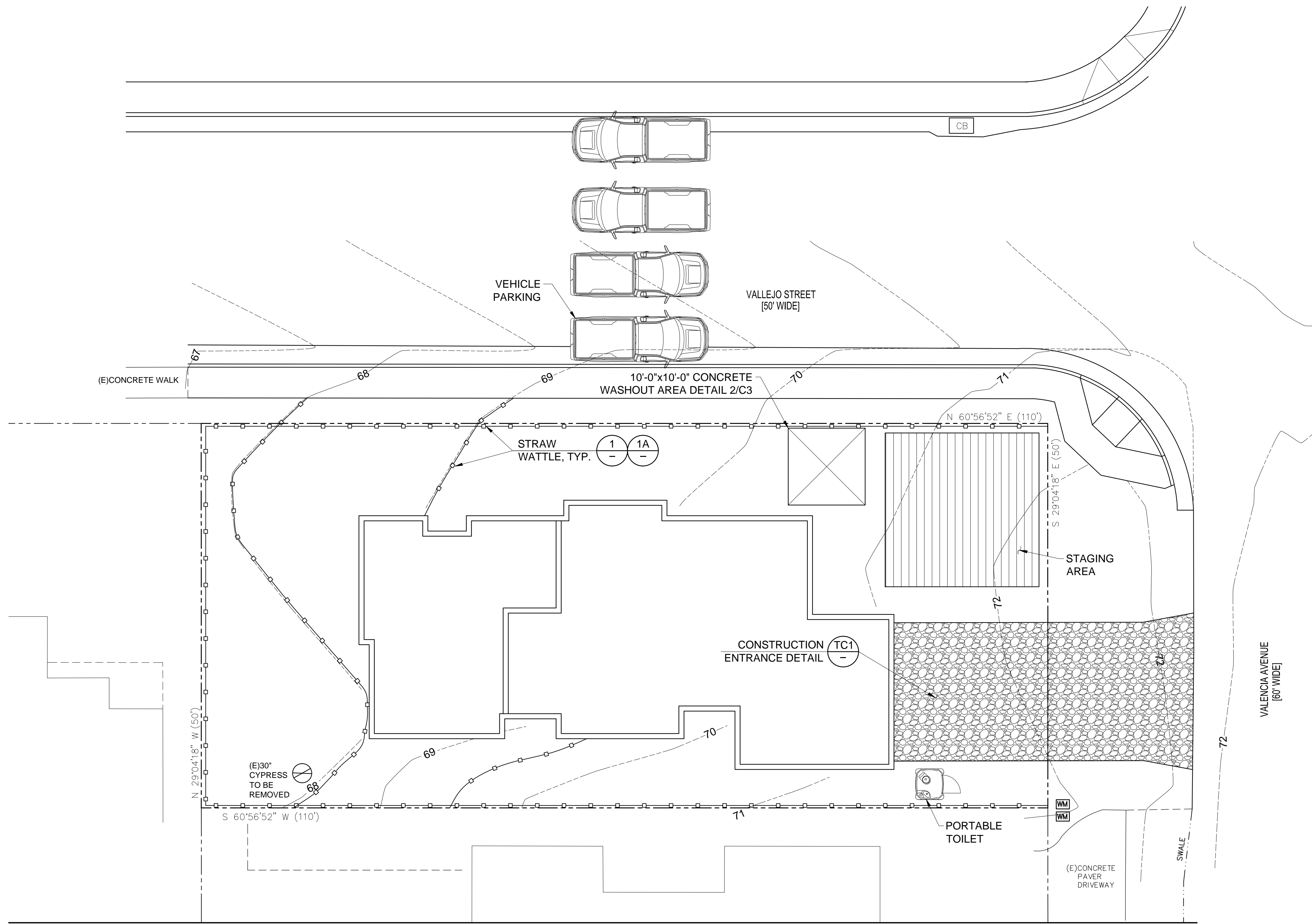
**SECTION C**  
1/4"=1'-0"



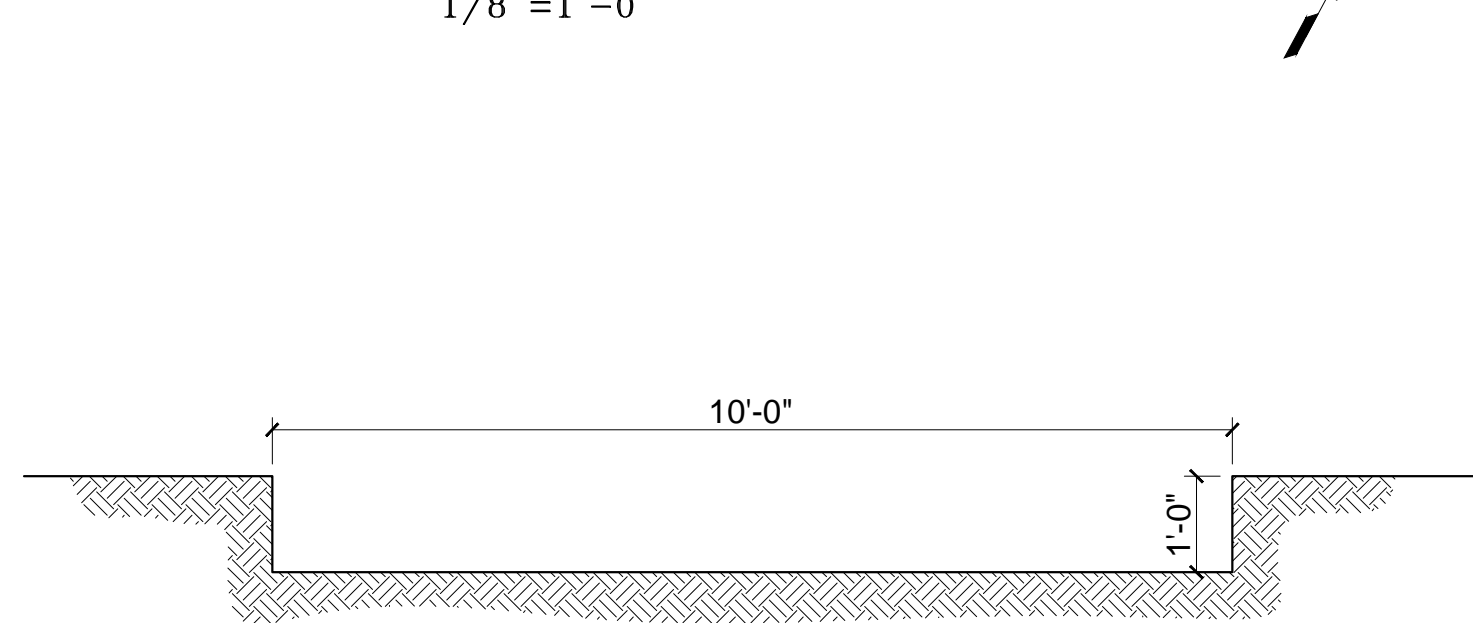
**SECTION D**  
1/4"=1'-0"



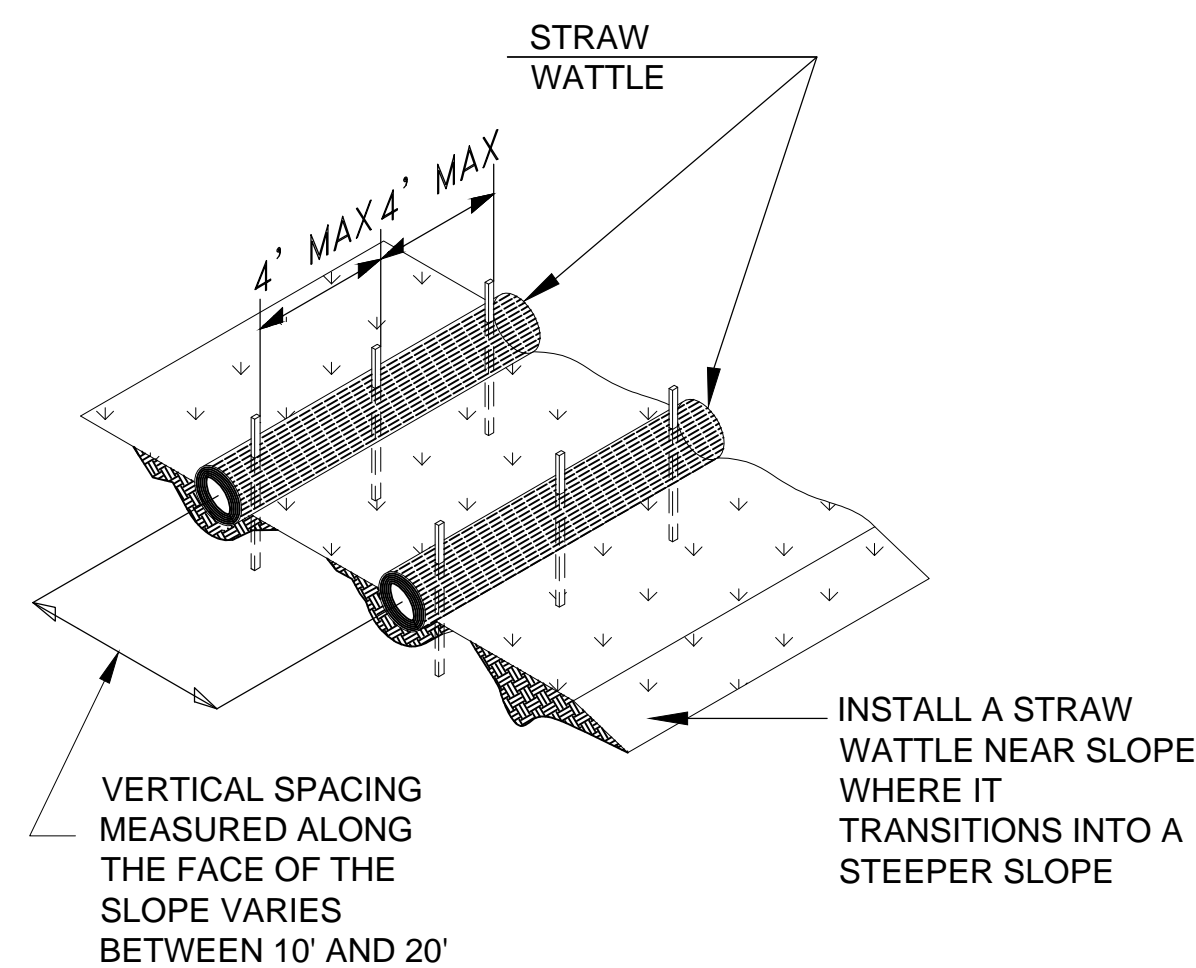
DESIGNED K.O.C.	DATE 1/14/20	KEVIN O'CONNOR, INC. 3401 LAWTON STREET San Francisco CA 94122 TEL: 415-286-3442 FAX: 415-665-5252 WWW.KOCENGINEERING.COM
DRAWN K.P.	DATE 1/14/20	
CHECKED K.O.C.	DATE 1/14/20	TITLE NEW 2-UNIT BUILDING 441 VALENCIA AVE EL GRANADA, CA 94019
PROJECT NO. 2017-TBD	DRAWING NO. C2	REV.



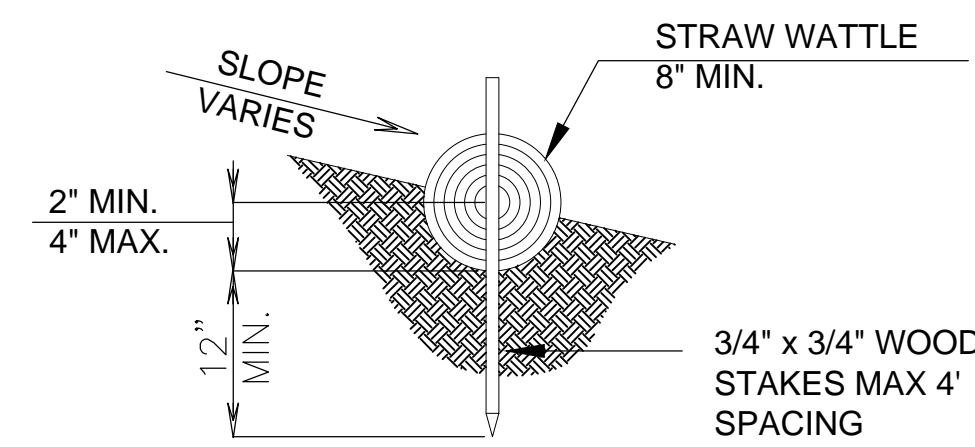
**EROSION CONTROL PLAN**  
1/8" = 1'-0"



**CONCRETE WASHOUT** A  
1/2" = 1'-0"



**TYPICAL STRAW WATTLE INSTALLATION** 1  
NTS

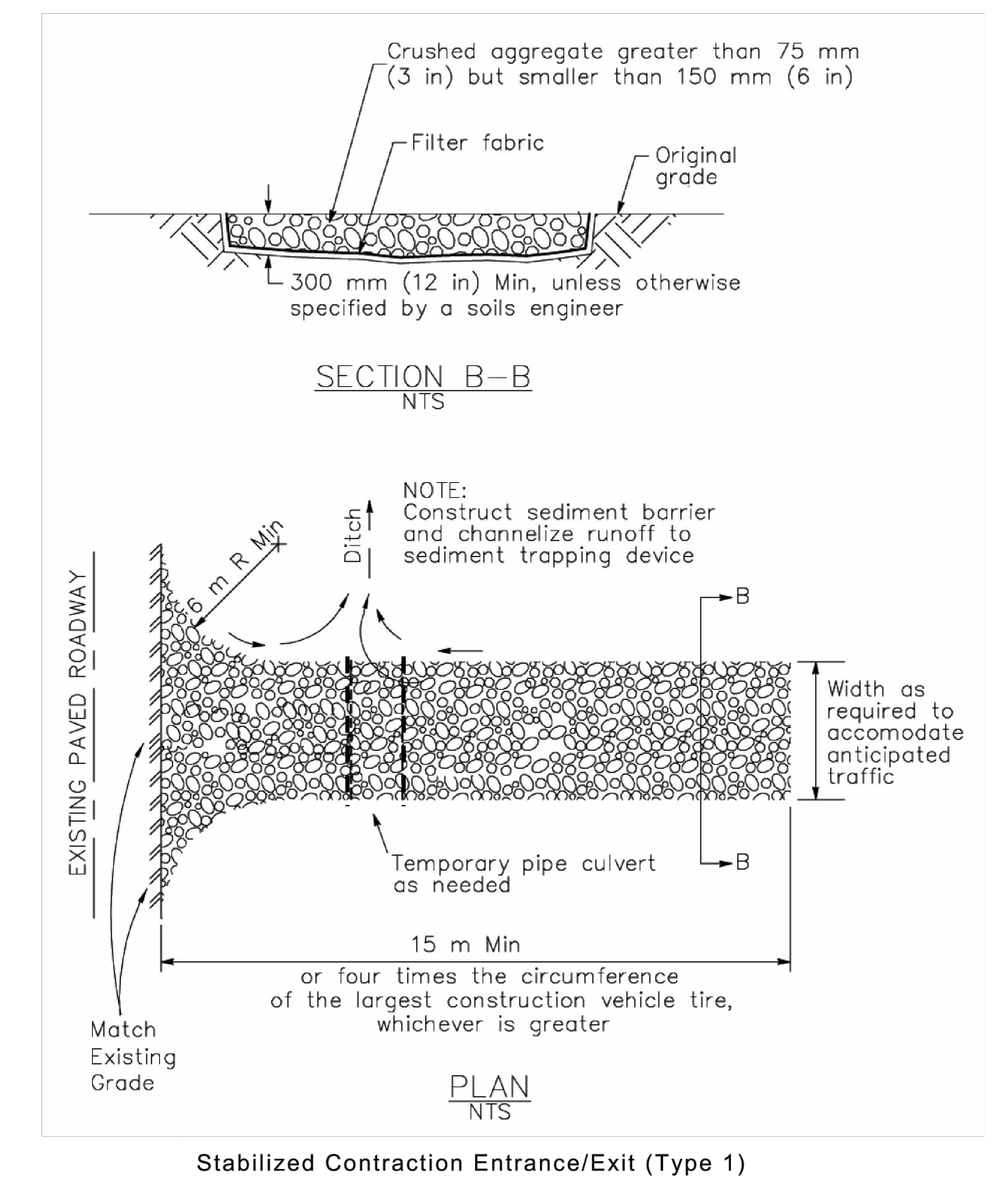


**STRAW WATTLE DETAIL** 1A  
NTS

**EROSION CONTROL NOTES**

1. STABILIZE ALL DENUDED AREAS WITH EROSION CONTROL BLANKETING. INSTALL AND MAINTAIN ALL TEMPORARY EROSION AND SEDIMENT CONTROLS CONTINUOUSLY BETWEEN OCTOBER 15TH AND APRIL 15TH OF EACH YEAR, UNTIL PERMANENT EROSION CONTROL HAVE BEEN ESTABLISHED
2. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
3. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASHWATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
4. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN ALL NECESSARY PERMITS.
5. AVOID CLEANING, FUELING OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASHWATER IS CONTAINED AND TREATED.
6. DELINEATE WITH FIELD MARKERS CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES AND DRAINAGE COURSES.
7. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
8. THE CONTRACTOR SHALL TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE CONSTRUCTION BMP's
9. FOR CONSTRUCTION DURING DRY SEASON ALL EXPOSED SURFACES SHALL BE WETTED PERIODICALLY TO PREVENT SIGNIFICANT DUST.
10. ALL STOCKPILED SOIL SHALL BE COVERED DURING PERIODS OF RAIN.
11. SEDIMENT SHALL NOT BE TRACKED OFFSITE AND CITY STREET SHALL BE SWEEPED AT PUBLIC WORKS INSPECTOR'S DISCRETION TO THE SATISFACTION OF THE CITY ENGINEER.
12. STRAW WATTLE TO BE USED FOR STABILIZATION OF SOIL SURFACES ONLY.
13. JUTE NETTING NOT TO BE USED FOR STABILIZATION OF SOIL SURFACES.
14. CONCRETE WASHOUT TO BE LEGALLY DISPOSED OFF-SITE.
15. DEMOLITION: 60% OF WASTE TONNAGE INCLUDING CONCRETE AND ASPHALT, AND 25% OF WASTE TONNAGE EXCLUDING CONCRETE AND ASPHALT.
16. CONSTRUCTION: 55% OF WASTE TONNAGE INCLUDING CONCRETE AND ASPHALT, AND 20% OF WASTE TONNAGE EXCLUDING CONCRETE AND ASPHALT.
17. DEMOLITION DIVERSIONS AND CONSTRUCTION DIVERSIONS SHALL BE CALCULATED SEPARATELY.

**Stabilized Construction Entrance/Exit TC-1**



**Stabilized Construction Entrance/Exit (Type 1)**

Caltrans Storm Water Quality Handbooks  
Construction Site Best Management Practices Manual  
March 1, 2003  
Section 6  
Stabilized Construction Entrance/Exit TC-1  
3 of 4

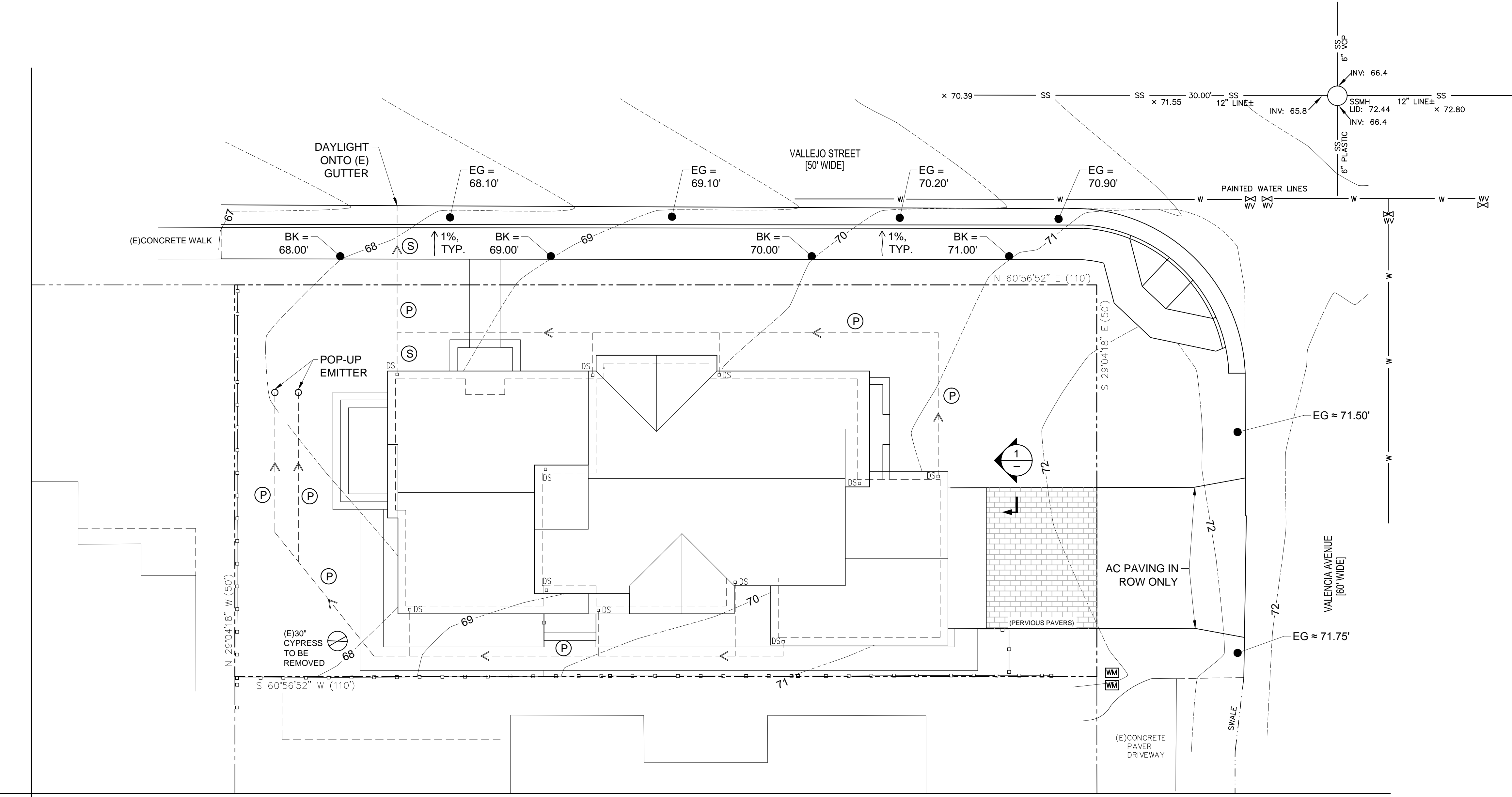


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PROJECT NO. 2017-TBD	DRAWING NO. C3	REV.



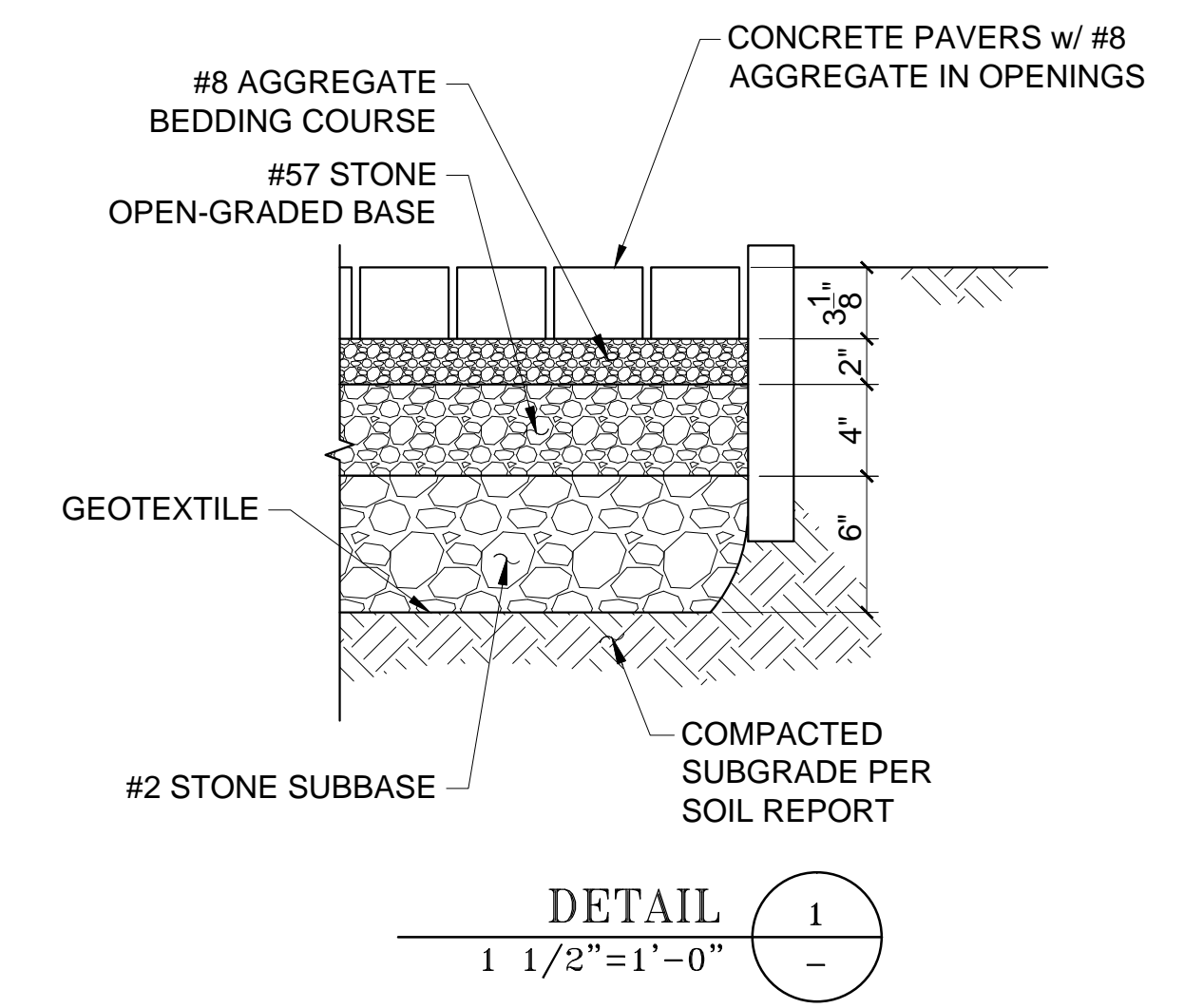
**ABBREVIATIONS**

- AC ASPHALT CONCRETE
- ADJ ADJACENT
- ASP ASPHALT
- AVE AVENUE
- BK BACK OF WALK
- BMP BEST MANAGEMENT PRACTICE
- BOE BOTTOM OF EXCAVATION
- BOP BOTTOM OF PIER
- BW BOTTOM OF WALL
- CL CENTER LINE
- CONC CONCRETE
- COR CORNER
- DMA DRAINAGE MANAGEMENT AREA
- (E) EXISTING
- EA EACH
- EG EXISTING GRADE
- EL ELEVATION
- EP EDGE OF PAVEMENT
- FFE FINISH FLOOR ELEVATION
- FL FLOW LINE
- FT FEET
- GND GROUND
- GV GAS VALVE
- HSS HOLLOW STEEL SECTION
- LID LOW IMPACT DESIGN
- MAX. MAXIMUM
- MH MANHOLE
- (N) NEW
- N.T.S. NOT TO SCALE
- (P) PROPOSED
- PL PROPERTY LINE
- PT PRESSUR TREATED
- RF ROOF
- SAD SEE ARCHITECTURAL DRAWINGS
- SMD SEE MECHANICAL DRAWINGS
- SLD SEE LANDSCAPE DRAWINGS
- SSCO SANITARY SEWER CLEAN OUT
- SSD SEE STRUCTURAL DRAWINGS
- ST STREET
- TC TOP OF CURB
- TOC TOP OF CONCRETE
- TP TOP OF PAVEMENT
- TS TOP OF SLOPE
- TW TO OF WALL
- TYP TYPICAL
- U.N.O. UNLESS NOTED OTHERWISE
- WM WATER METER
- WV WATER VALVE
- @ AT



**DRAINAGE PLAN**  
1/8"=1'-0"

- LEGEND:**
- (S) 4"Ø SOLID SDR 35 PIPE
  - (P) 4"Ø PERFORATED SDR 35 PIPE
  - [Grid Pattern] PERVIOUS SURFACE



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	PROJECT NO. 2017-TBD	DRAWING NO. C4	REV.

